



LG Ref: DA5.2020.587.1
DAP Ref: DAP/20/01888
Enquiries: (08) 6551 9919

Mr Paul Cunningham
Rowe Group
Level 3, 369 Newcastle Street,
Northbridge WA 6003

Dear Mr Cunningham

METRO INNER-SOUTH JDAP - TOWN OF VICTORIA PARK - DAP APPLICATION - DA5.2020.587.1 - DETERMINATION

Property Location:	No. 384 (Lot 3) Berwick Street, East Victoria Park
Application Details:	Proposed 39 Grouped Dwellings and 32 Multiple Dwellings

Thank you for your Form 1 Development Assessment Panel (DAP) application and plans submitted to the Town of Victoria Park on 28 October 2020 for the above-mentioned development.

This application was considered by the Metro Inner-South JDAP at its meeting held on 17 May 2021, where in accordance with the provisions of the Town of Victoria Park Local Planning Scheme No.1, it was resolved to **approve** the application as per the attached notice of determination.

Should the applicant not be satisfied by this decision, an application may be made to amend or cancel this planning approval in accordance with regulation 17 and 17A of the *Planning and Development (Development Assessment Panels) Regulations 2011*.

Please also be advised that there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. Such an application must be made within 28 days of the determination, in accordance with the *State Administrative Tribunal Act 2004*.

Should you have any queries with respect to the conditions of approval, please contact Ms Amie Groom on behalf of the Town of Victoria Park on 93118111.

Yours sincerely,

DAP Secretariat

24 May 2021

Encl. DAP Determination Notice
Approved Plans

Cc: Ms Amie Groom
Town of Victoria Park



Planning and Development Act 2005

Town of Victoria Park Local Planning Scheme No.1

Metro Inner-South Joint Development Assessment Panel

**Determination on Development Assessment Panel
Application for Planning Approval**

Property Location: No. 384 (Lot 3) Berwick Street, East Victoria Park

Application Details: Proposed 39 Grouped Dwellings and 32 Multiple Dwellings

In accordance with regulation 8 of the *Planning and Development (Development Assessment Panels) Regulations 2011*, the above application for planning approval was **granted** on 17 May 2021, subject to the following:

Approve DAP Application reference DAP/20/01888 and accompanying plans dated 22 April 2021 and 5 May 2021 in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015, the Metropolitan Region Scheme and the provisions of the Town of Victoria Park Town Planning Scheme No. 1, subject to the following conditions:

1. The development, once commenced, is to be carried out in accordance with the approved plans at all times, unless otherwise authorised by the Town.
2. In accordance with the requirements of Town Planning Scheme No.1 that apply to the subject site, a Local Development Plan is to be prepared and approved prior to the commencement of any development on the site.
3. Detailed engineering design drawings for the Carson Street and Baillie Avenue access leg are to be submitted and approved to the satisfaction of the Town of Victoria Park.
4. Unless approved by the Town, pedestrian access from units 10-19 to Edward Millen Reserve is not permitted.
5. Prior to lodging an application for a building permit, the applicant/owner is to contribute a sum of 1 % of the value of the total construction value towards public art for the multiple dwelling component only. (Refer related Advice Note)
6. To address the conditions of this approval, a covering letter (detailing compliance with each condition), copy of the final working drawings and relevant associated reports and information, are to be submitted by the applicant and be cleared by the Town.
7. Prior to lodging an application for a building permit, plans are to be submitted demonstrating to the satisfaction of the Town the energy efficiency initiatives proposed to satisfy Element Objective 04.15 of State Planning Policy 7.3: Volume 2 - Apartments. The development shall be constructed in accordance with the approved details unless otherwise approved by the Town in writing and shall be thereafter maintained.



8. Prior to lodging an application for a building permit, a plan shall be submitted detailing the location of all external lighting, to the satisfaction of the Town. The lighting plan and subsequent lighting installed must demonstrate that any light spill to adjoining properties is minimised to acceptable levels and is in compliance with AS4282:1997. Lighting in accordance with the approved plan is to be installed prior to occupation or strata titling of the building(s), whichever occurs first.
9. Prior to lodging an application for a building permit, all plant equipment, air conditioning units, hot water systems, water storage tanks, service metres, bin storage areas and clothes drying facilities must be located to minimise any visual and noise impact on the occupants of nearby properties and screened from view from the street. Design plans for the location, materials and construction for screening of any proposed external building plant must be submitted to and approved by the Town.
10. Prior to lodging an application for a building permit, details are to be prepared by a qualified Acoustic Engineer to the satisfaction of the Town demonstrating appropriate levels of acoustic privacy to the multiple dwellings, pursuant to Element 4.7 'Managing the Impact of Noise' of State Planning Policy 7.3: Volume 2 - Apartments. The development shall be constructed in accordance with the approved details unless otherwise approved by the Town in writing and shall be thereafter maintained to the satisfaction of the Town.
11. Prior to lodging an application for a building permit, plans are to be submitted demonstrating to the satisfaction of the Town that the development satisfies Element Objective 04.9.1 'Universal Design' of State Planning Policy 7.3: Volume 2 - Apartments. The development shall be constructed in accordance with the approved details unless otherwise approved by the Town in writing and shall be thereafter maintained.
12. Prior to the submission of an application for a building permit, a palette of proposed external colours, finishes and materials to be used in the construction of the buildings is to be provided to the satisfaction of the Town. The development shall be constructed in accordance with the approved palette.
13. Existing trees identified on the approved site plan are to be retained and protected in accordance with AS 4970-2009 and to the satisfaction of the Town.
14. Prior to the occupation of the development, all car parking spaces together with their access aisles, including the on-street visitor car parking spaces, are to be clearly paved, sealed, marked and drained and thereafter maintained to the satisfaction of the Town.
15. A minimum of 16 car parking bays to be provided on site for the exclusive use of visitors. These bays shall be marked for the exclusive use of visitors prior to the first occupation or commencement of the development.
16. Prior to lodging an application for a building permit, details of the security intercom system for access to the car parking bays associated with the Multiple Dwelling development component are to be provided to the satisfaction of the Town.



17. In order to comply with Clause 5.4.1 of the Residential Design Codes, the north-western and south-eastern side of the balconies of Units 10- 19 having fixed obscure screening to a minimum height of 1.6 metres above the finished floor level to the satisfaction of the Town.
18. All driveways and car parking bays to be constructed of brick paving, liquid limestone, exposed aggregate or any alternative material approved by the Town.
19. The existing vehicle crossover to Berwick Street is to be upgraded to the Town' specifications. Any redundant portions of any existing vehicle crossover(s) to be removed and the kerbing, verge, and footpath (where relevant) reinstated with grass or landscaping to the satisfaction of the Town.
20. Prior to occupation of the multiple dwelling component of the development, a total of 20 bicycle facilities must be provided in accordance with Australian Standard AS 2890.3 and the Residential Design Codes ofWA and to the satisfaction of the Town. The bicycle parking facilities shall be installed and remain in place permanently unless otherwise approved by the Town.
21. A zero lot gutter to be provided for the boundary wall(s) unless otherwise approved in writing by the Town.
22. Prior to the occupation or the strata-titling of the building(s), whichever occurs first, unless otherwise approved in writing by the Town, the external surface finish of the boundary wall(s) must be finished to the same standard as the rest of the development to the satisfaction of the Town.
23. Prior to lodging an application for a building permit, a detailed landscaping and reticulation plan for the subject site and the adjacent road verge(s) must be submitted to and approved by the Town, and must include the following:
 - i. The location, number and type of the proposed trees and shrubs including planter and/or tree pit sizes and planting density;
 - ii. Any lawn to be established.
24. Prior to the occupation or strata-titling of the building(s), whichever occurs first, the approved landscaping and reticulation plan must be fully implemented and maintained thereafter, to the satisfaction of the Town. The Town acknowledges the development may be staged (refer Advice Note 1) and therefore the Town accepts the staging of the approved landscaping and reticulation plan consistent with staging of the built form.
25. Existing trees located within the verge are a Town asset and as such must be retained except where otherwise approved for removal by the Town.
26. The proposed trees, shown on the approved landscaping plan shall be maintained via an automated irrigation system or other similar method by the landowner or developer for the first two summers after the occupation of the dwellings. If the proposed tree is of poor health and is removed, it is to be replaced with a suitable replacement tree by the owner or developer.



27. Prior to lodging an application for a building permit, a Stormwater and Drainage Management Plan including details of the on-site stormwater disposal including soakwell sizes and locations to be submitted to and approved in writing by the Town. The development shall be constructed in accordance with the approved details and thereafter maintained.
28. Prior to lodging an application for a building permit, a Construction Management Plan must be submitted for approval by the Town, and thereafter implemented to the satisfaction of the Town. (Refer to related advice note)
29. Prior to the occupation or use of the development, any alterations, relocation or damage to existing infrastructure within the road reserve must be completed and reinstated to the specification and satisfaction of the Town.
30. All building works to be carried out under this development approval are required to be contained within the boundaries of the Lot 3 (parent lot).
31. The Waste Management Plan must be implemented at all times to the satisfaction of the Town.
32. At all times provision must be made onsite for the storage and collection of garbage and other solid waste. A waste storage and collection area must be graded, drained and screened from public view, and the garbage collected regularly, to the satisfaction of the Town.
33. If the development, the subject of this approval, is not substantially commenced within a period of four (4) years from the date of the approval, the approval will lapse and be of no further effect. For the purposes of this condition, the term "substantially commenced" has the meaning given to it in the Planning and Development (Local Planning Schemes) Regulations 2015 as amended from time to time.

Advice Notes

1. Where works and/or building permits are to be staged, only those conditions relevant to the proposed stage of works need to be satisfied prior to the issuing of a building permit.
2. The applicant/owner should refer to the Requirements of Other Council Business Units, enclosed with this development approval, which are relevant to the submission of a building permit and/or the carrying out of the development for which this approval is granted.
3. This development approval does not remove the need to obtain licences, permits or other forms of approval that may be required under other legislation or requirement of Council.
4. Any amendments or modifications to the approved drawings forming part of this development approval may require the submission of an application for amendment to development approval and reassessment of the proposal.



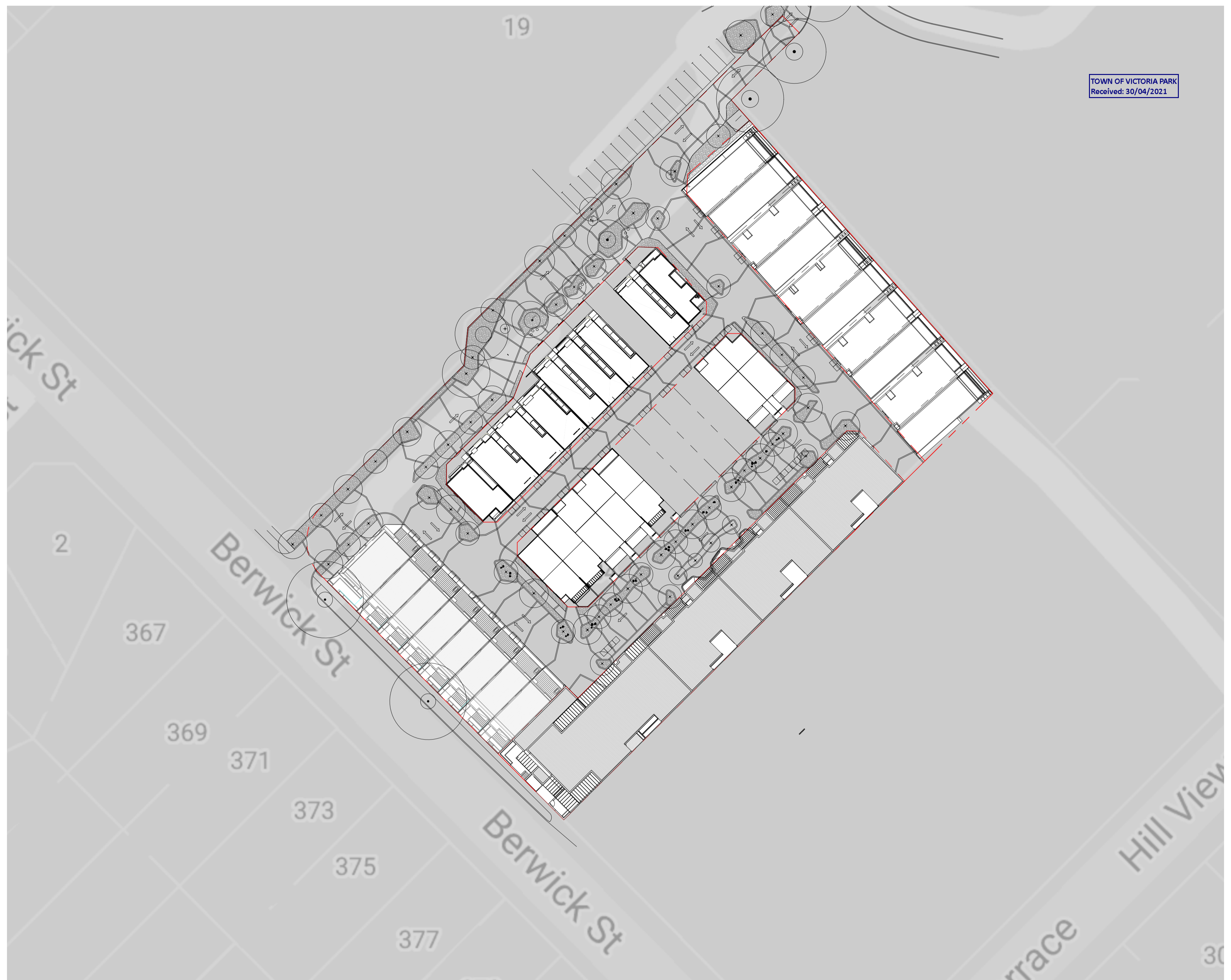
5. A building permit cannot be issued until the conditions of the development approval have been given a planning clearance by the Town. It is recommended that the relevant information be submitted prior to the submission of an application for a building permit in order to avoid delays in the processing of the building permit application. Should a building permit application be submitted without a planning clearance, then the building permit application will be put hold until a planning clearance is obtained or the application may be refused.
6. With respect to a Construction Management Plan, it is to address the following matters:
 - a. How materials and equipment will be delivered and removed from the site;
 - b. How materials and equipment will be stored on the site;
 - c. Parking arrangements for contractors;
 - d. Construction waste disposal strategy and location of waste disposal bins;
 - e. Details of cranes, large trucks or similar equipment which may block public thoroughfares during construction;
 - f. How risks of wind and/or water borne erosion and sedimentation will be minimised during and after the works;
 - g. Construction traffic and pedestrian management; and
 - h. Other matters likely to impact on the surrounding properties.
7. Should the applicant be aggrieved by this decision a right of appeal may exist under the provisions of the Town Planning Scheme or the Metropolitan Region Scheme and the applicant may apply for a review of the determination of Council by the State Administrative Tribunal within 28 days of the date of this decision.
8. With regards to public art, the contribution being either:
 - a. payment directly to the Town which will be placed in the Town's Community Art Reserve with the funds being used by the Town to provide public art within the same Town Planning Scheme Precinct; or
 - b. the owner/applicant is to provide public art on the development site in accordance with the procedures outlined in the Town's Developers Public Art Handbook, which includes the submission of details for approval by Council. The public art is to be completed and installed to the satisfaction of the Town prior to the occupation of the development, at which time the bond will be refunded by Council. The public art is to be maintained thereafter by the owner/occupiers;
9. The owner or occupier is required to display the street number allocated to the property in a prominent location clearly visible from the street and/or right-of-way that the building faces.
10. A separate application is to be submitted to the Town's Street Improvement business unit for approval prior to construction of a new crossover. To submit a crossover application please complete a 'Crossover Installation Application Form' and refer to the 'Crossover Installation Package'. Both documents are available from the Town's website.
11. All stormwater drainage shall be designed and signed by a certified Hydraulic Engineer. An overland flow path is to be included in the design to ensure diversion of stormwater from the developments during storm events.



12. A Work Zone Permit application is to be submitted to and approval issued the Town, prior to any works or temporary storage on a public thoroughfare (including roads, parking bays, footpaths or verges). To download an application form and for further information, please refer to the Town's website or contact the Town's Street Improvement business unit on (08) 9311 8111. It is noted that a Work Zone permit may not be permitted along some sections of Berwick Street.

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) or local government approval under regulation 17A of the *Planning and Development (Development Assessment Panels) Regulations 2011*.

Drawing No.	Drawing Name	Current Revision
A0.00	COVER PAGE	4
A0.01	SITE SURVEY	3
A1.00	SITE PLAN	5
A1.01	SITE PARCELS	6
A1.02	SITE GROUND FLOOR PLAN	9
A1.03	SITE FIRST FLOOR PLAN	7
A2.10	LOTS 10-19 FLOOR PLANS	3
A2.11	LOTS 10-19 FLOOR PLANS	3
A2.12	UNIT PLANS - TYPES D & E	3
A2.13	UNIT PLANS - TYPES F & G	0
A2.20	LOTS 20-30 FLOOR PLANS	3
A2.21	LOTS 20-30 TYPICAL FLOOR PLANS	3
A2.22	LOTS 20-30 TYPICAL FLOOR PLANS	3
A2.30	LOTS 31-40 FLOOR PLANS	3
A2.31	LOTS 31-40 FLOOR PLANS	3
A2.32	LOTS 31-40 TYPICAL FLOOR PLANS	3
A2.33	LOTS 31-40 TYPICAL FLOOR PLANS	3
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A2.40	LOTS 1-8 FLOOR PLANS	3
A2.41	LOTS 1-8 FLOOR PLANS	3
A2.42	LOTS 1-8 TYPICAL FLOOR PLANS	2
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A2.44	LOT 9 G & 1 FLOOR PLANS	10
A2.45	LOT 9 2 & 3 FLOOR PLANS	9
A2.46	LOT 9 ROOF PLAN	7
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A2.53	LOT 9 MODULE 3 - TYPICAL	7
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A2.55	LOT 9 - FORECOURT PLAN	3
A3.10	LOTS 10-19 ELEVATIONS	3
A3.11	LOTS 10-19 ELEVATIONS	4
A3.20	LOTS 20-30 ELEVATIONS	3
A3.21	LOTS 20-30 ELEVATIONS	3
A3.22	XX TYPICAL TYPES H-J ELEVATIONS	3
A3.23	XX TYPICAL TYPES K-L ELEVATIONS	3
A3.30	LOTS 31-40 ELEVATIONS	3
A3.31	LOTS 31-40 ELEVATIONS	3
A3.32	XX TYPICAL TYPES M-P ELEVATIONS	3
A3.33	XX TYPICAL TYPES Q-S ELEVATIONS	3
A3.40	LOTS 1-8 ELEVATIONS	4
A3.41	LOTS 1-8 ELEVATIONS	3
A3.42	LOTS 1-8 TYPICAL ELEVATIONS	2
A3.43	LOTS 1-8 TYPICAL ELEVATIONS	2
A3.44	LOTS 1-8 TYPICAL ELEVATIONS	4
A3.45	LOT 9 ELEVATIONS	6
A3.46	LOT 9 ELEVATIONS	6
A3.47	LOT 9 ELEVATIONS	6
A3.48	LOT 9 ELEVATIONS	6
A3.49	LOT 9 ELEVATIONS	6
A4.02	LOT 9 - FORECOURT SECTION	2



384 Berwick Street, East Victoria Park ,
6101 WA

DEVELOPMENT APPROVAL SET
APRIL 30, 2021



Architectural documents are to be read in conjunction with relevant structural, fire services, mechanical, hydraulic, electrical, civil and landscaping documents. Drawings are to be read in conjunction with the appropriate sections of technical applications.
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rev	date	title
1	15/10/2020	UPDATED DA
2	14/11/2020	ADJOINING LOT LEVELS CORRECTED
3	15/01/2021	UPDATED FOR DA
4	22/04/2021	DRAWINGS UPDATED FOR DA

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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **COVER PAGE**

designed	Designer		
drawn	Author		
project no.	scale	drawing no.	rev.
20006	1 : 500	A0.00	4



- Notes:
1. This plan has been prepared for HAMLEN and should not be used for any other purpose or by any third party unless authorised in writing by Total Project Consultants Pty
 2. ~~Catastral~~ Boundaries shown are approximate only and have been derived from Landgate SCDB data and must be verified prior to any construction. Prior to the commencement of any work, relevant authorities should be contacted for the location of all underground services;
 3. Prior to the commencement of any work, relevant authorities should be contacted for the location of all underground
 4. ~~Levels~~ are based on SSM CANNINGTON 60 and prior to any construction must be verified with a second AHD
 5. ~~Total~~ Project Consultants Pty Ltd accepts no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this
 6. ~~Survey~~ overwriting some levels may be switched off for this plan only and;
 7. This note is an integral part of this plan and must not be removed.



NOTE: SITE TO BE CLEARED

Legend

	Building
	Eave
	Fence
	Edge of Bitumen
	Kerb Bottom
	Kerb Top
	Overhead Powerline
	Bank Bottom
	Bank Top
	Retaining Wall
	Road Center Line
	Wall
	Approximate Boundary
	Survey Control
	Drainage Grate
	Sign
	Tree
	Power Pole
	Drainage Manhole
	Light Pole
	Surface Height
	Unknown Service
	Electrical Pit
	Telstra Pit
	Water Hydrant
	Water Hydrant
	Sewer Manhole
	Power Dome
	Water Meter
	Bollard

DEVELOPMENT ASSESSMENT PANEL

APPROVED

17-May-2021

DA

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rev	date	title
0	20/05/2020	ISSUED FOR DA
1	15/10/2020	UPDATED DA
2	15/01/2021	UPDATED FOR DA
3	22/04/2021	DRAWINGS UPDATED FOR DA

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f: (08) 9316 0498
w: www.mandsarchitecture.com.au

Project: HAMLEN- 384 EVP
Client: HAMLEN

Drawing Title: **SITE SURVEY**

designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	1 : 500	A0.01	3

BERWICK ST.



DEVELOPMENT ASSESSMENT PANEL
APPROVED
17-May-2021

DA

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rev	date	title
3	15.01.2021	UPDATED FOR DA
4	19.04.2021	DRAWINGS UPDATED FOR COUNCIL
5	21.04.2021	ISSUE FOR JMAP REFERRAL
6	22.04.2021	DRAWINGS UPDATED FOR DA

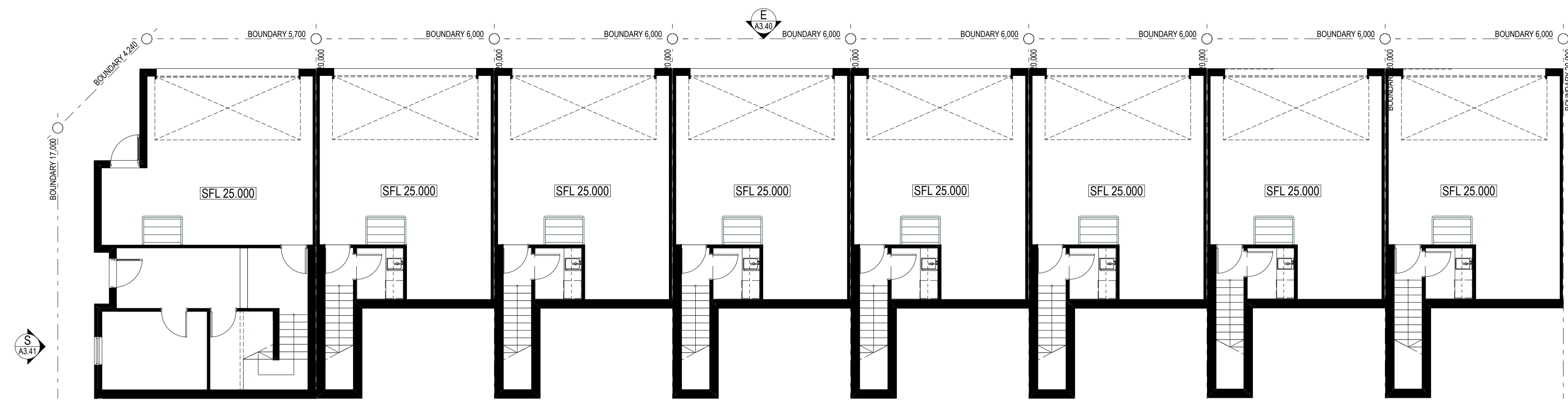
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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

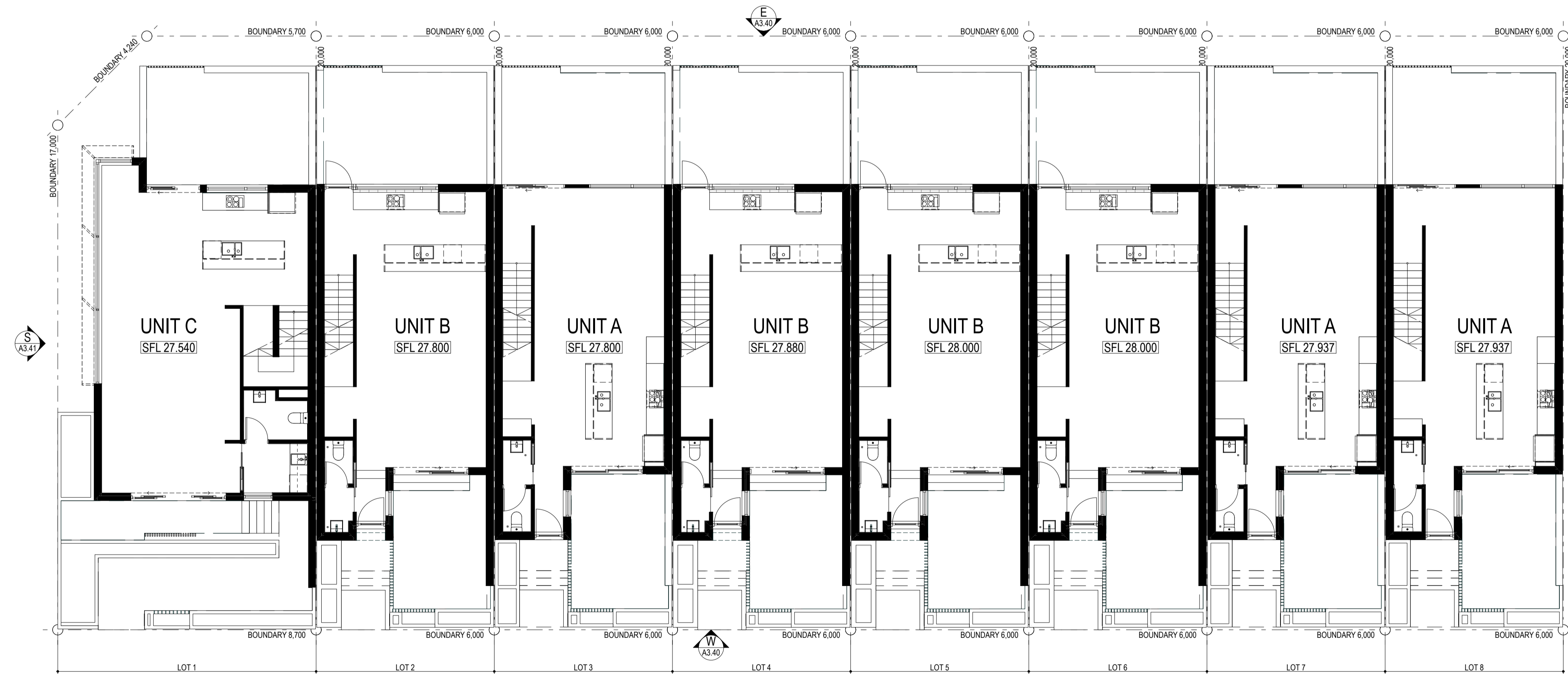
Drawing Title: **SITE PARCELS**

designed	Designer	date	Author	scale	drawing no	rev
2006	As indicated	A1	A1.01	6		

NO. OF TOWN HOUSES	39
NO. OF APARTMENTS	32
AREA OF TOWNHOUSE LOTS	5,052.95m ²
AREA OF APARTMENT LOT	1,682.3m ²
TOTAL AREA OF LOTS	6,735.25m ²



2 LOTS 1-8 LOWER GROUND FLOOR PLAN
1:100



1 LOTS 1-8 GROUND FLOOR PLAN
1:100



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rev	date	title
0	15/09/2020	ISSUED FOR DA
1	15/10/2020	UPDATED DA
2	15/01/2021	UPDATED FOR DA
3	22/04/2021	DRAWINGS UPDATED FOR DA

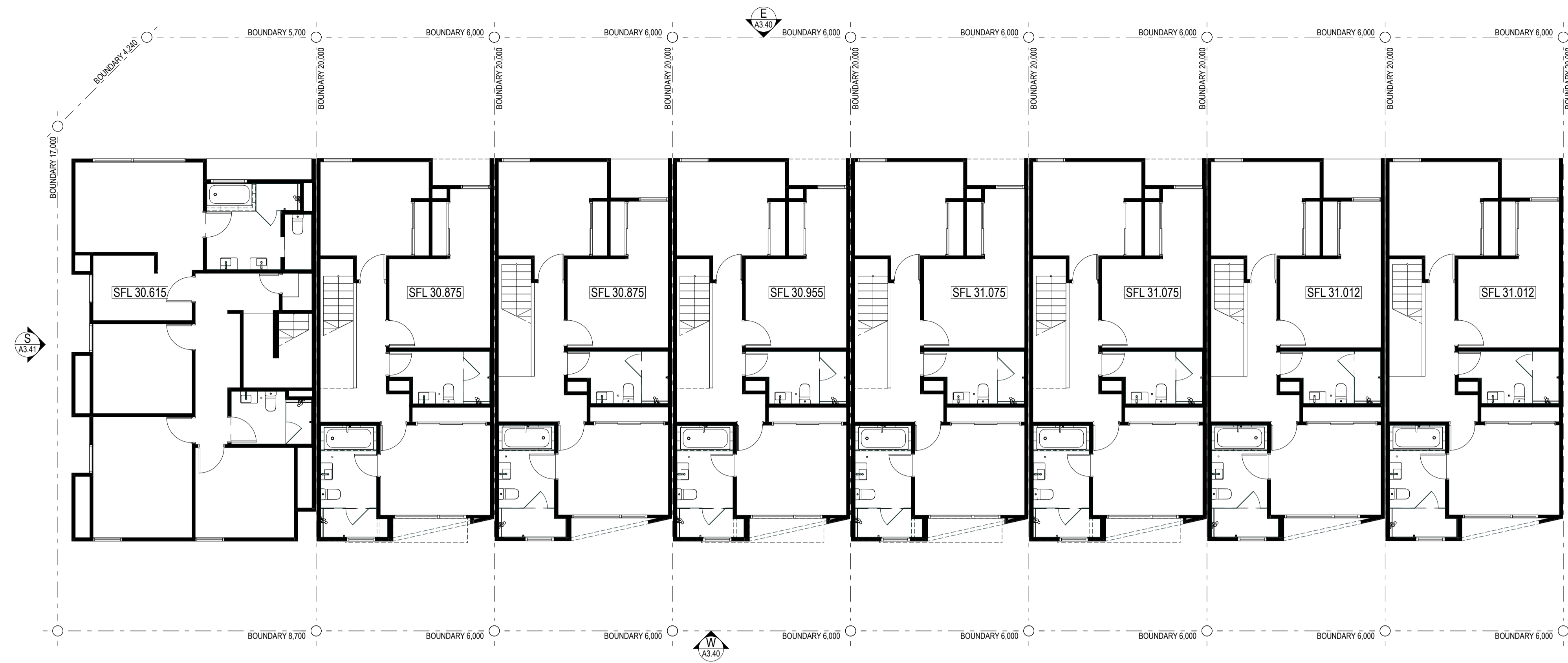


Project	HAMLEN- 384 EVP
Client	HAMLEN
Drawing Title	LOTS 1-8 FLOOR PLANS
Designed	Author
Drawn	Author
Project no	20006
Scale	1:100
Drawing no	A2.40
Rev	3

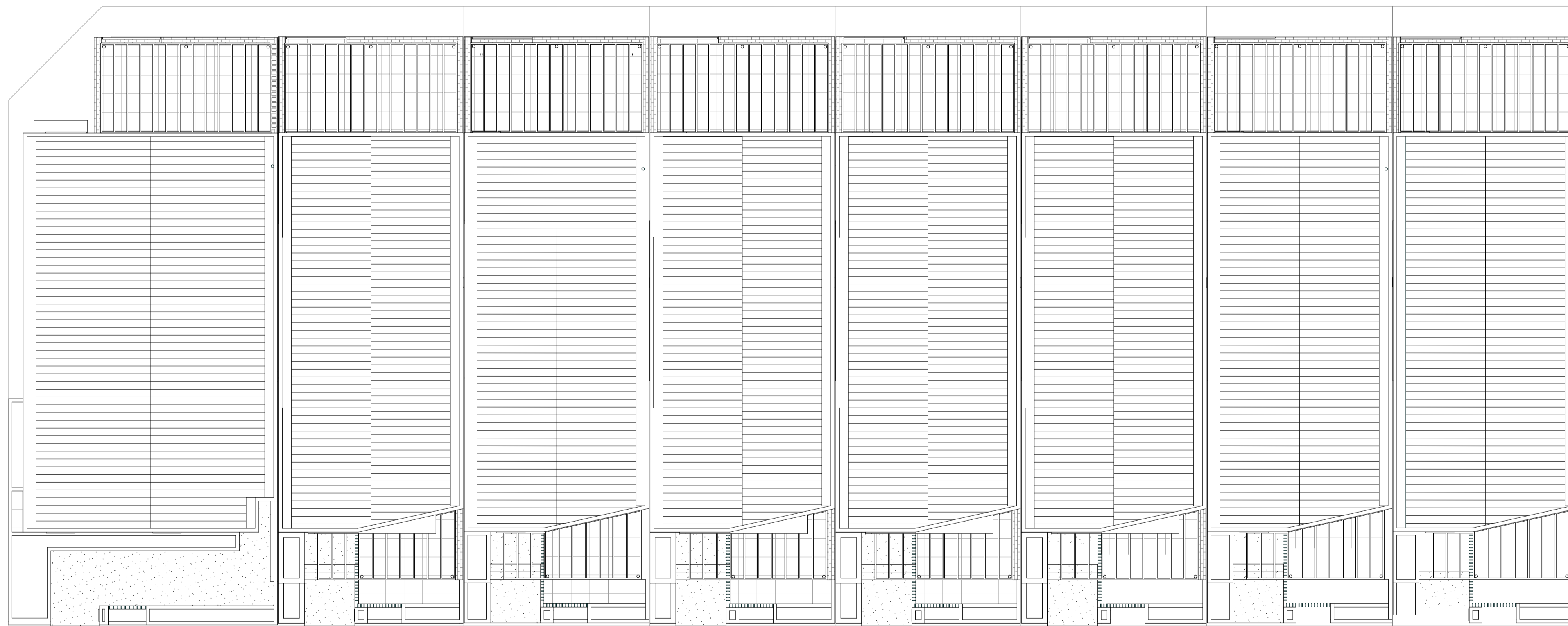
**DEVELOPMENT
ASSESSMENT PANEL**

APPROVED

17-May-2021



1 LOTS 1-8 FIRST FLOOR PLAN
1:100



2 LOTS 1-8 ROOF PLAN
1:100

**DEVELOPMENT
ASSESSMENT PANEL**

APPROVED

17-May-2021



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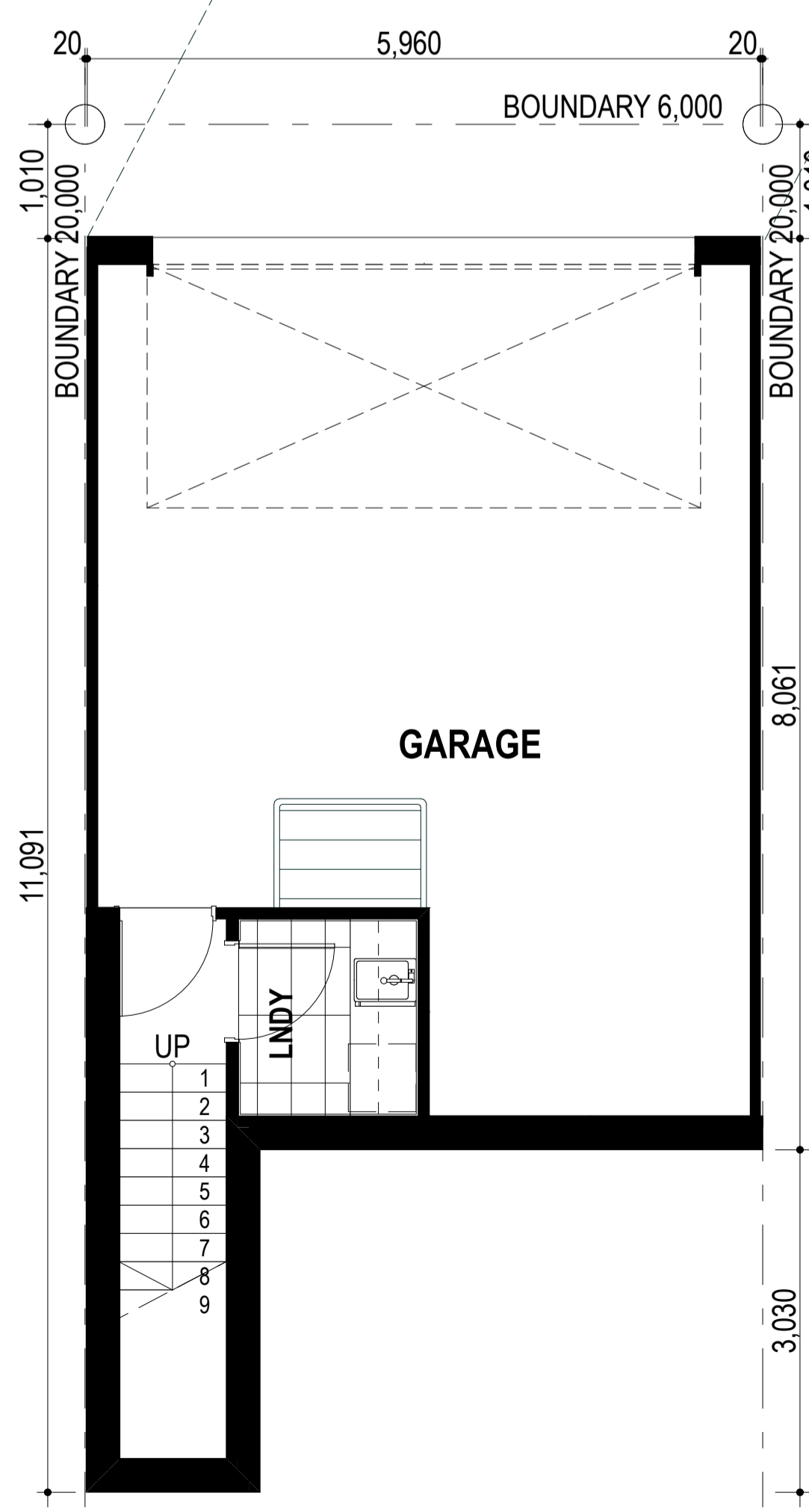
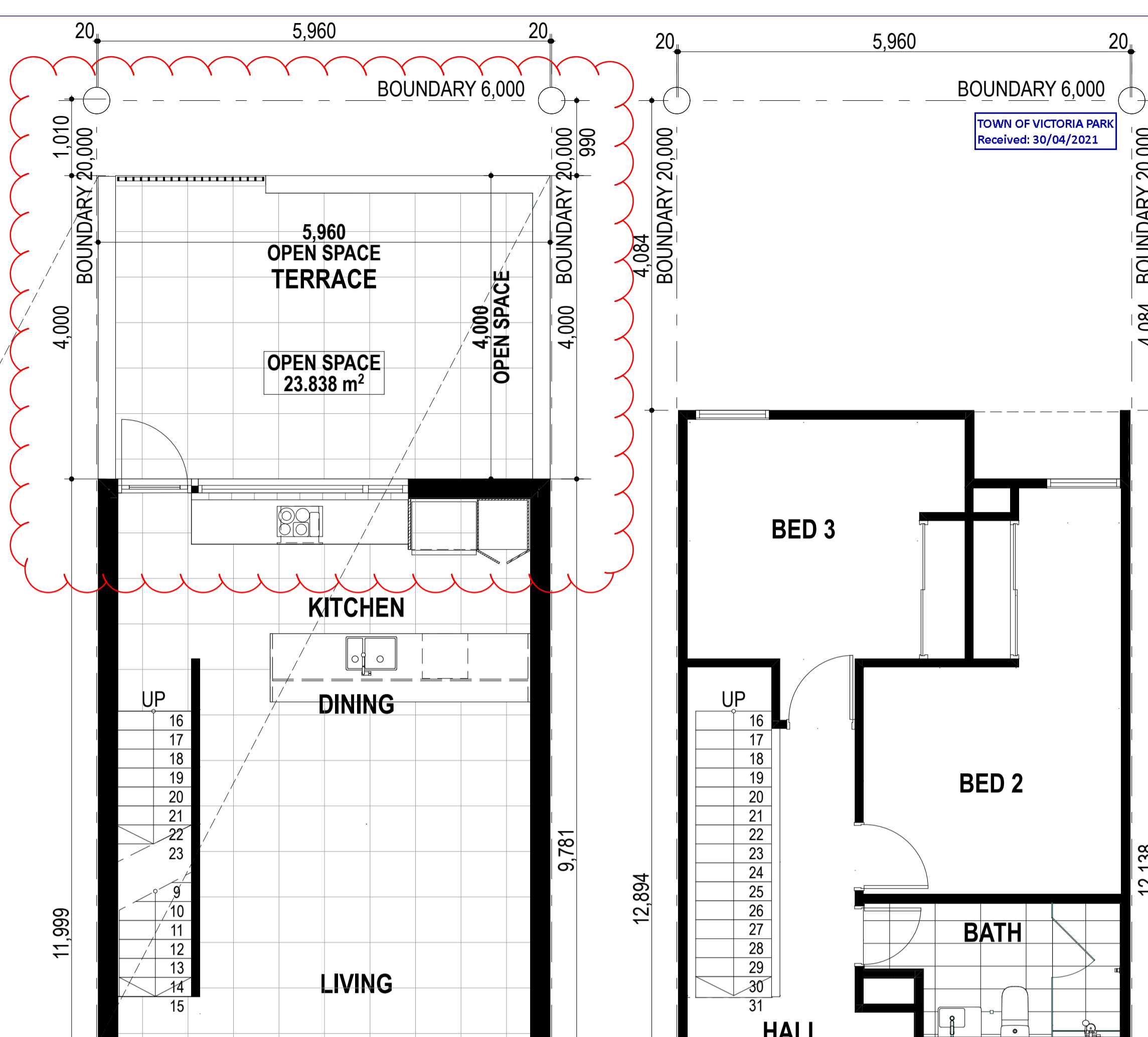
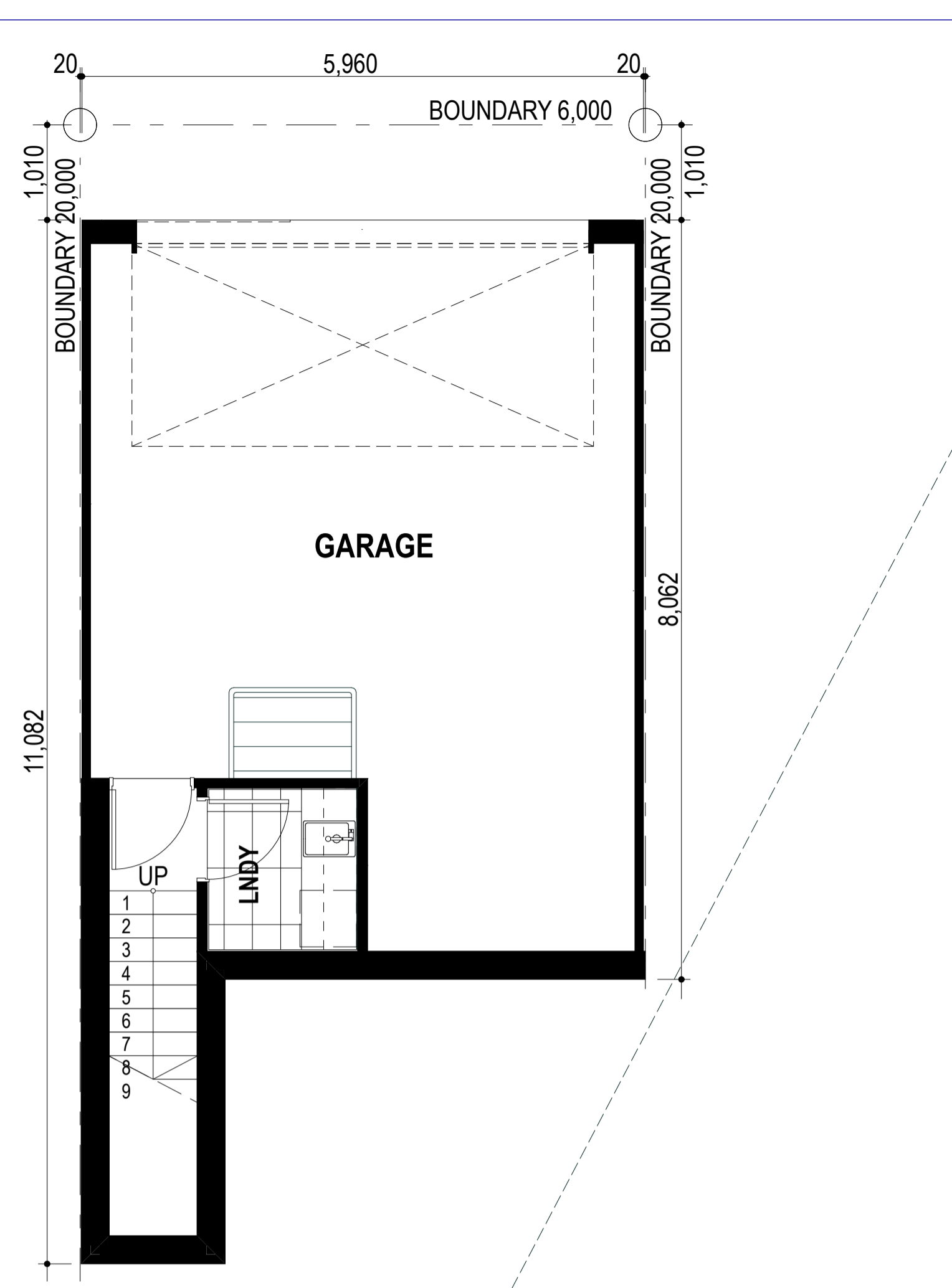
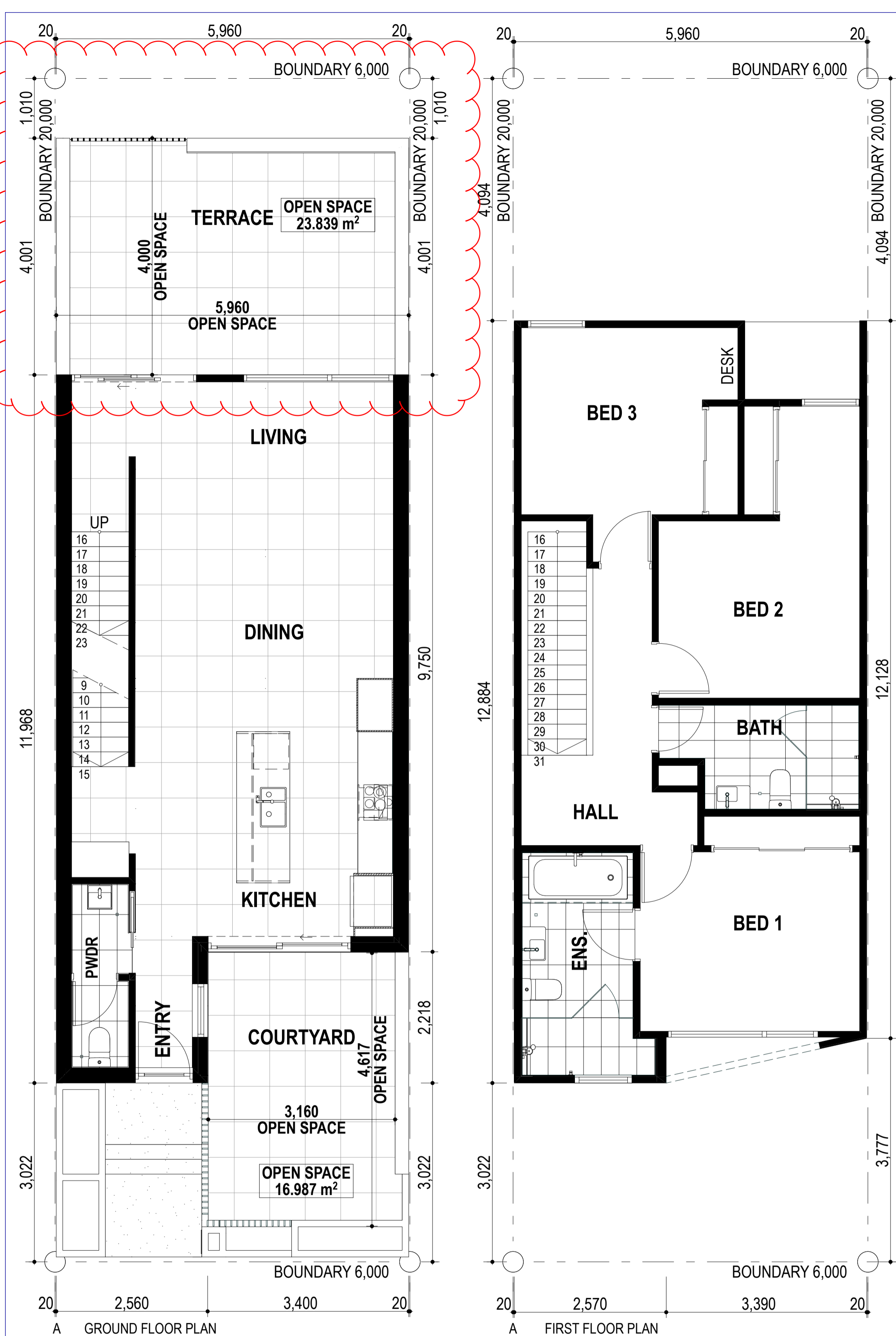
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rev	date	title
0	20/09/2020	ISSUED FOR DA
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2	15/01/2021	UPDATED FOR DA
3	22/04/2021	DRAWINGS UPDATED FOR DA

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Project	HAMLEN- 384 EVP		
Client	HAMLEN		
Drawing Title	LOTS 1-8 FLOOR PLANS		
Designed	Designer		
Drawn	Author		
Project no	scale	drawing no	rev
20006	1:100	A2.41	3



A GROUND FLOOR PLAN 1:50
A FIRST FLOOR PLAN 1:50

A LOWER GROUND FLOOR PLAN 1:50
B LOWER GROUND FLOOR PLAN 1:50

B GROUND FLOOR PLAN 1:50
B FIRST FLOOR PLAN 1:50
DA

TOWN OF VICTORIA PARK
Received: 30/04/2021

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REV	DATE	ISSUE
0	15/09/2020	ISSUED FOR DA
1	15/10/2020	UPDATED DA
2	15/01/2021	UPDATED FOR DA
3	22/04/2021	DRAWINGS UPDATED FOR DA

DEVELOPMENT ASSESSMENT PANEL

APPROVED

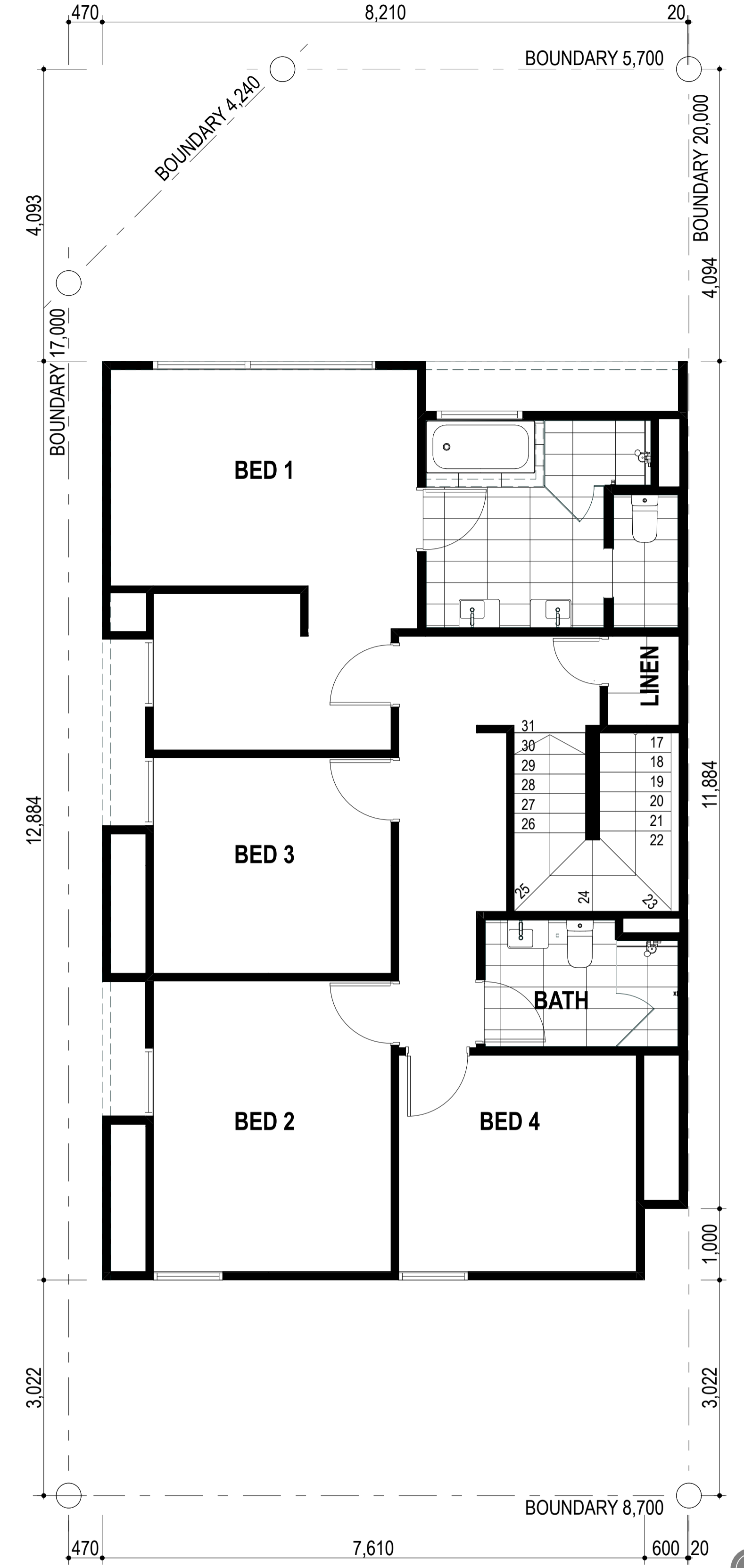
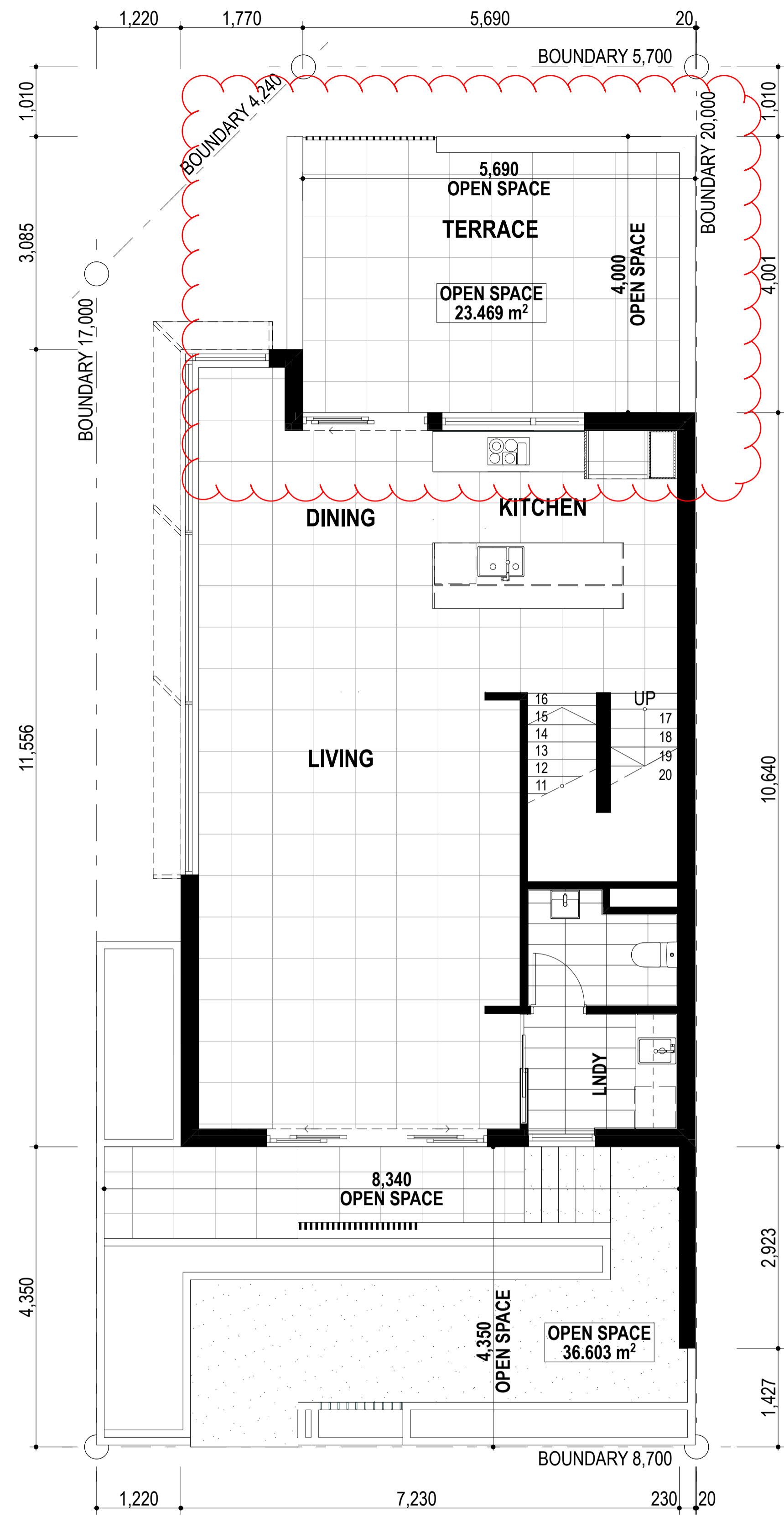
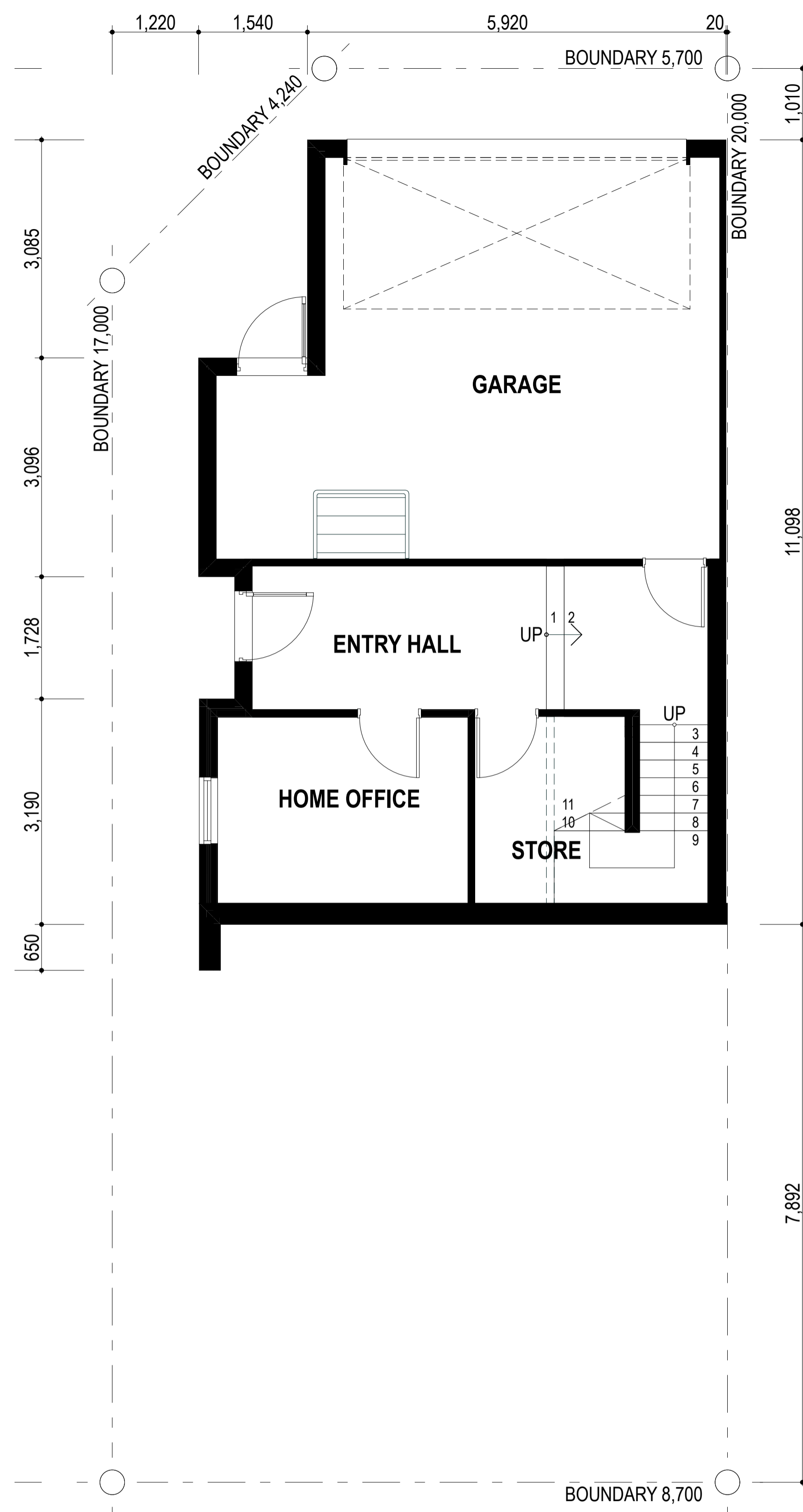
17-May-2021

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w: www.marchitecture.com.au

Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**
Drawing Title: **LOTS 1-8 TYPICAL FLOOR PLANS**

DATE	AUTHOR	DRAWING NO.	REV.
2006		A2.42	3



C LOWER GROUND FLOOR PLAN
1:50

C GROUND FLOOR PLAN
1:50

C FIRST FLOOR PLAN
1:50



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REV	DATE	ISSUE
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1	15/10/2020	UPDATED DA
2	15/01/2021	UPDATED FOR DA
3	22/04/2021	DRAWINGS UPDATED FOR DA

DEVELOPMENT ASSESSMENT PANEL

APPROVED

17-May-2021

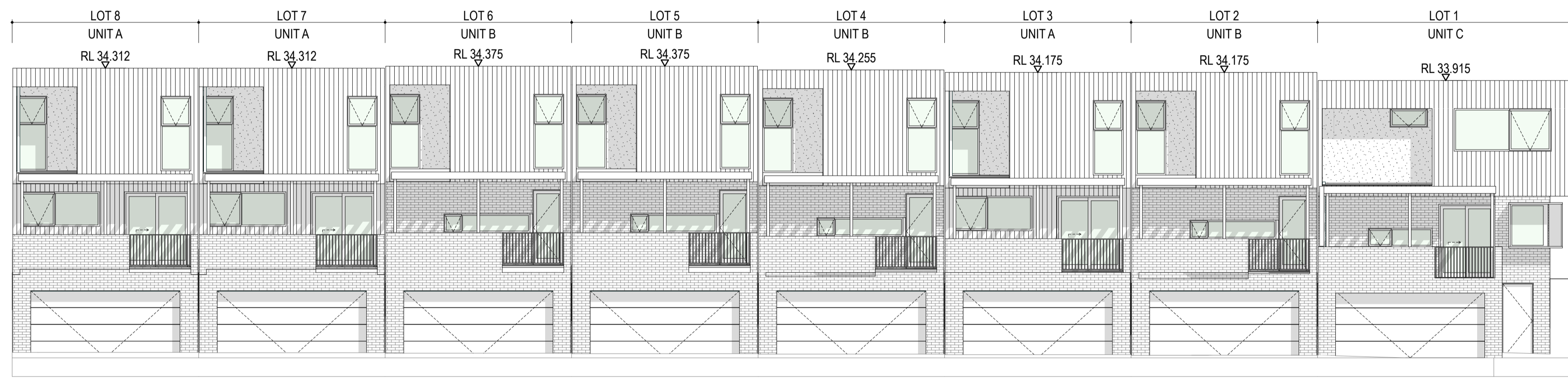
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Project	HAMLEN- 384 EVP
Client	HAMLEN
Drawing Title	LOTS 1-8 TYPICAL FLOOR PLANS
Drawn	
Checked	
Project no	20006
Scale	1:50
Drawing no	A2.43
Rev	3



W LOTS 1-8 ELEVATION
1:100



E LOTS 1-8 ELEVATION
1:100



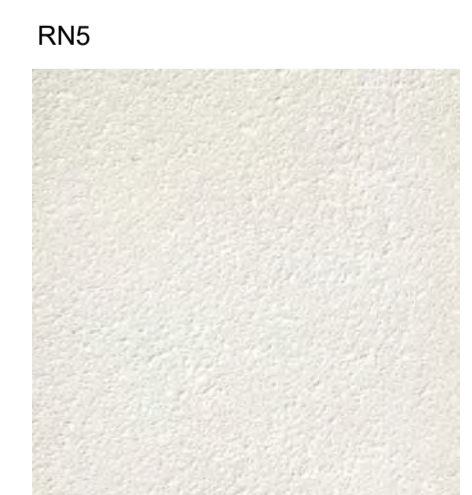
MC1
Black James Hardie Scyon cladding or similar to external wall / roof.



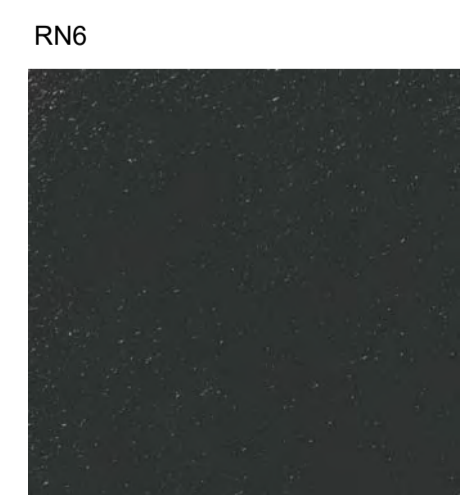
BW3
Lithium Astral brickwork or similar to front elevation walls.



MB4
Black steel infill balustrade or similar to front street elevation.



RN5
Dulux Whipser White to external walls or similar.



RN6
Dulux Monument to external walls or similar.



TC2
Ironbark timber cladding or similar externally to main entry.

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Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **LOTS 1-8 ELEVATIONS**

Drawn	Checked	Scale	Drawing no.	Rev.
		1:100	A3.40	3



S LOTS 1-8 ELEVATION
1:100

MC1



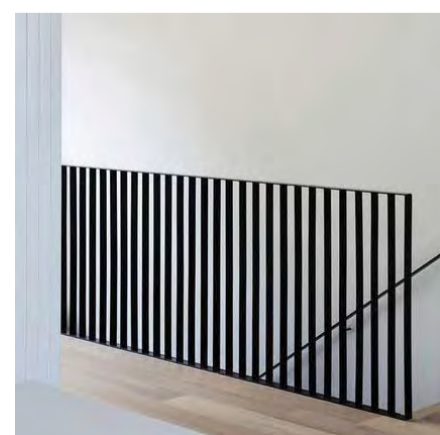
Black James Hardie Scyon cladding or similar to external wall / roof.

BW3



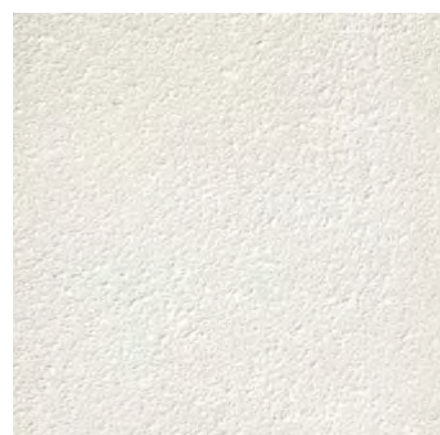
Lithium Astral brickwork or similar to front elevation walls.

MB4



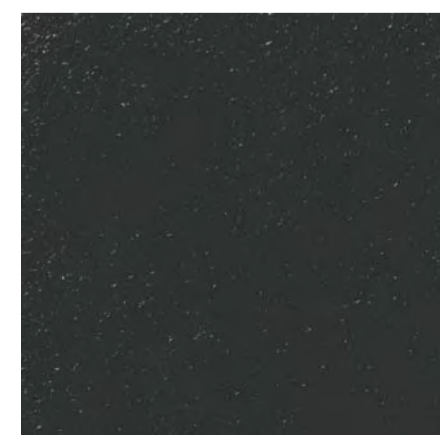
Black steel infill balustrade or similar to front street elevation.

RN5



Dulux Whipser White to external walls or similar.

RN6



Dulux Monument to external walls or similar.

TC2



Ironbark timber cladding or similar externally to main entry.

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17-May-2021



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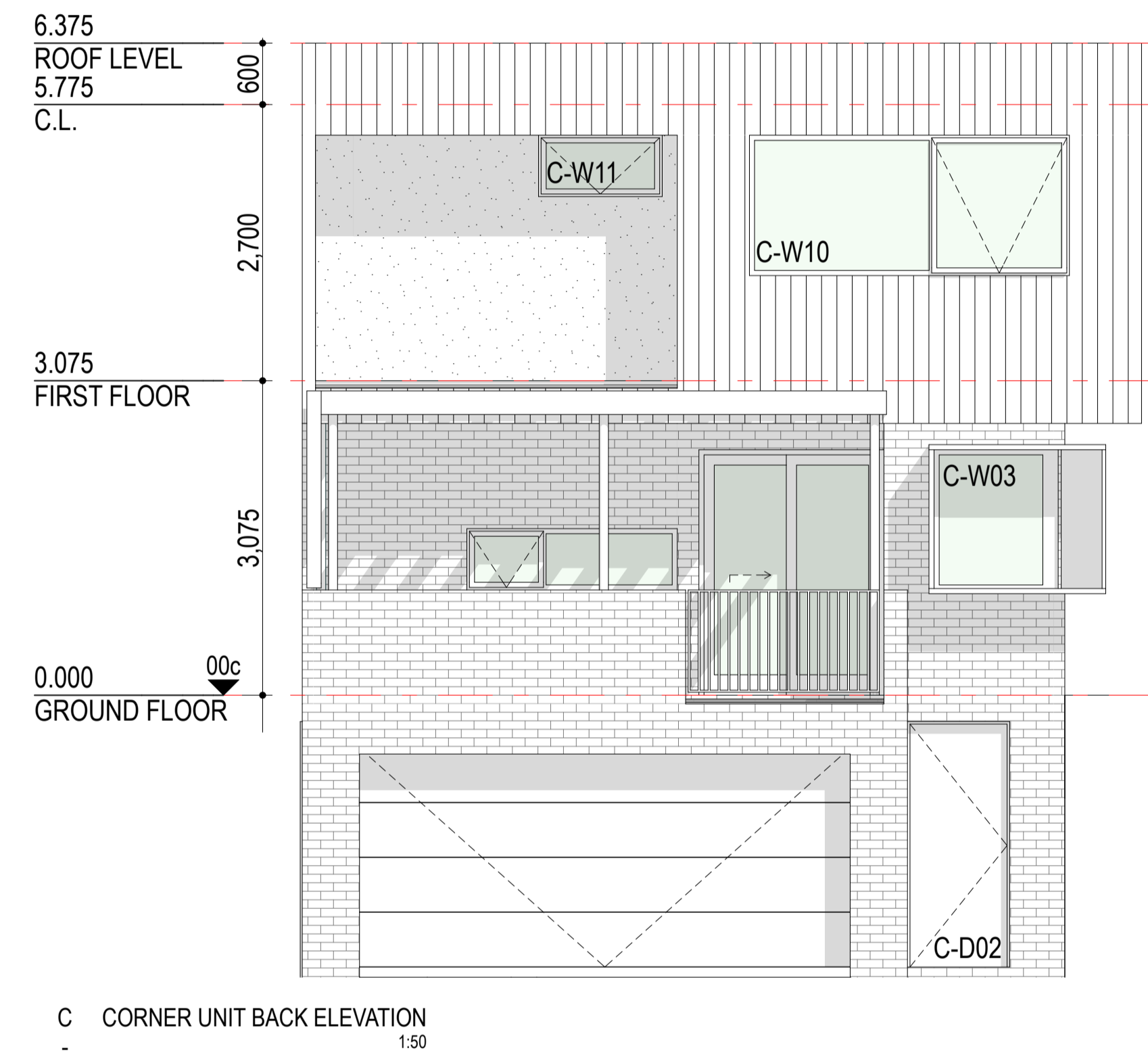
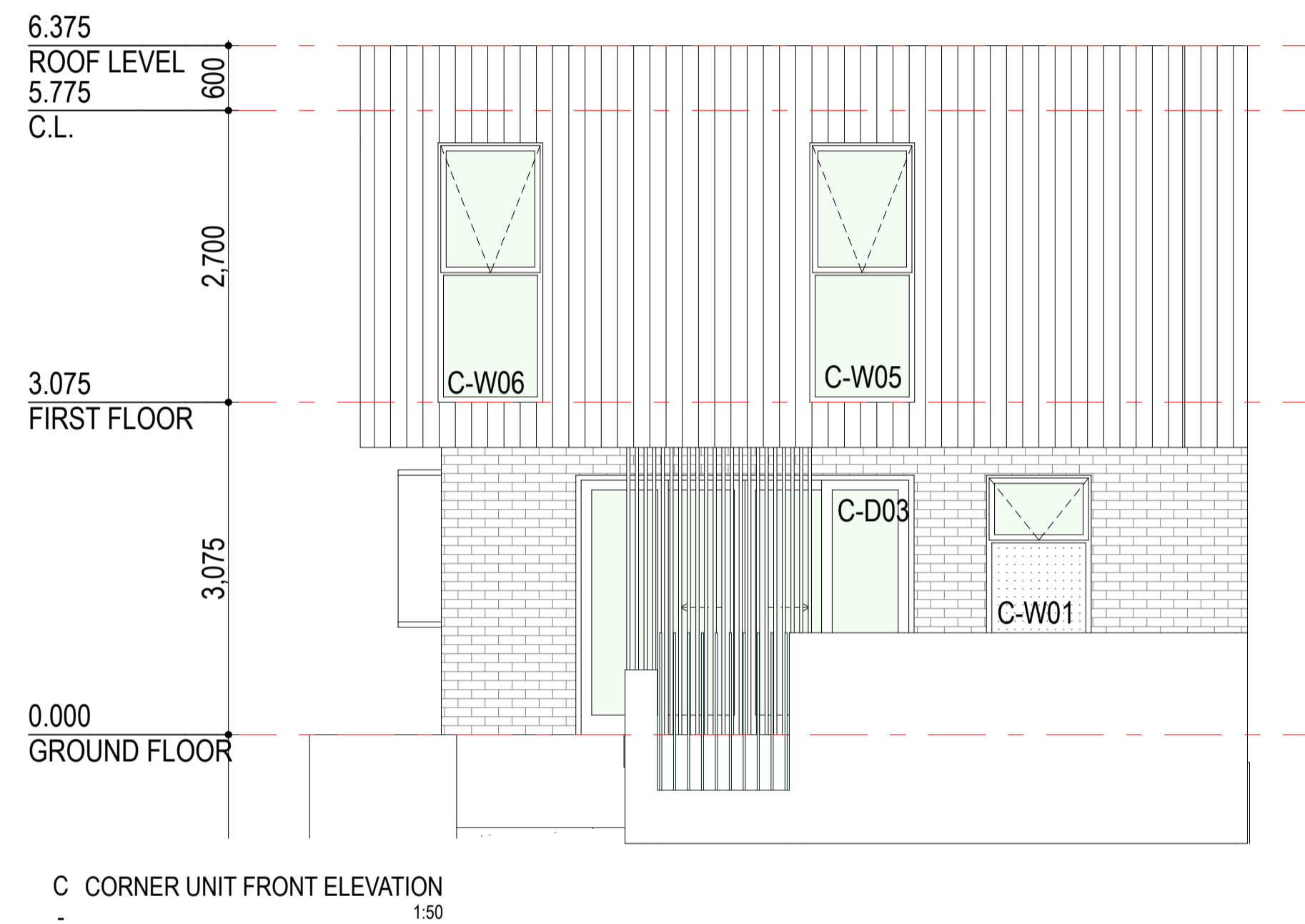
Project: HAMLIN- 384 EVP

Client: HAMLIN

Drawing Title

LOTS 1-8 ELEVATIONS

Drawn	Checked	Scale	Drawing no.	Rev.
		1:100	A3.41	3




**DEVELOPMENT
ASSESSMENT PANEL**

APPROVED

17-May-2021


- MC1




Black James Hardie Scyon cladding or similar to external wall / roof.
- BW3




Lithium Astral brickwork or similar to front elevation walls.
- MB4



Black steel infill balustrade or similar to front street elevation.
- RN5



Dulux Whipser White to external walls or similar.
- RN6



Dulux Monument to external walls or similar.

[DA]

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Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **LOTS 1-8 TYPICAL ELEVATIONS**

designed	designed	drawn	checked	approved
name	author	scale	drawing no	rev
		1:1	A3.42	3
20006		1:50		



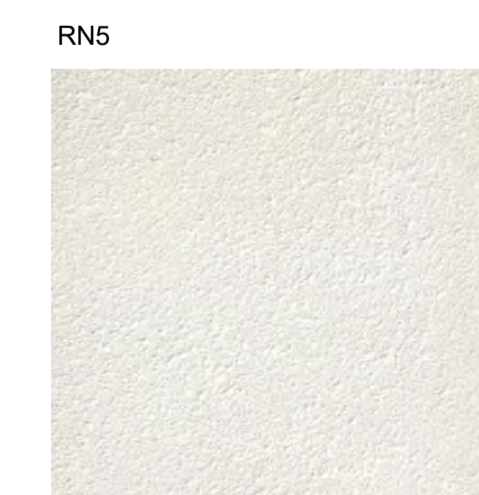
MC1
Black James Hardie Scyon cladding or similar to external wall / roof.



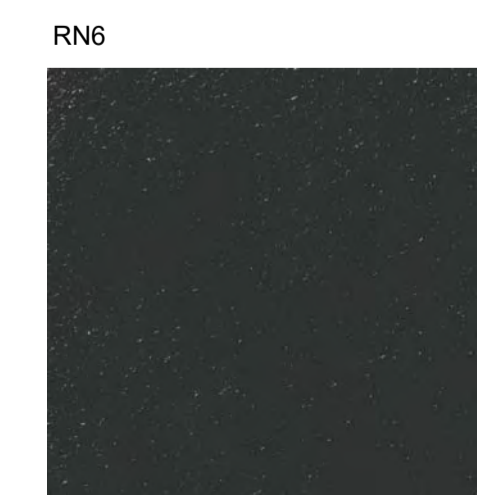
BW3
Lithium Astral brickwork or similar to front elevation walls.



MB4
Black steel infill balustrade or similar to front street elevation.



RN5
Dulux Whipser White to external walls or similar.



RN6
Dulux Monument to external walls or similar.

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17-May-2021



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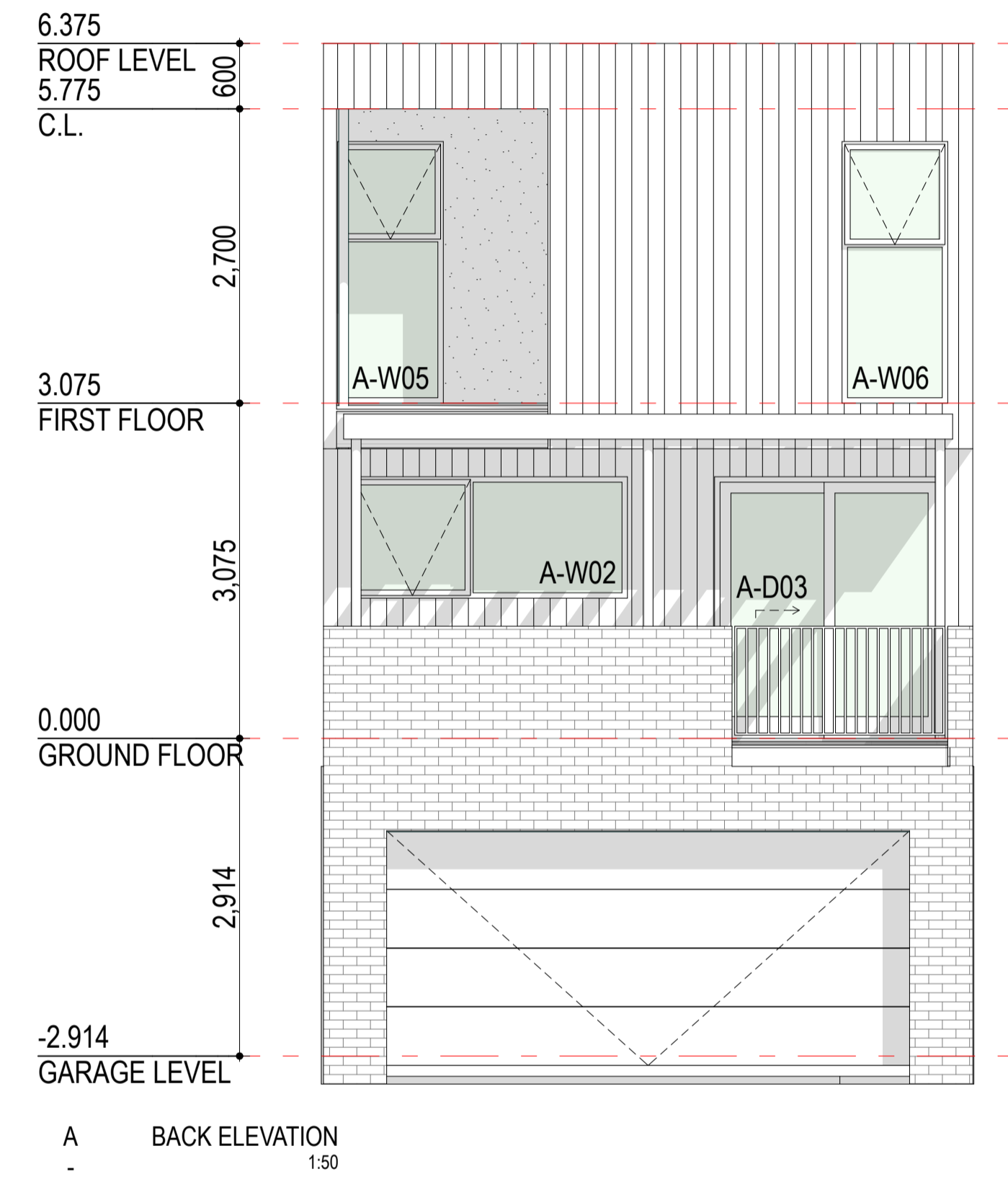
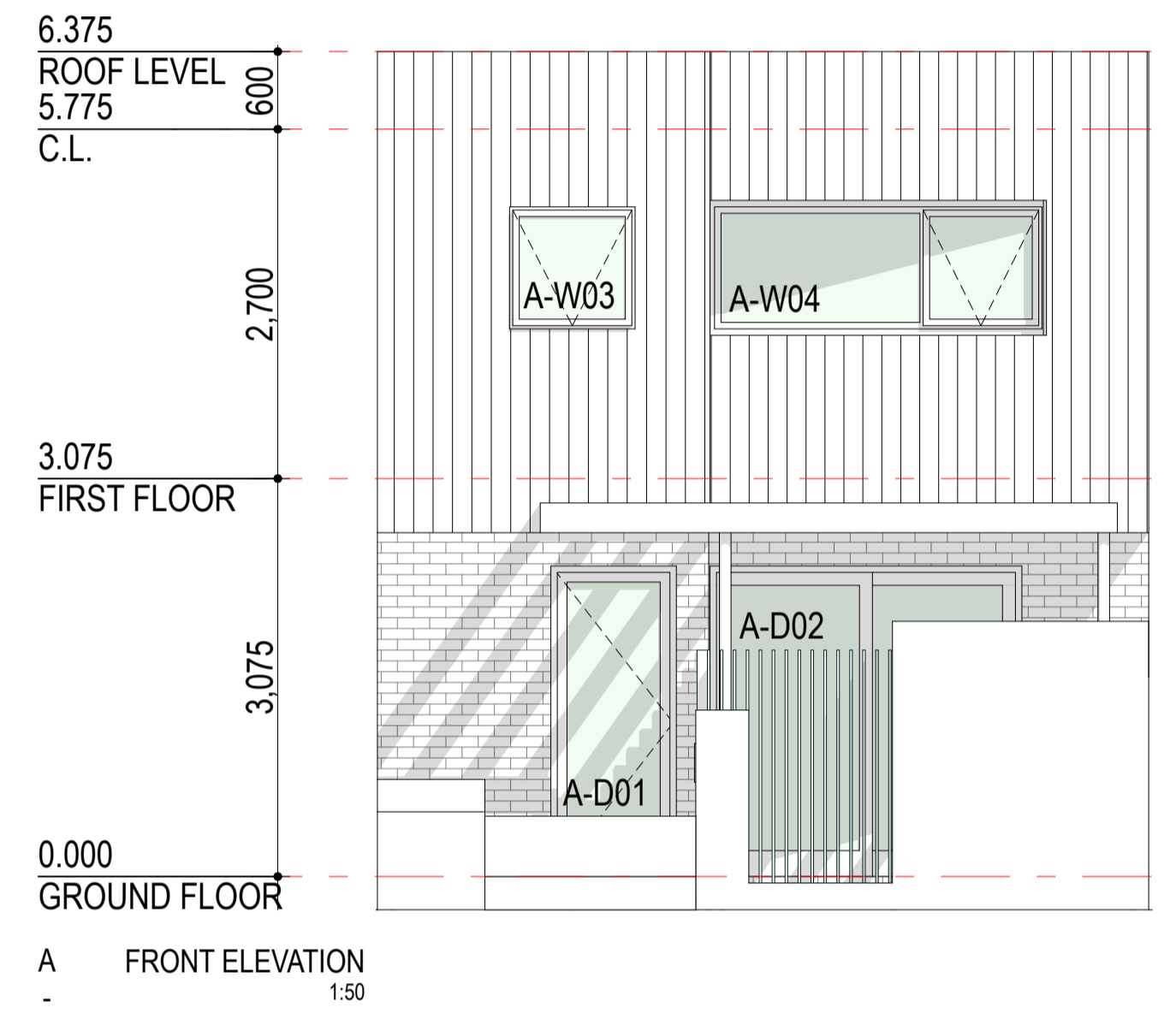


Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **LOTS 1-8 TYPICAL ELEVATIONS**

Drawn	Checked	Scale	Sheet No	Total Sheets
20006	1:1 1:50	A3.43	3	



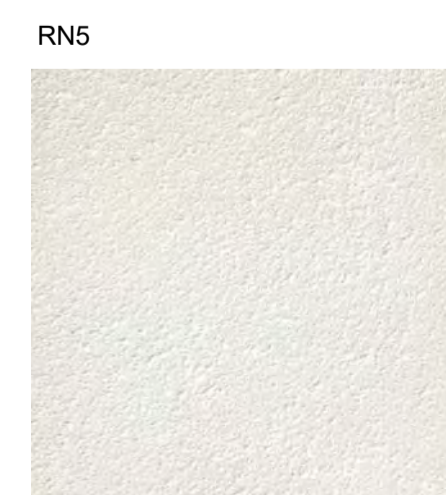
MC1
Black James Hardie Scyon cladding or similar to external wall / roof.



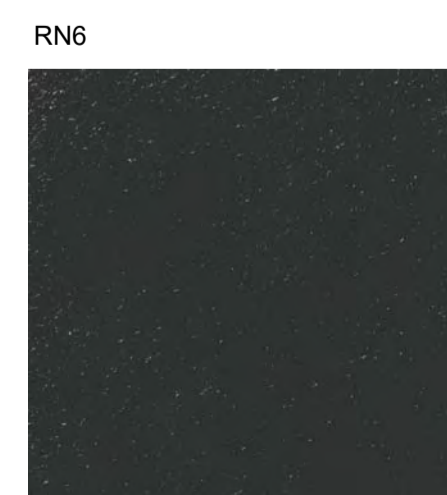
BW3
Lithium Astral brickwork or similar to front elevation walls.



MB4
Black steel infill balustrade or similar to front street elevation.



RN5
Dulux Whipser White to external walls or similar.



RN6
Dulux Monument to external walls or similar.



TC2
Ironbark timber cladding or similar externally to main entry.

DEVELOPMENT ASSESSMENT PANEL

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3	22/04/2021	DRAWINGS UPDATED FOR DA

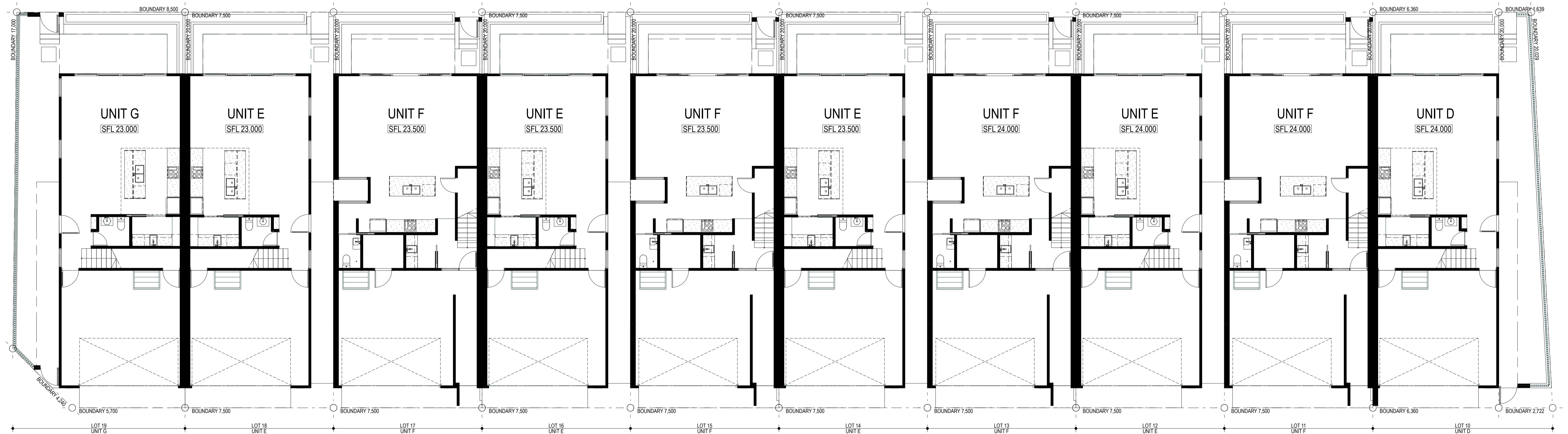


Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **LOTS 1-8 TYPICAL ELEVATIONS**

Drawn	Checked	Scale	Drawing no.	Rev.
		1:1 1:50	A3.44	3



1. LOTS 10-19 GROUND FLOOR PLAN
1:100

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ASSESSMENT PANEL**

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[DA]

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f: (08) 9316 0458
w: www.mmandsarchitecture.com.au

Project: HAMLEN- 384 EVP	
Client: HAMLEN	
Drawing Title: LOTS 10-19 FLOOR PLANS	
Designed:	Designer:
Drawn:	Author:
Project no:	Scale:
20006	1:100
Sheet no:	Drawing no:
	A2.10
Page no:	3



**DEVELOPMENT
ASSESSMENT PANEL**

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3	22/04/2021	DRAWINGS UPDATED FOR DA

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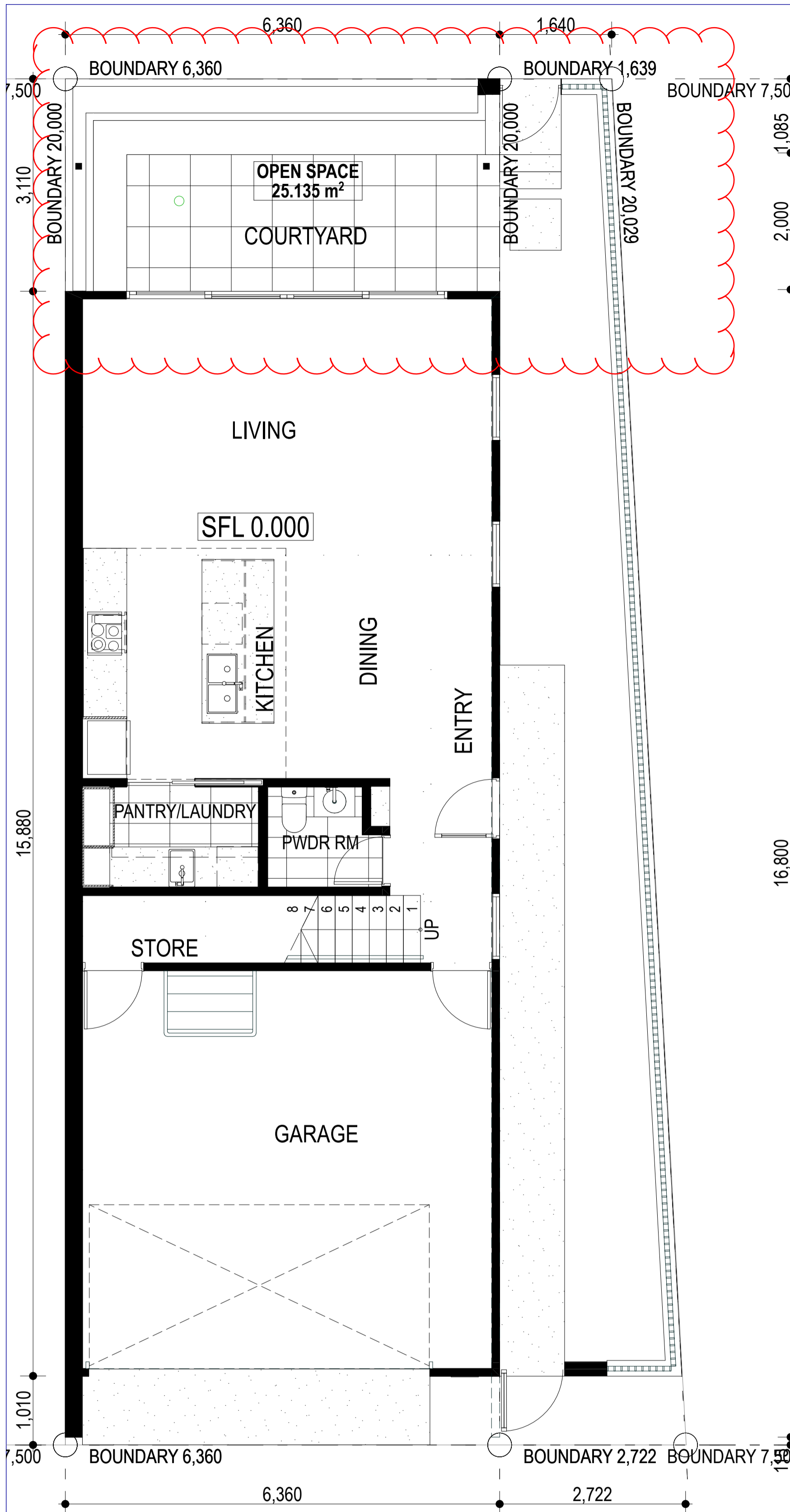
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Project: **HAMLEN- 384 EVP**

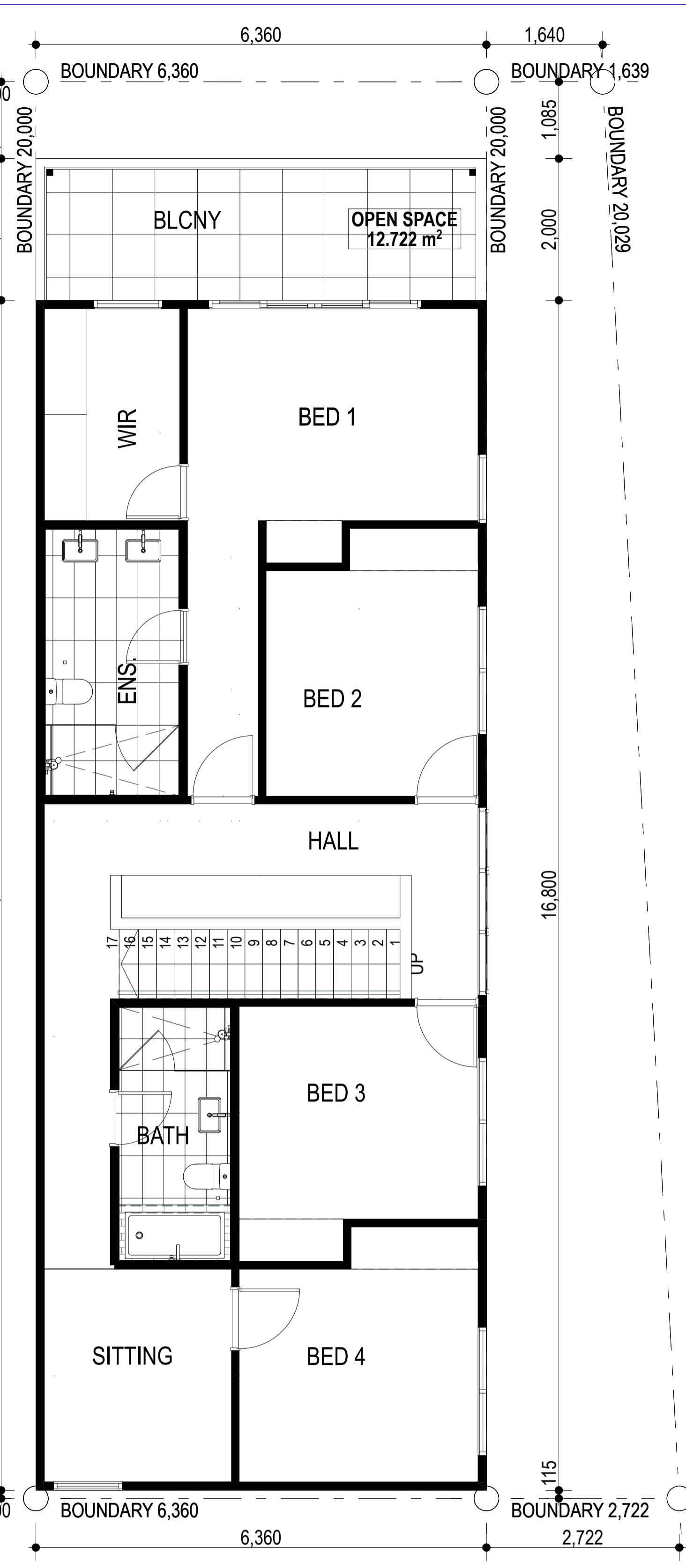
Client: **HAMLEN**

Drawing Title: **LOTS 10-19 FLOOR PLANS**

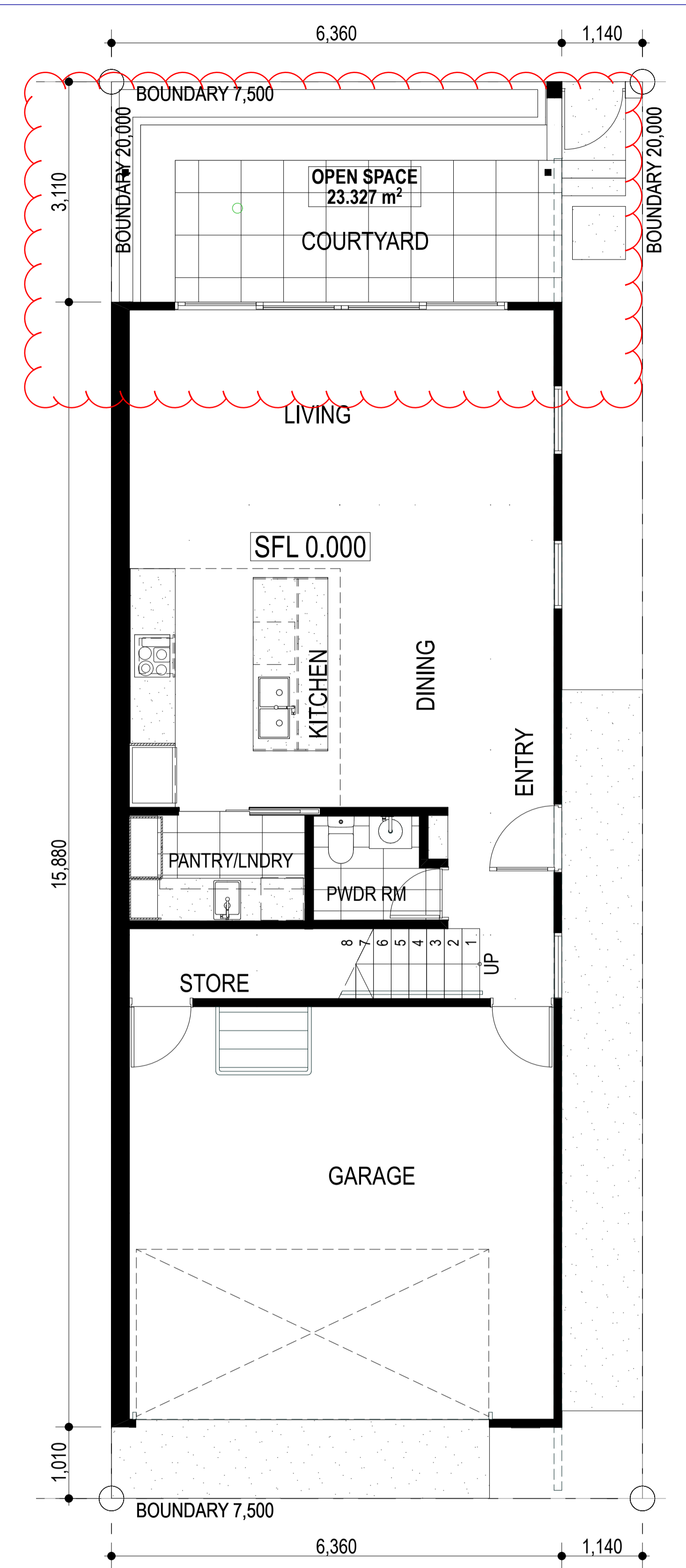
designed	designer	drawn	author	scale	drawing no	rev
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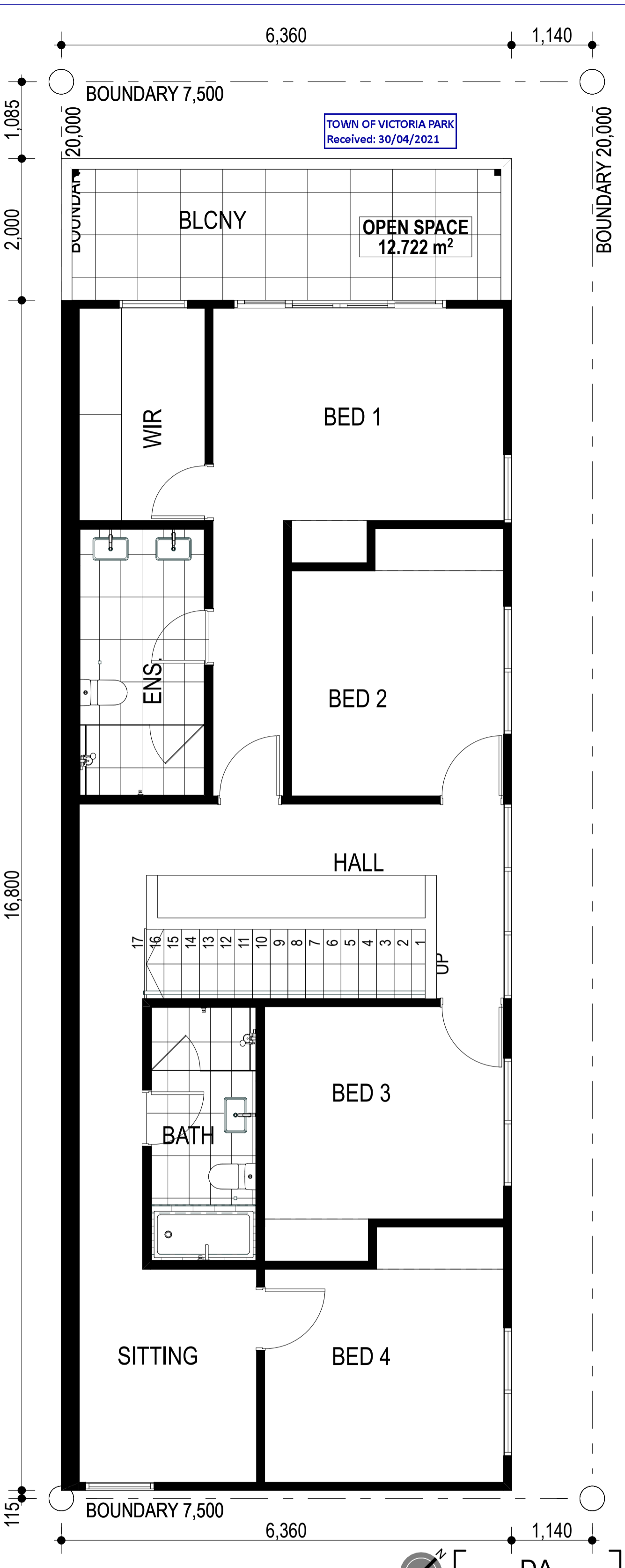
D GROUND FLOOR PLAN
1:50



D FIRST FLOOR PLAN
1:50



E GROUND FLOOR PLAN
1:50



E FIRST FLOOR PLAN
1:50

DEVELOPMENT ASSESSMENT PANEL

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17-May-2021

TOWN OF VICTORIA PARK
Received: 30/04/2021



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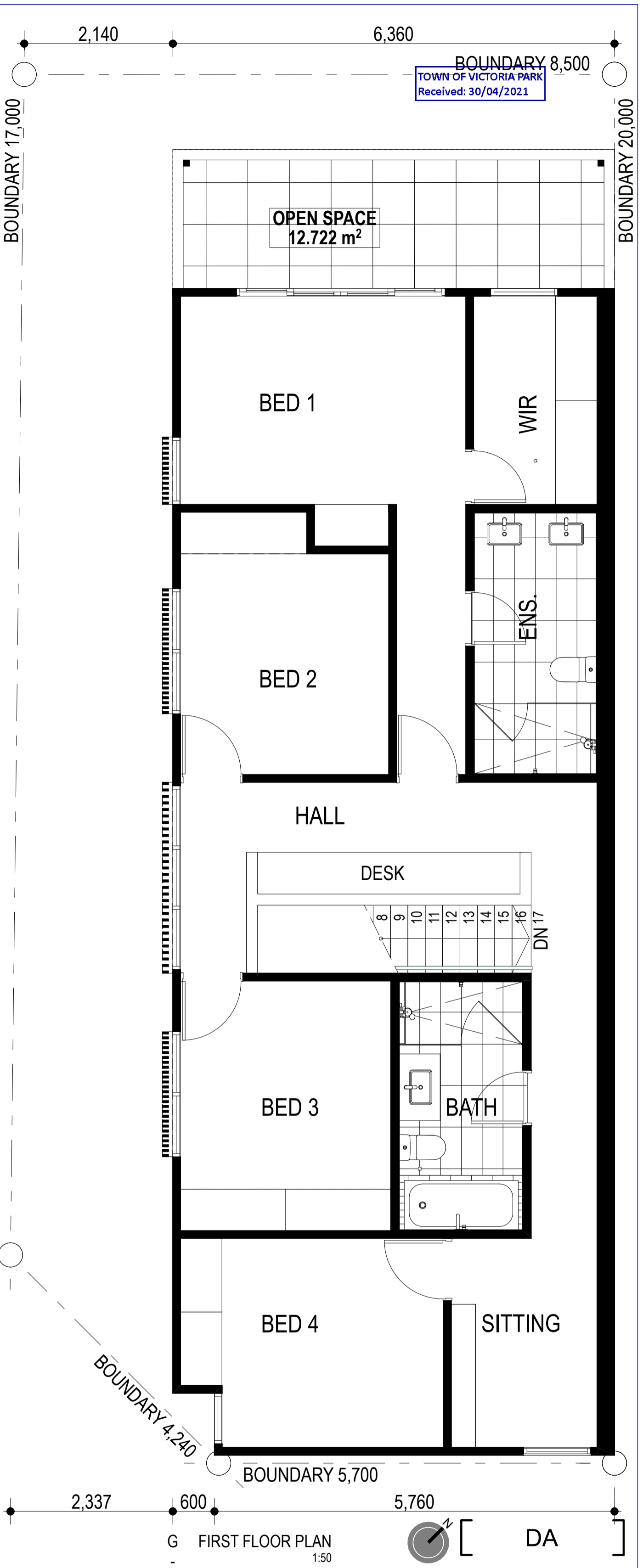
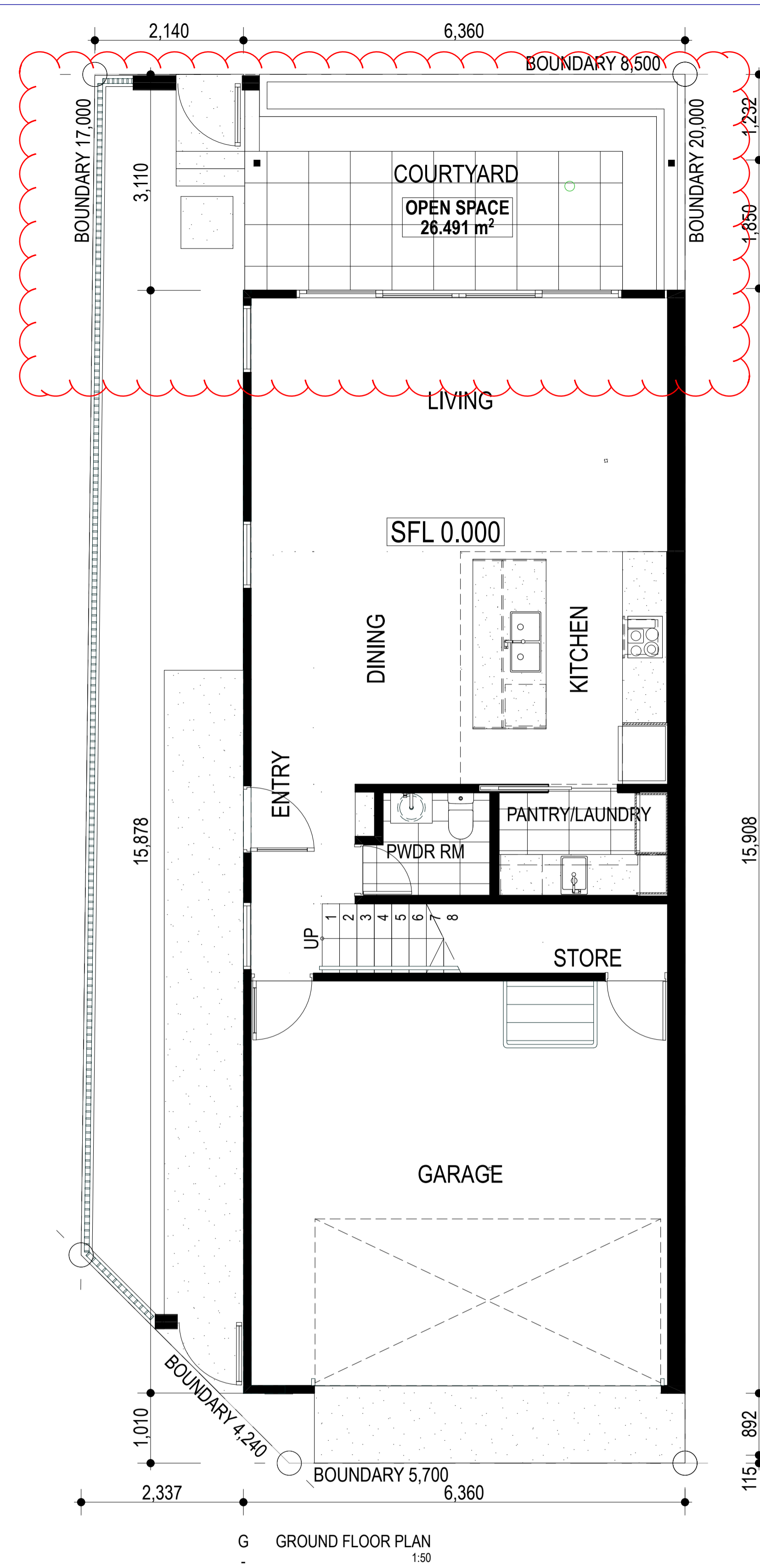
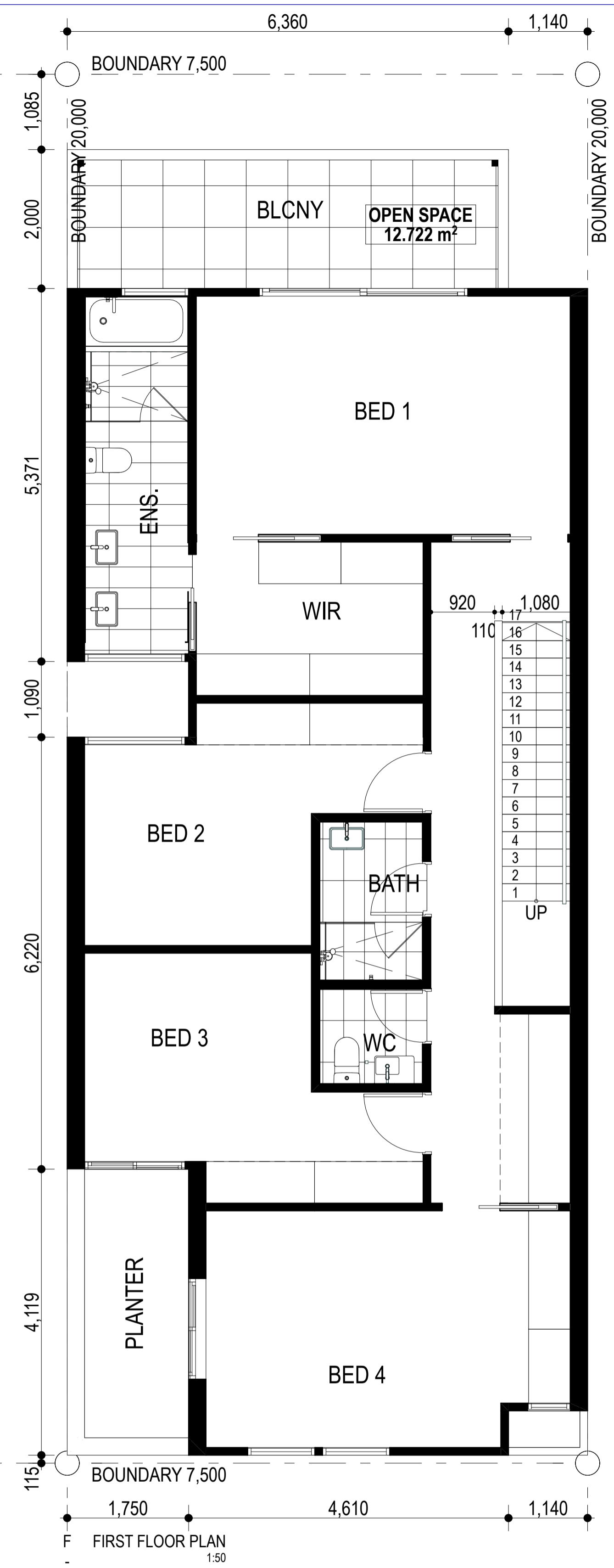
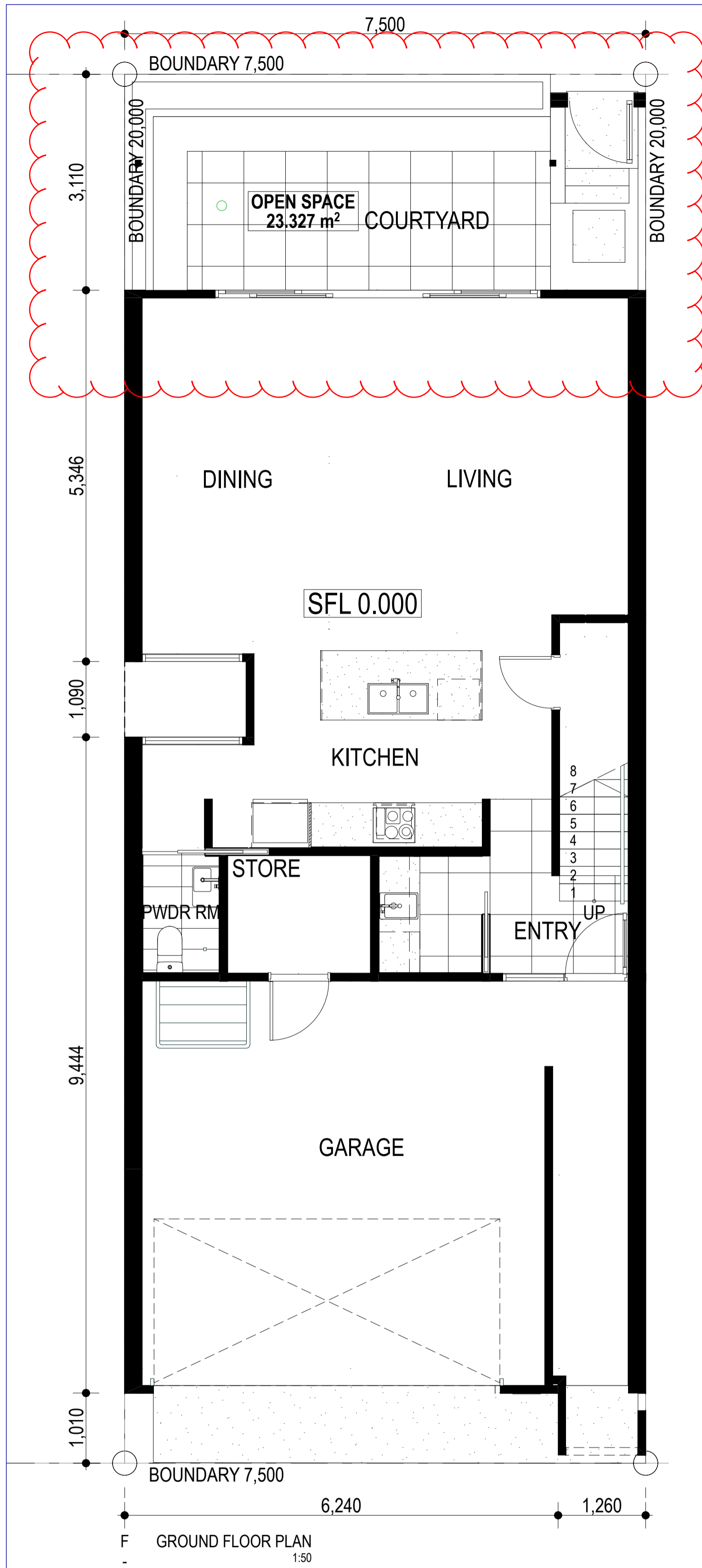
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Project	HAMLEN- 384 EVP
Client	HAMLEN
Drawing Title	UNIT PLANS - TYPES D & E
Designed	Author
Drawn	Author
Project no	20006
Scale	1:50
Drawing no	A2.12
Rev	3



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ASSESSMENT PANEL**

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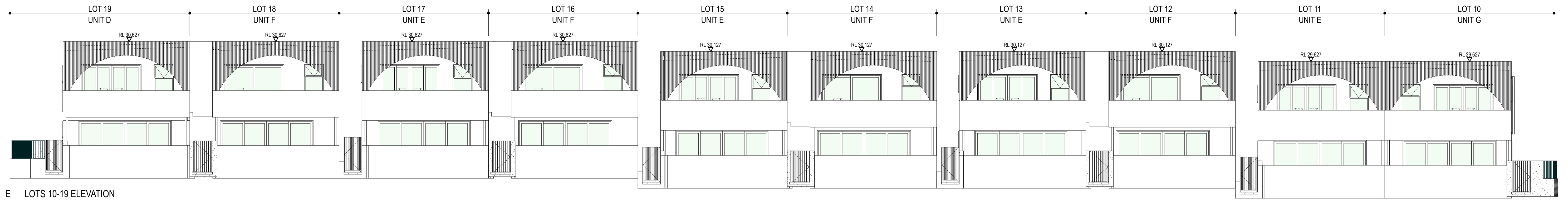
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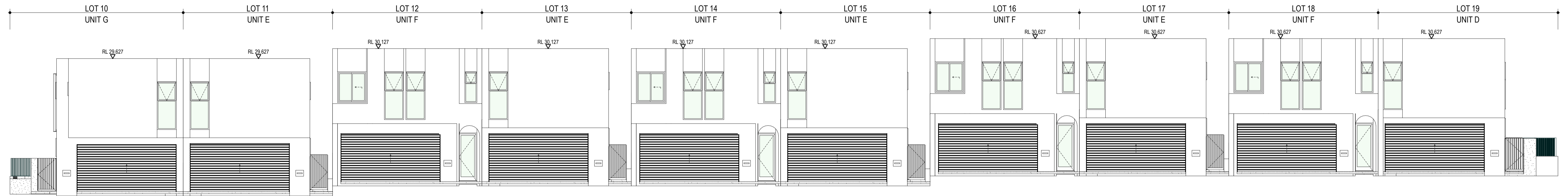
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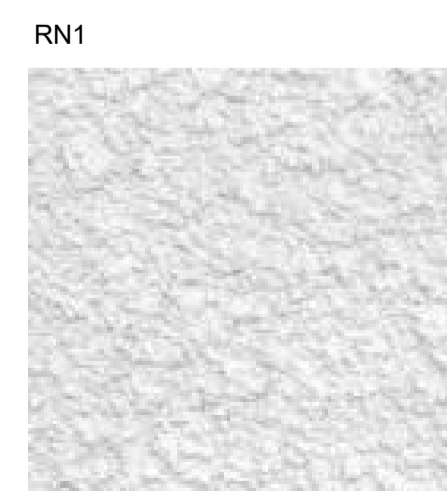
Project	HAMLEN- 384 EVP
Client	HAMLEN
Drawing Title	UNIT PLANS - TYPES F & G
Designed	Designer
Drawn	Author
Project no.	20006
Scale	1:50
Drawing no.	A2.13
Rev.	3



E LOTS 10-19 ELEVATION
1:100



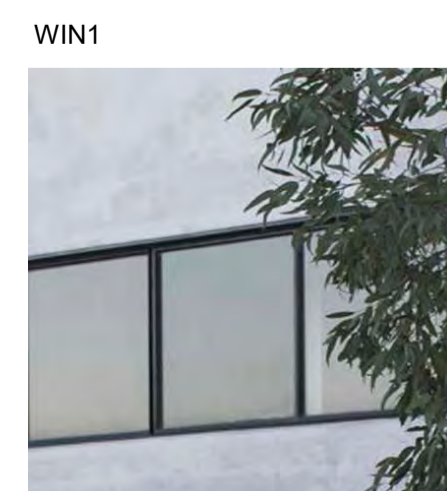
W LOTS 10-19 ELEVATION
1:100



RN1
OFF WHITE TEXTURED RENDER; UNITEX SPRAY COARSE (DASH) COAT OR SIMILAR



CONC1
CONCRETE WALKWAYS & LANDSCAPE FEATURES OR SIMILAR



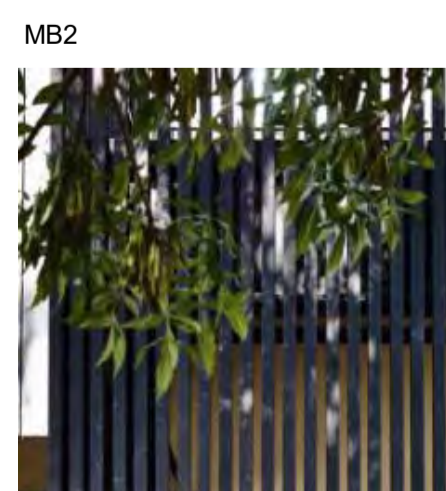
WIN1
MATT BLACK WINDOW MAJOR OPENINGS FOR CONTRAST OR SIMILAR



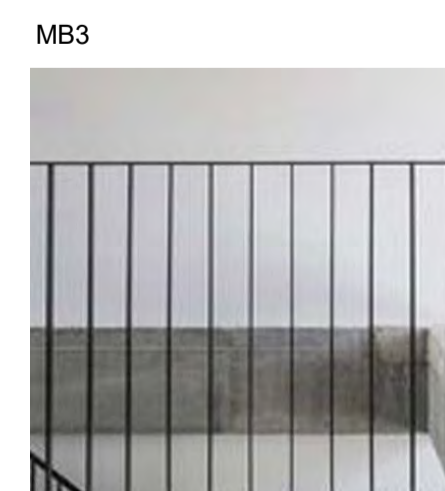
BW1
STACKBOND FACE BRICK; AUSTRAL MASONRY ENGINEERED STONE SMOOTH IN "HARVEST" 90W X 90H X 390L OR SIMILAR



MB1
40X40MM BLACK ALUMINIUM OR STEEL BATTENS OR SIMILAR



MB2
ARCHED TIMBER BATTEN SCREEN; 42X18MM DESIGN PINE PAINTED BLACK OR SIMILAR



MB3
STEEL FENCE; 8MM STEEL FLAT BAR POWDERCOATED 'ACE' BLACK OR SIMILAR

DEVELOPMENT ASSESSMENT PANEL

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17-May-2021



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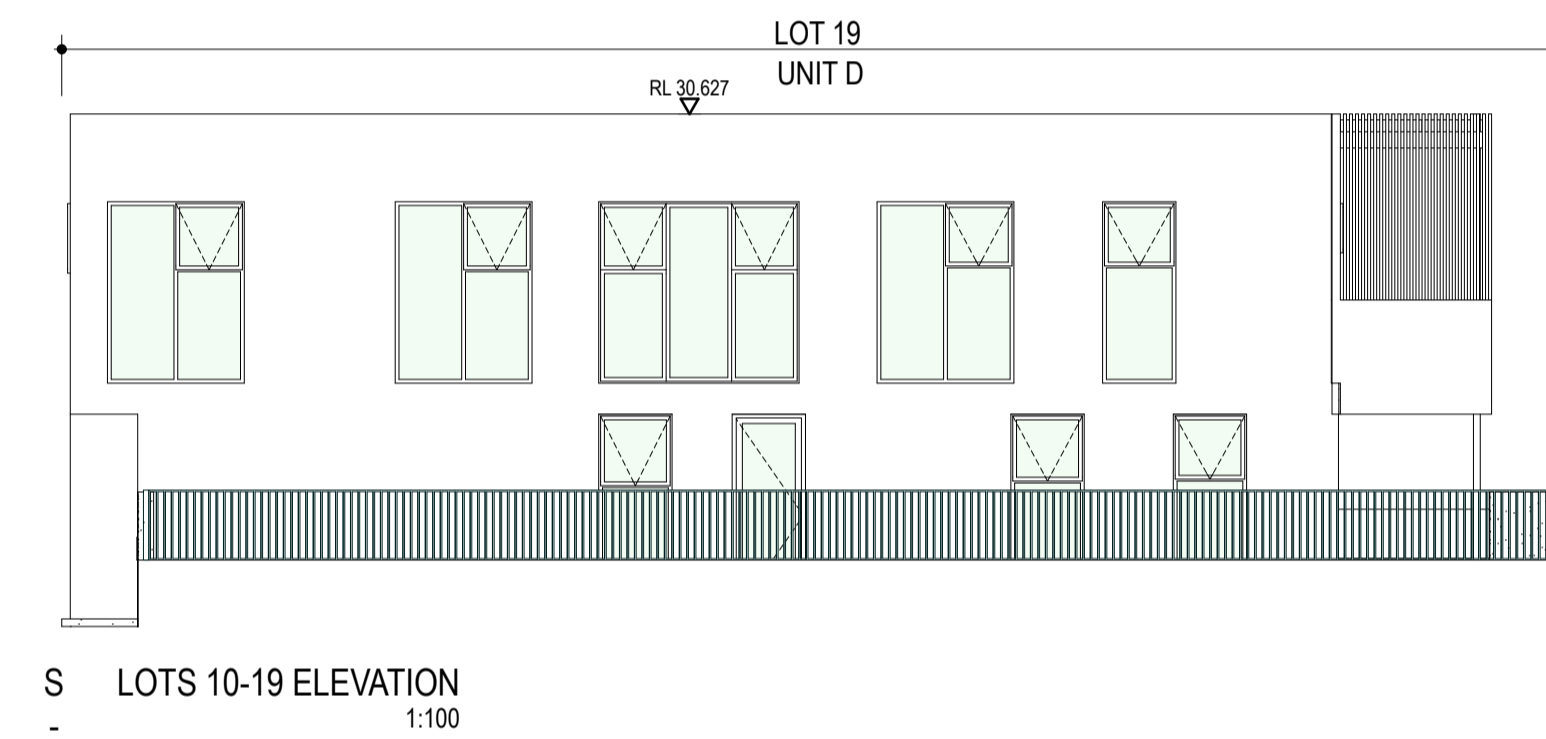
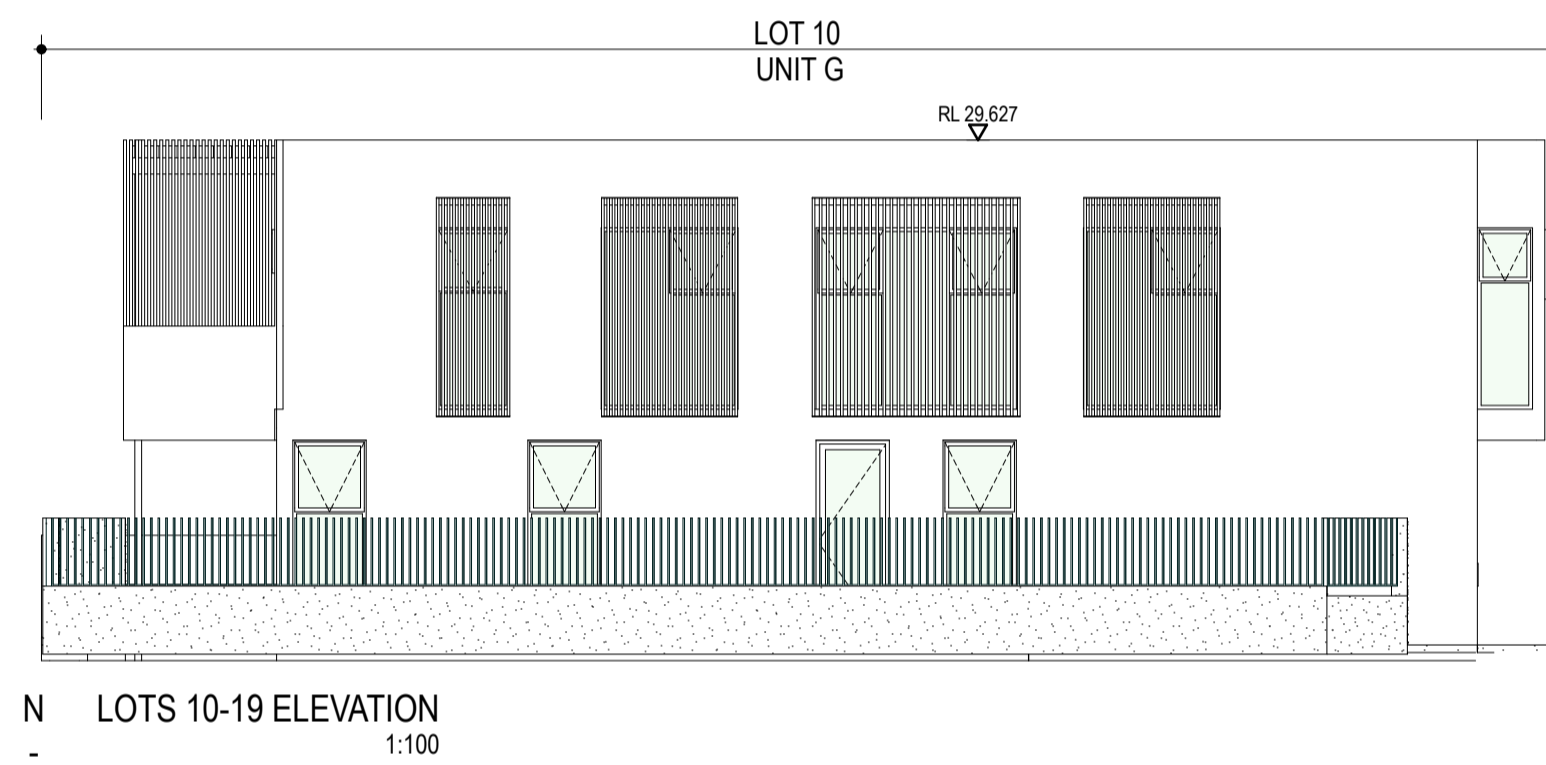


Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **LOTS 10-19 ELEVATIONS**

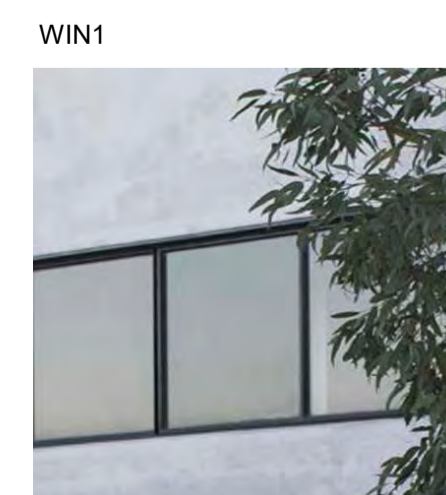
Drawn	Checked	Scale	Drawing no.	Rev.
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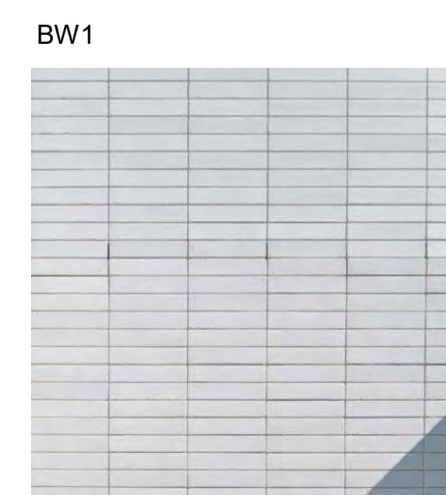
RN1
OFF WHITE TEXTURED RENDER; UNITEX SPRAY COARSE (DASH) COAT OR SIMILAR



CONC1
CONCRETE WALKWAYS & LANDSCAPE FEATURES OR SIMILAR



WIN1
MATT BLACK WINDOW MAJOR OPENINGS FOR CONTRAST OR SIMILAR



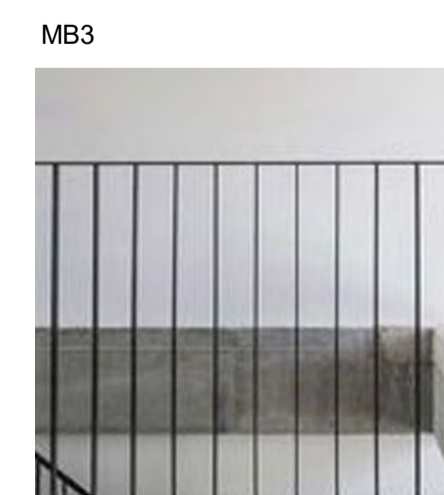
BW1
STACKBOND FACE BRICK; AUSTRAL MASONRY ENGINEERED STONE SMOOTH IN "HARVEST" 90WX90HX390L OR SIMILAR



MB1
40X40MM BLACK ALUMINIUM OR STEEL BATTENS OR SIMILAR



MB2
ARCHED TIMBER BATTEN SCREEN; 42X18MM DESIGN PINE PAINTED BLACK OR SIMILAR



MB3
STEEL FENCE; 8MM STEEL FLAT BAR POWDERCOATED 'ACE' BLACK OR SIMILAR

DEVELOPMENT ASSESSMENT PANEL

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17-May-2021



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0	20/09/2020	ISSUED FOR DA
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w: www.mandsearchitecture.com.au

Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **LOTS 10-19 ELEVATIONS**

Drawn	Checked	Author	Scale	Drawing no	Rev
			1:100, 1:1	A3.11	3



1. LOTS 20-30 GROUND FLOOR PLAN
1:100



2. LOTS 20-30 FIRST FLOOR PLAN
1:100

DA

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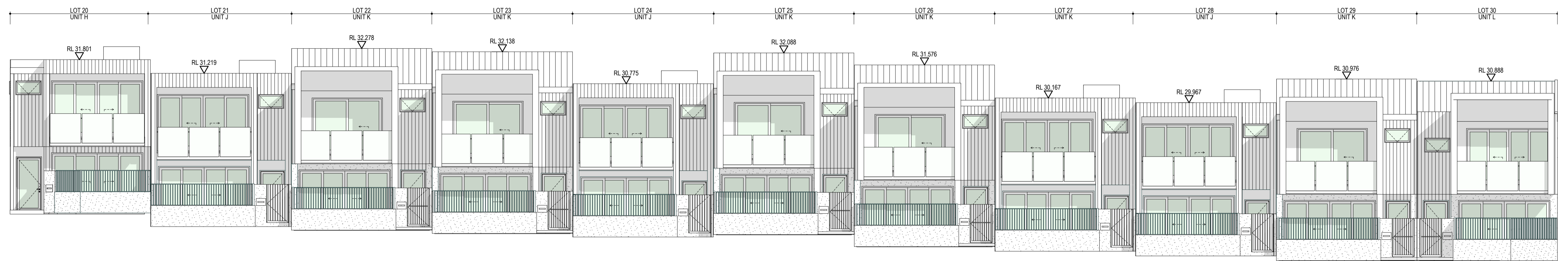
DEVELOPMENT ASSESSMENT PANEL

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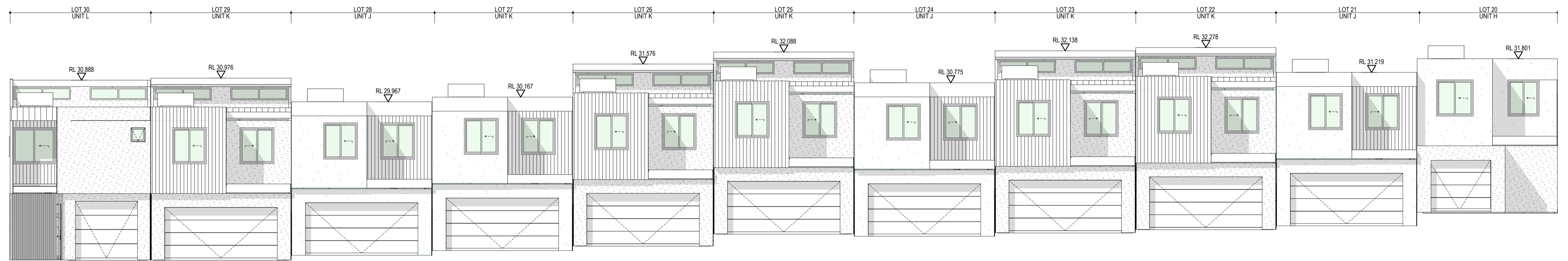
17-May-2021

Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**
Drawing Title: **LOTS 20 - 30 FLOOR PLANS**

designed	checked	author	scale	drawing no	rev
			1:100	A2.20	3



S LOTS 20-30 ELEVATION
1:100



N LOTS 20-30 ELEVATION
1:100

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17-May-2021



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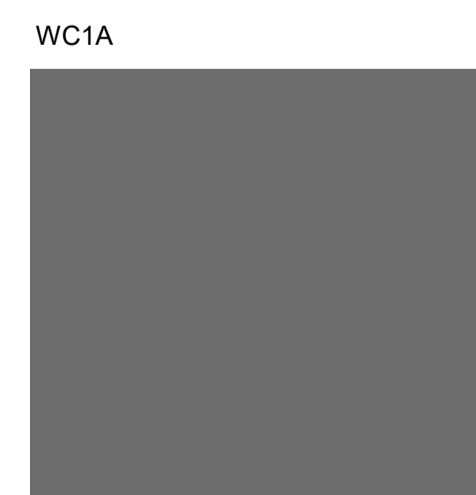
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R1
COLORBOND
BASALT KINGSPAN
OR SIMILAR



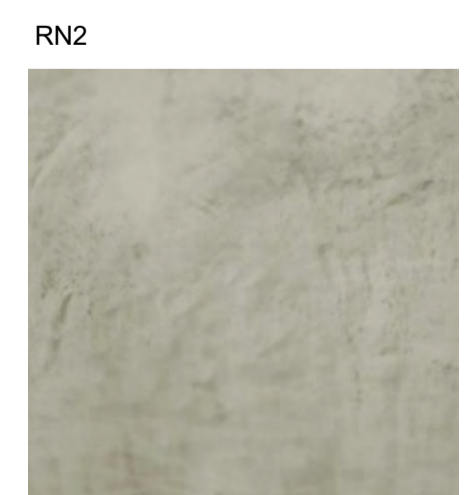
WC1A
COLORBOND BASALT
FLAT PANELS OR SIMILAR



WC1B
TIMBER BOARDS;
VERTICAL
FINISH - NATURAL (CLEAR)
OR SIMILAR



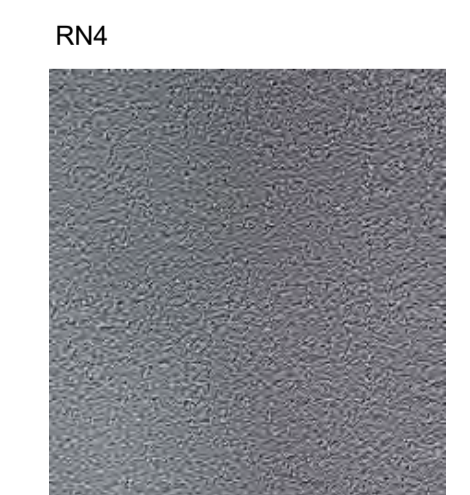
WC2
JAMES HARDIE AXON 133
CLADDING OR SIMILAR



RN2
CEMENT RENDER
STEEL TROWELLED
FINISH OR SIMILAR



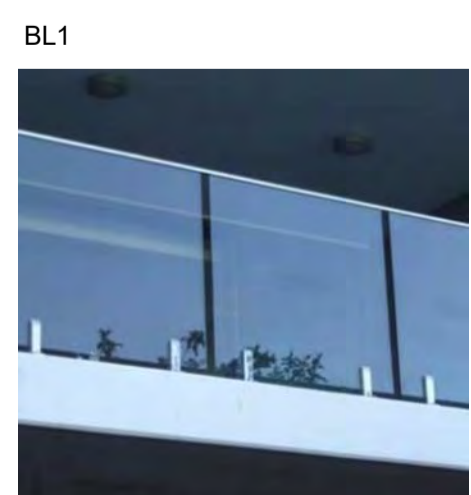
RN3
SAND CEMENT RENDER
PAINT FINISH - WHITE OR
SIMILAR



RN4
SAND CEMENT RENDER
PAINT FINISH - GREY OR
SIMILAR



GF1
ANODIZED ALUMINIUM
COLOUR OR SIMILAR



BL1
CLEAR GLAZED OR
SIMILAR



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ARCHITECTS

Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **LOTS 20 - 30 ELEVATIONS**

Designed: **Author**

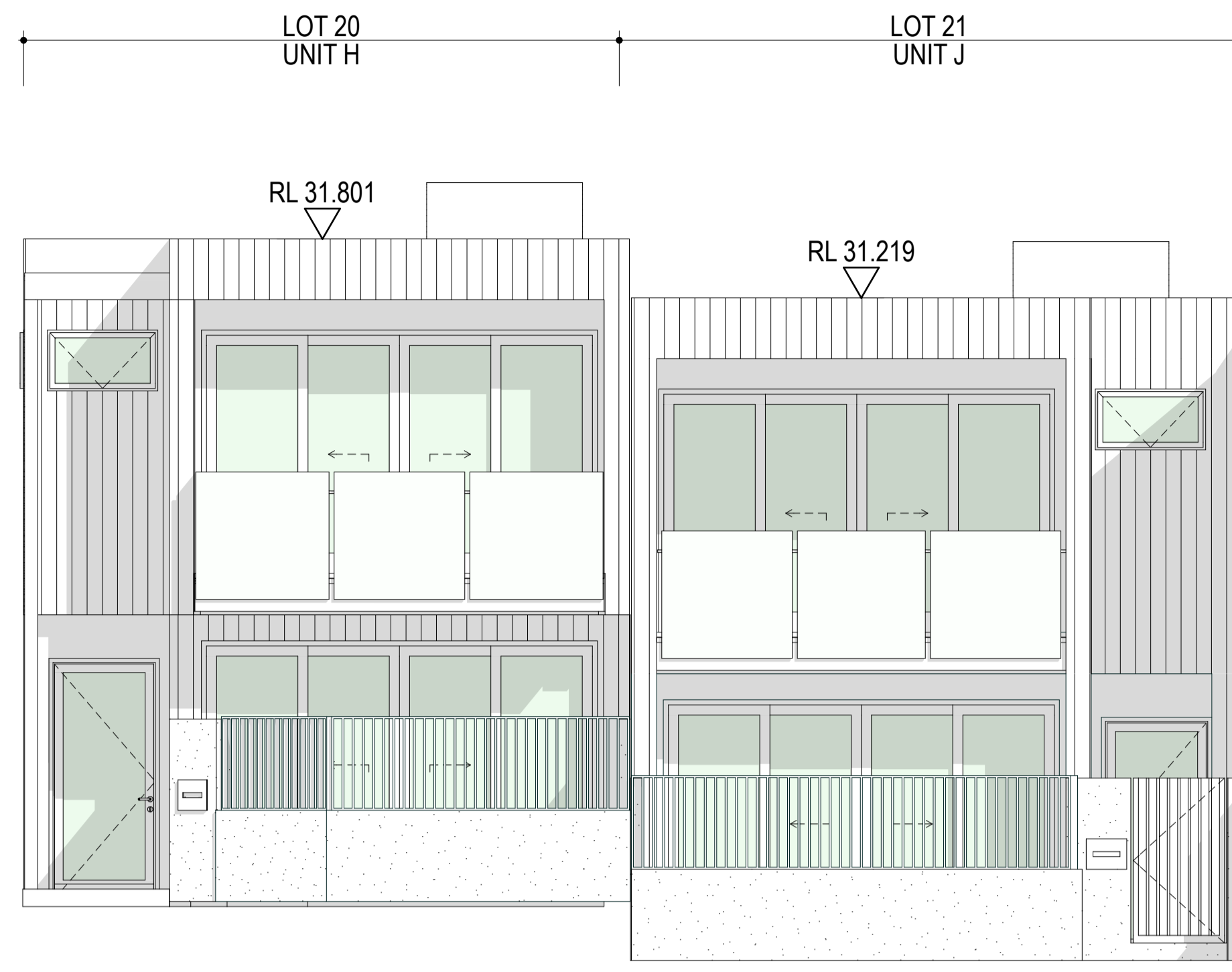
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Project no: **20006**

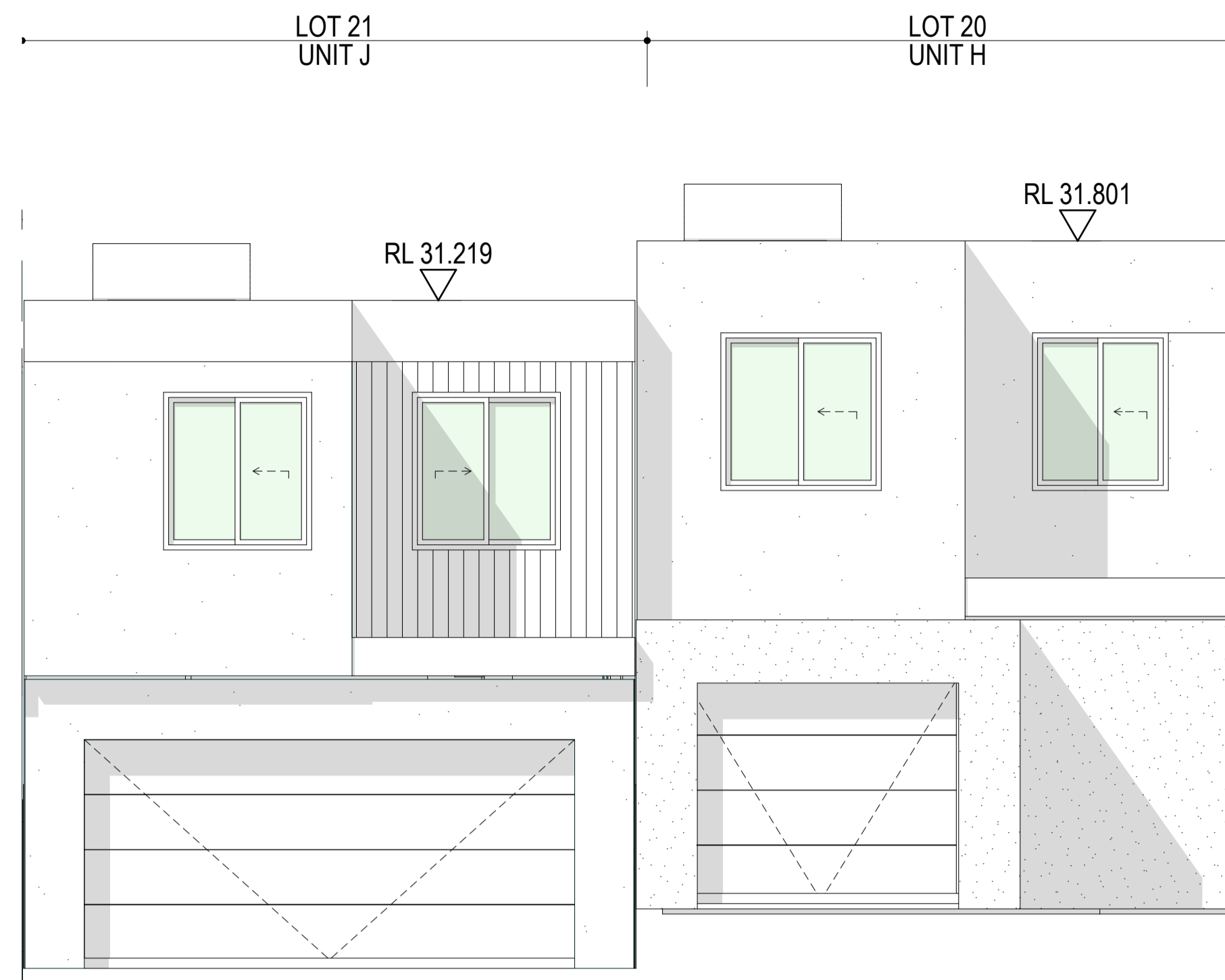
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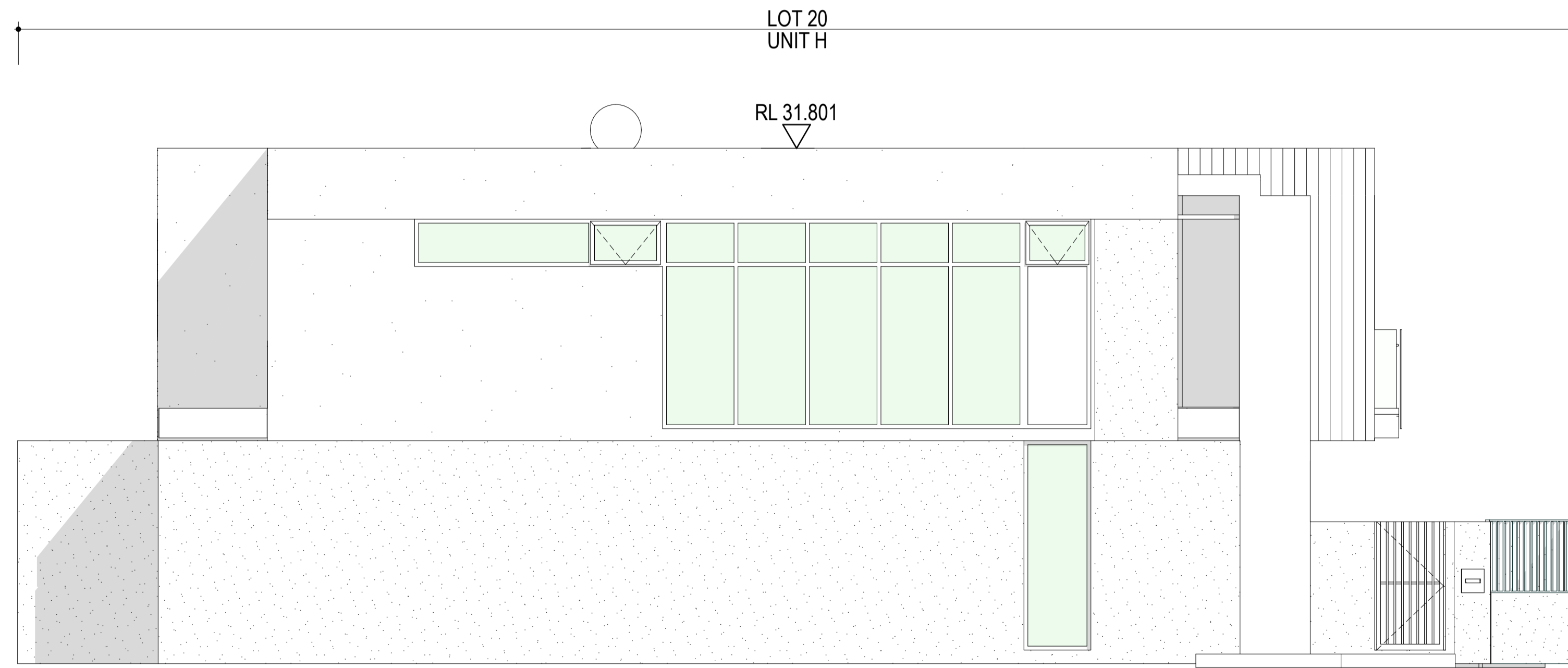
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S LOT 20-21 ELEVATION
1:50



N LOT 20-21 ELEVATION
1:50



W LOT 20 ELEVATION
1:50

**DEVELOPMENT
ASSESSMENT PANEL**

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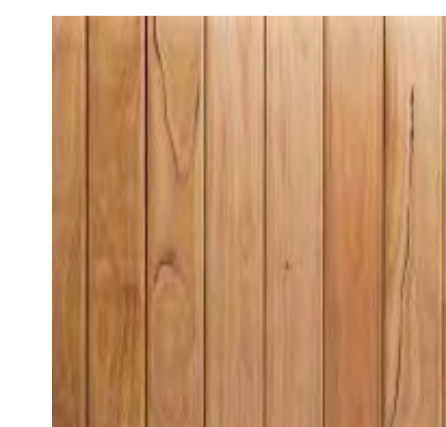
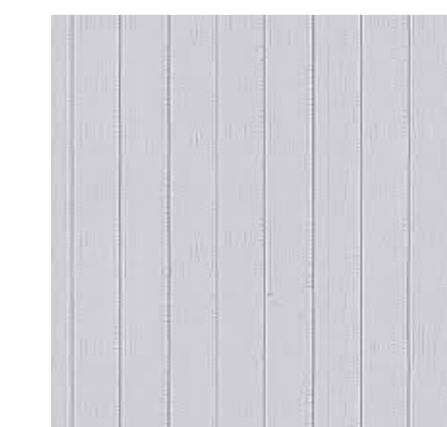



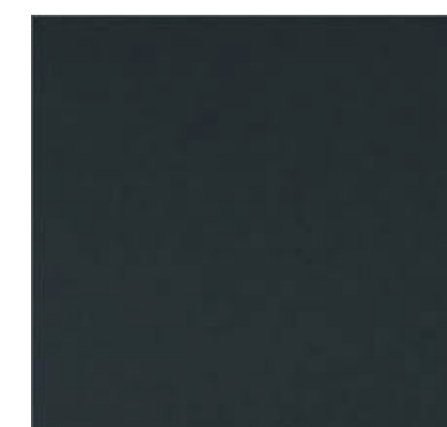
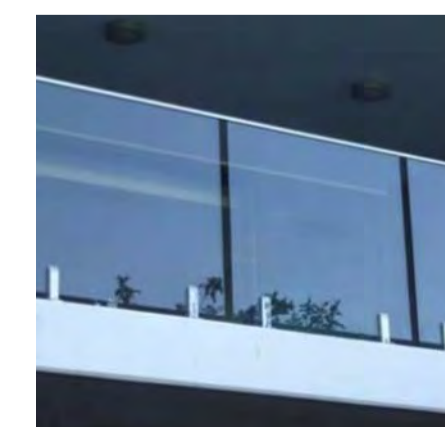


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<p>R1</p>  <p>COLORBOND BASALT KINGSPAN OR SIMILAR</p>	<p>WC1A</p>  <p>COLORBOND BASALT FLAT PANELS OR SIMILAR</p>	<p>WC1B</p>  <p>TIMBER BOARDS; VERTICAL FINISH - NATURAL (CLEAR) OR SIMILAR</p>	<p>WC2</p>  <p>JAMES HARDIE AXON 133 CLADDING OR SIMILAR</p>	<p>RN2</p>  <p>CEMENT RENDER STEEL TROWELLED FINISH OR SIMILAR</p>	<p>RN3</p>  <p>SAND CEMENT RENDER PAINT FINISH - WHITE OR SIMILAR</p>	<p>RN4</p>  <p>SAND CEMENT RENDER PAINT FINISH - GREY OR SIMILAR</p>	<p>GF1</p>  <p>ANODIZED ALUMINIUM COLOUR OR SIMILAR</p>	<p>BL1</p>  <p>CLEAR GLAZED OR SIMILAR</p>
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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **XX TYPICAL TYPES H-J ELEVATIONS**

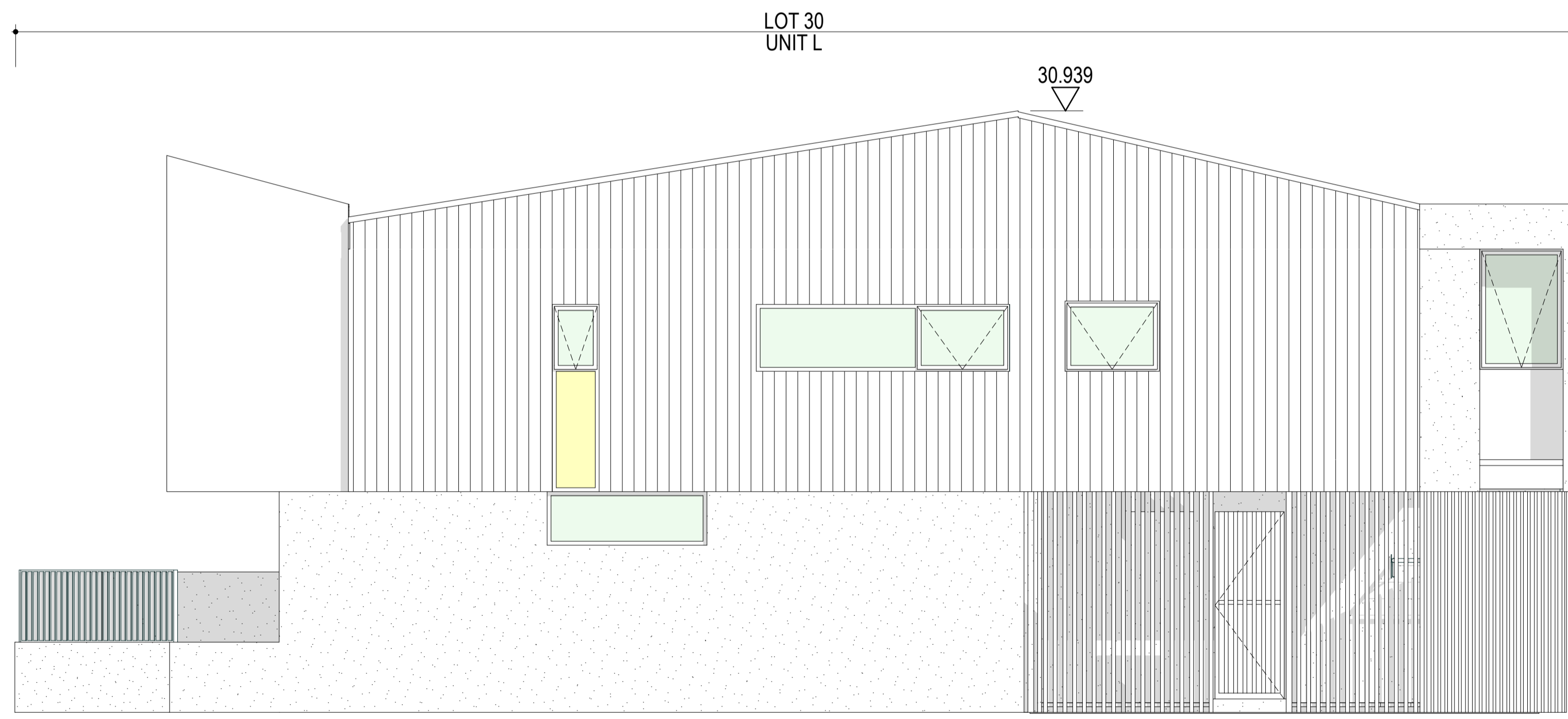
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N LOT 29 - 30 ELEVATION
1:50



S LOT 29 - 30 ELEVATION
1:50



E LOT 30 ELEVATION
1:50

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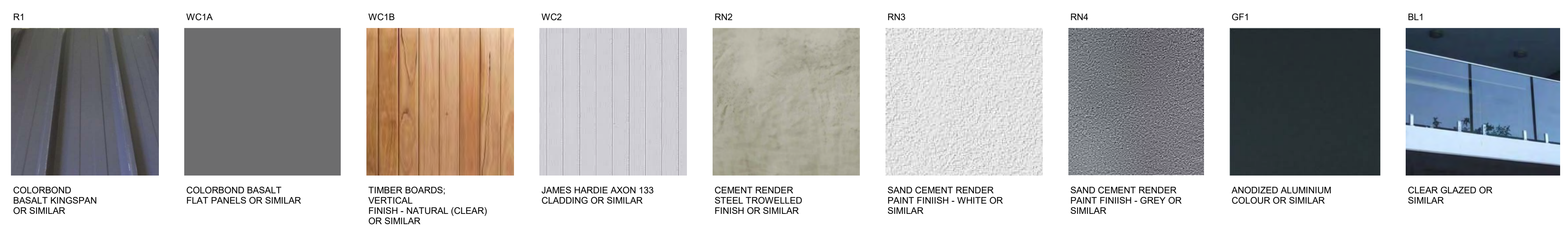
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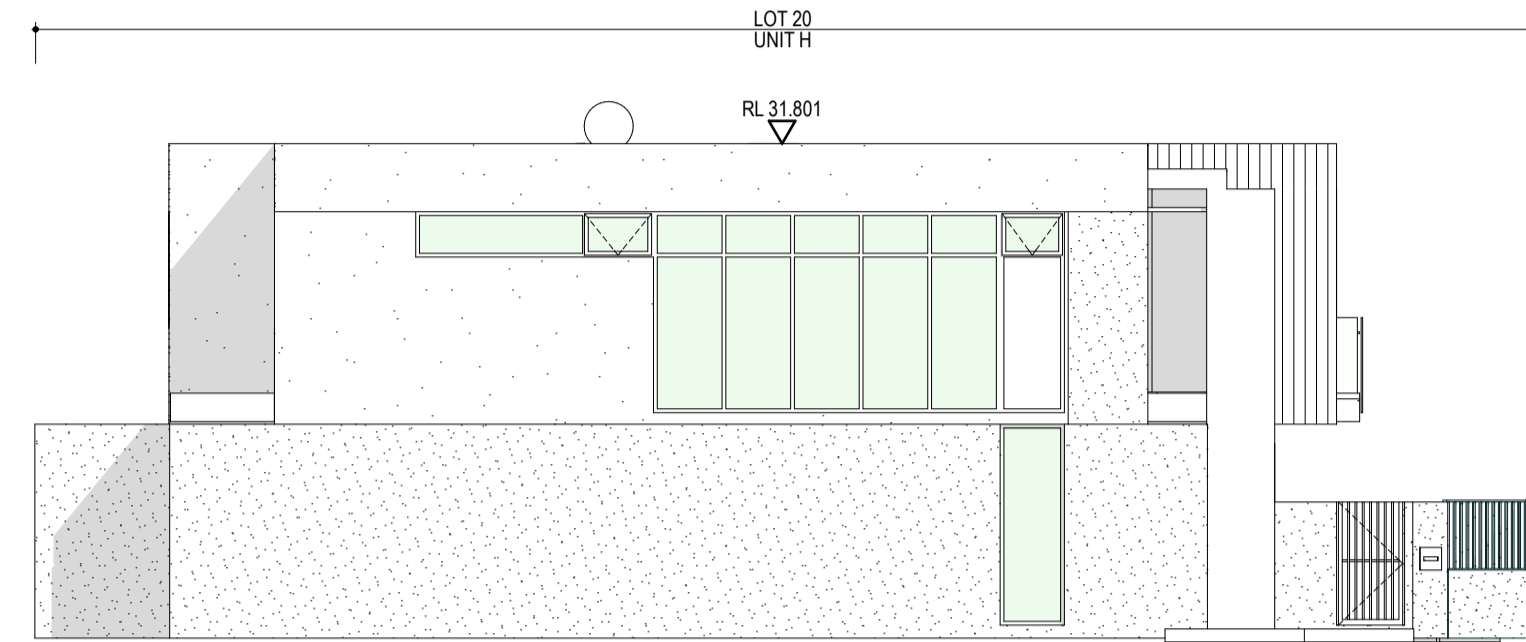
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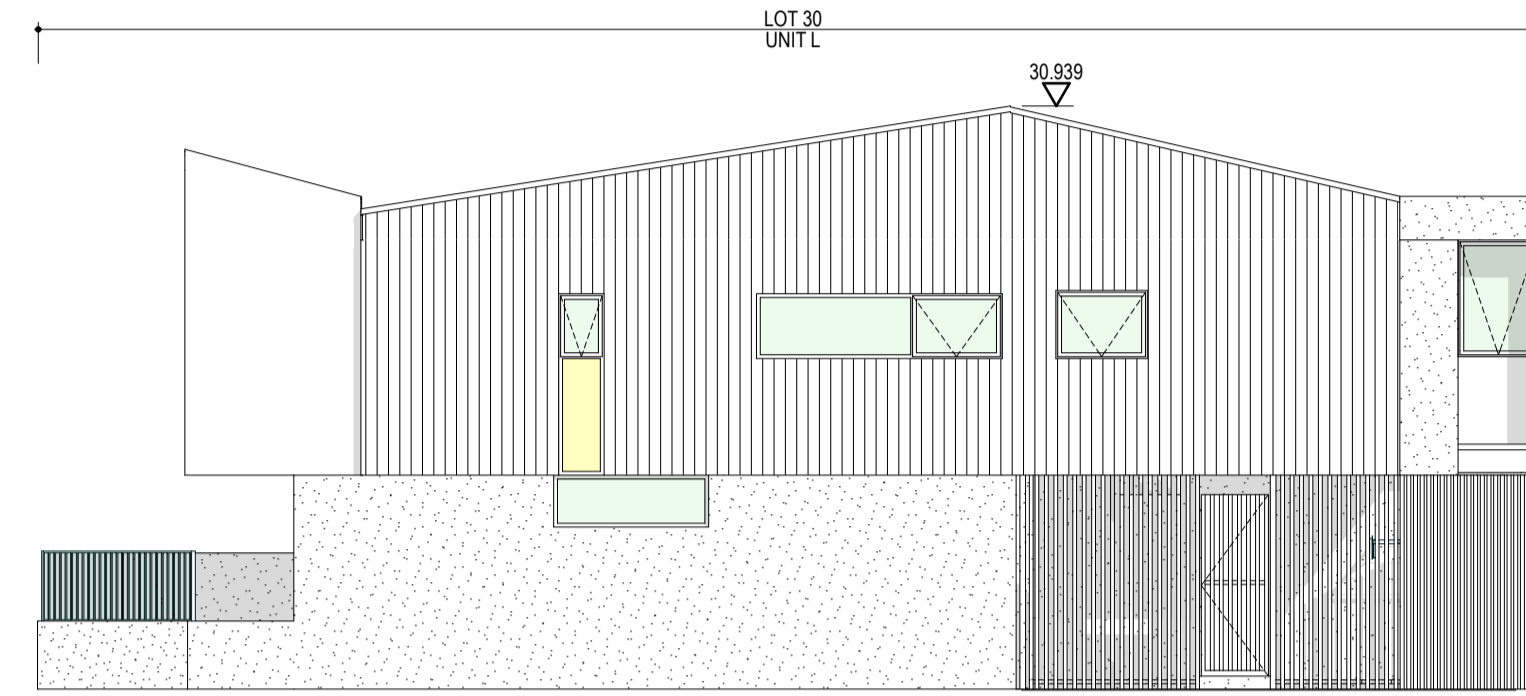
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W LOTS 20-30 ELEVATION
1:100



E LOTS 20-30 ELEVATION
1:100

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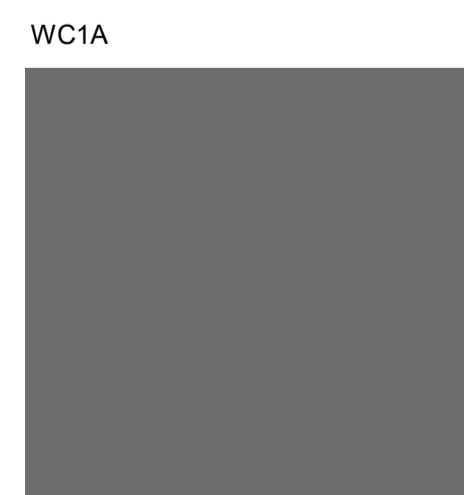
Client: **HAMLEN**

Drawing Title: **LOTS 20 - 30 ELEVATIONS**

designed	checked	drawn	scale	drawing no	rev
			1:100	A3.21	3



R1
COLORBOND
BASALT KINGSPAN
OR SIMILAR



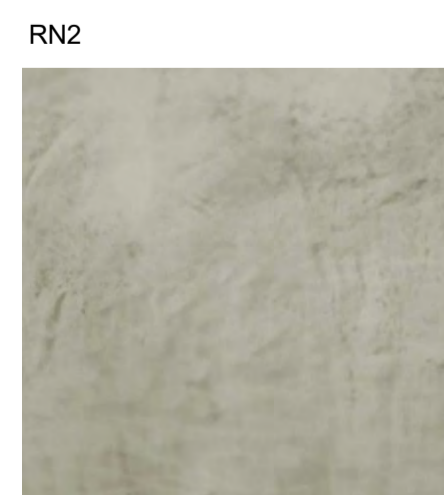
WC1A
COLORBOND BASALT
FLAT PANELS OR SIMILAR



WC1B
TIMBER BOARDS;
VERTICAL
FINISH - NATURAL (CLEAR)
OR SIMILAR



WC2
JAMES HARDIE AXON 133
CLADDING OR SIMILAR



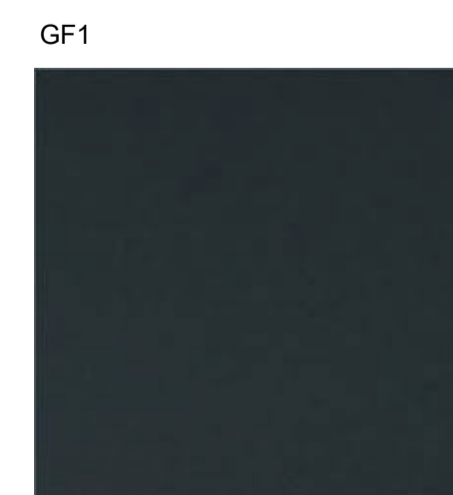
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CEMENT RENDER
STEEL TROWELLED
FINISH OR SIMILAR



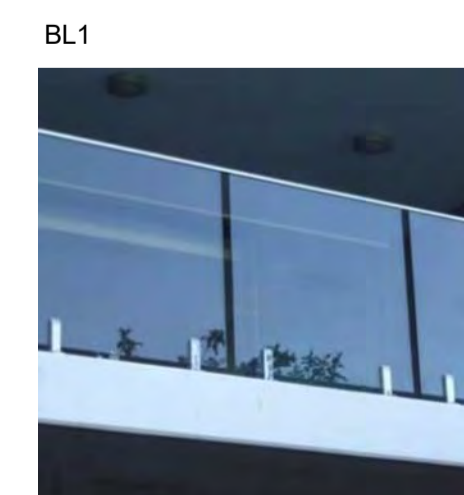
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SAND CEMENT RENDER
PAINT FINISH - WHITE OR
SIMILAR



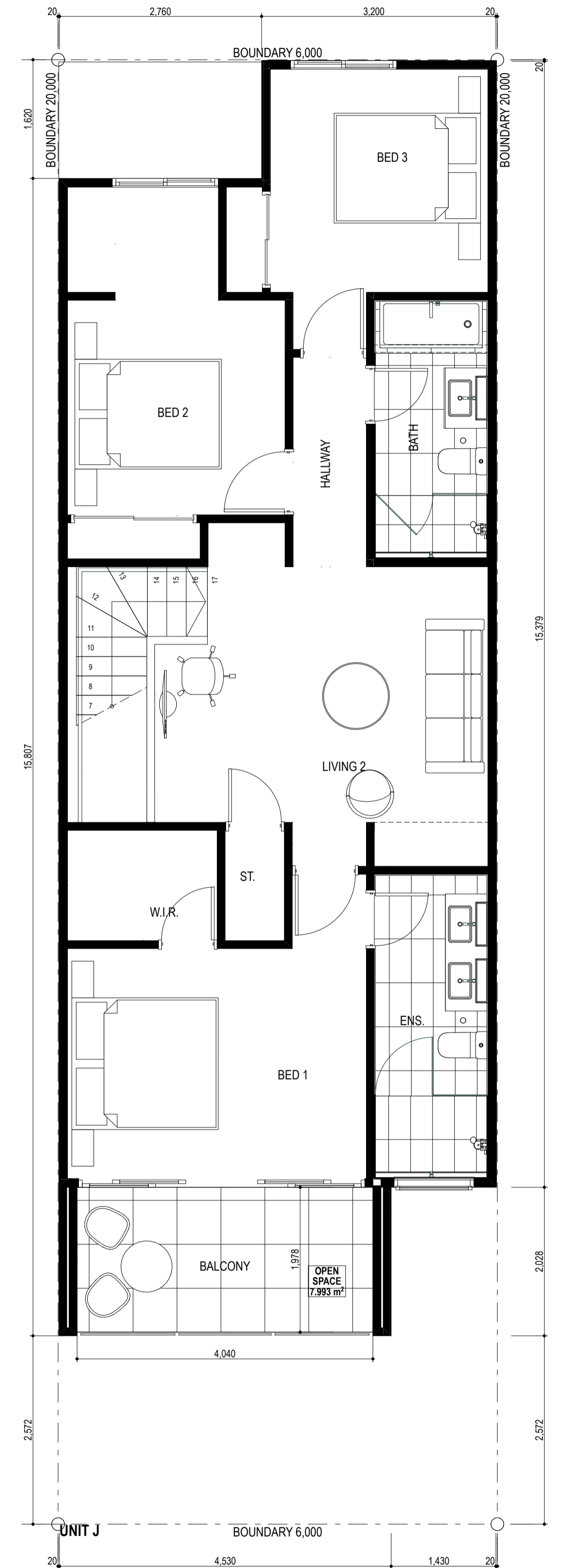
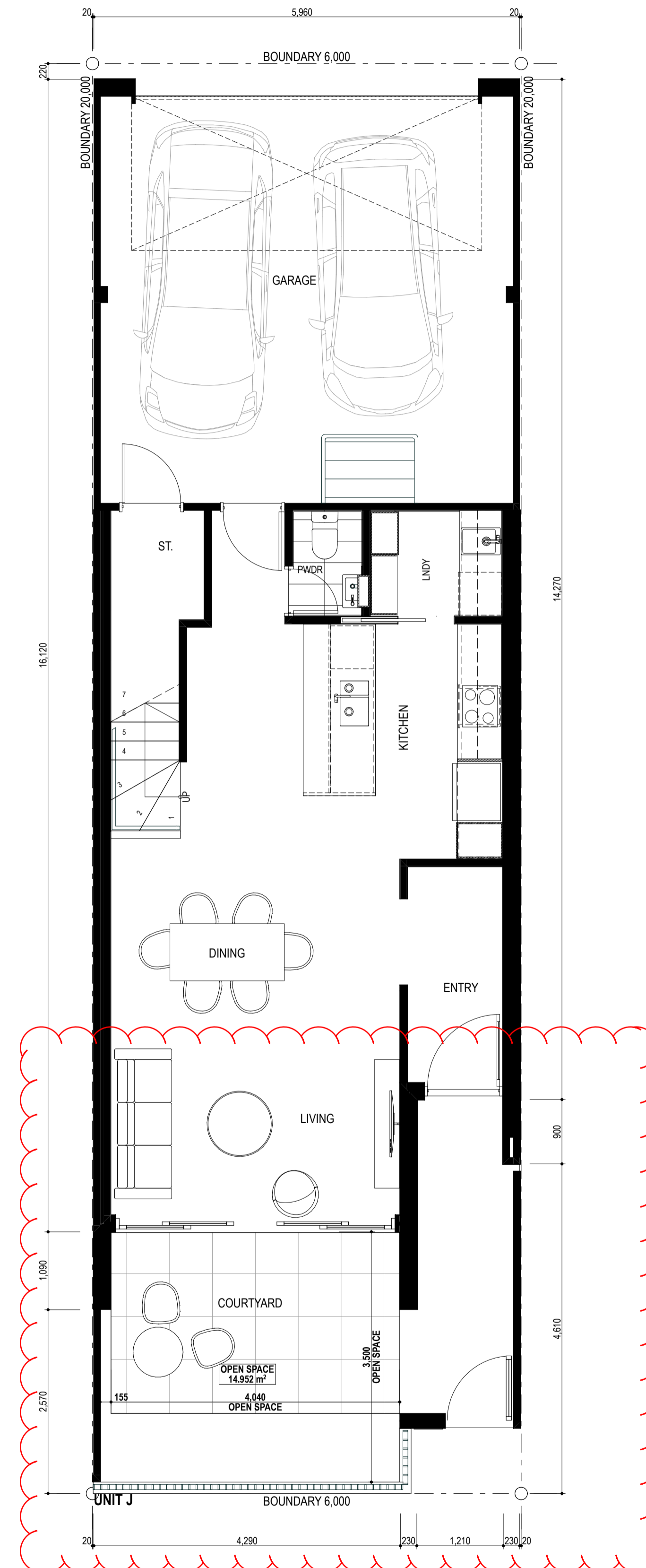
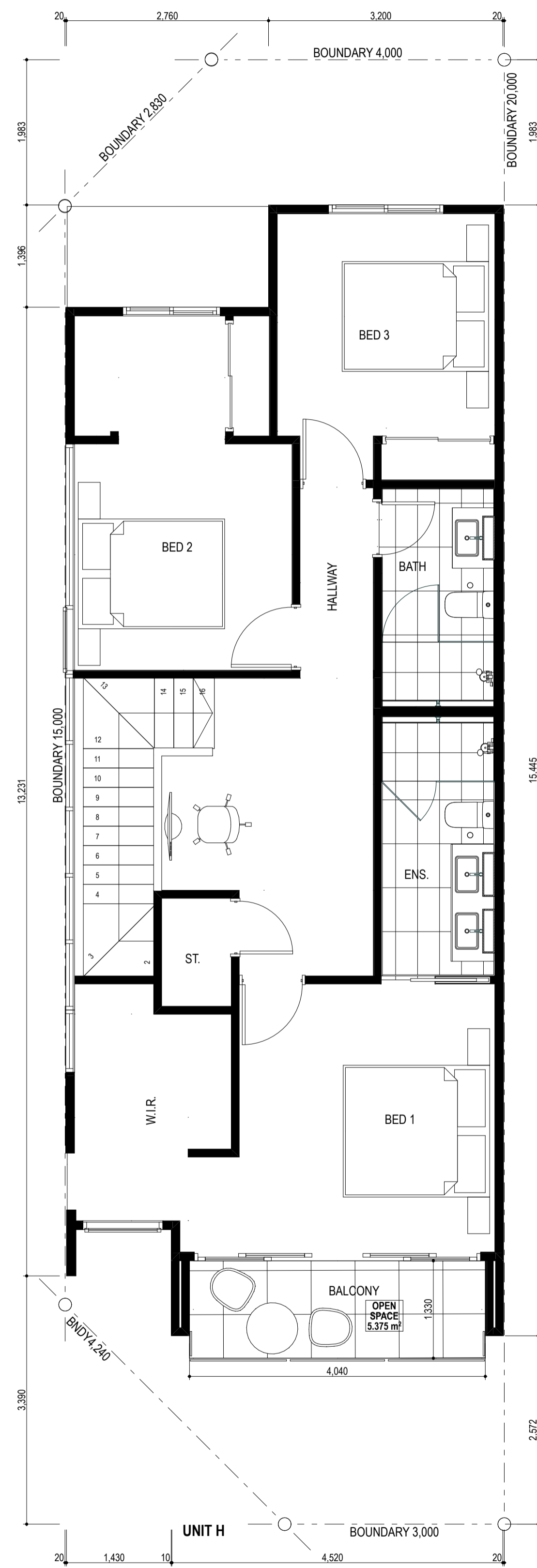
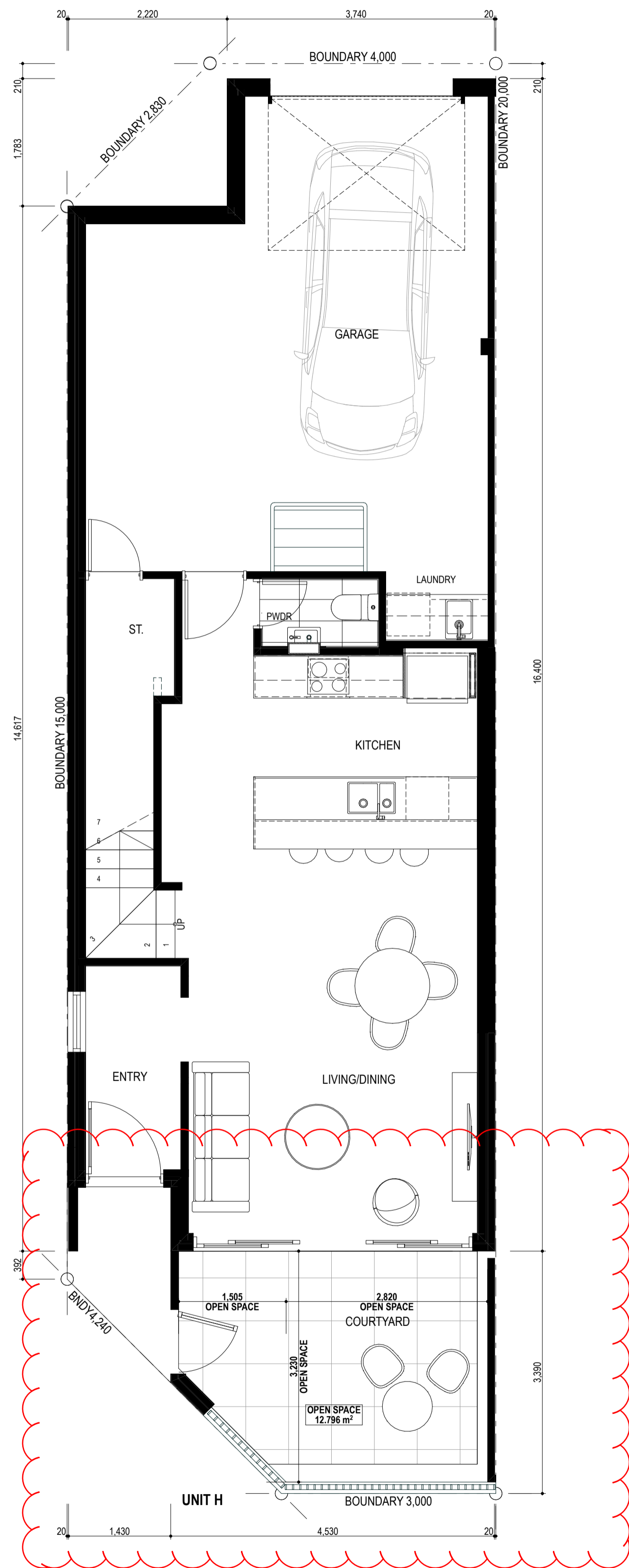
RN4
SAND CEMENT RENDER
PAINT FINISH - GREY OR
SIMILAR



GF1
ANODIZED ALUMINIUM
COLOUR OR SIMILAR



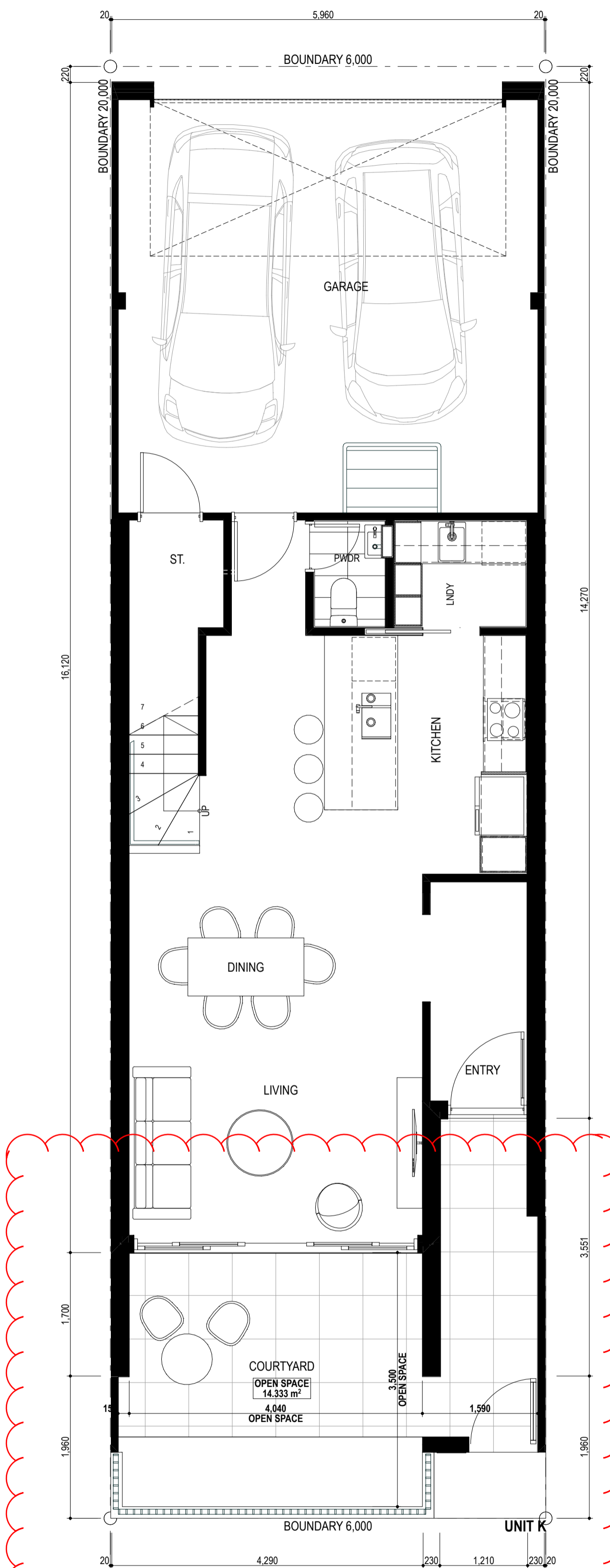
BL1
CLEAR GLAZED OR
SIMILAR



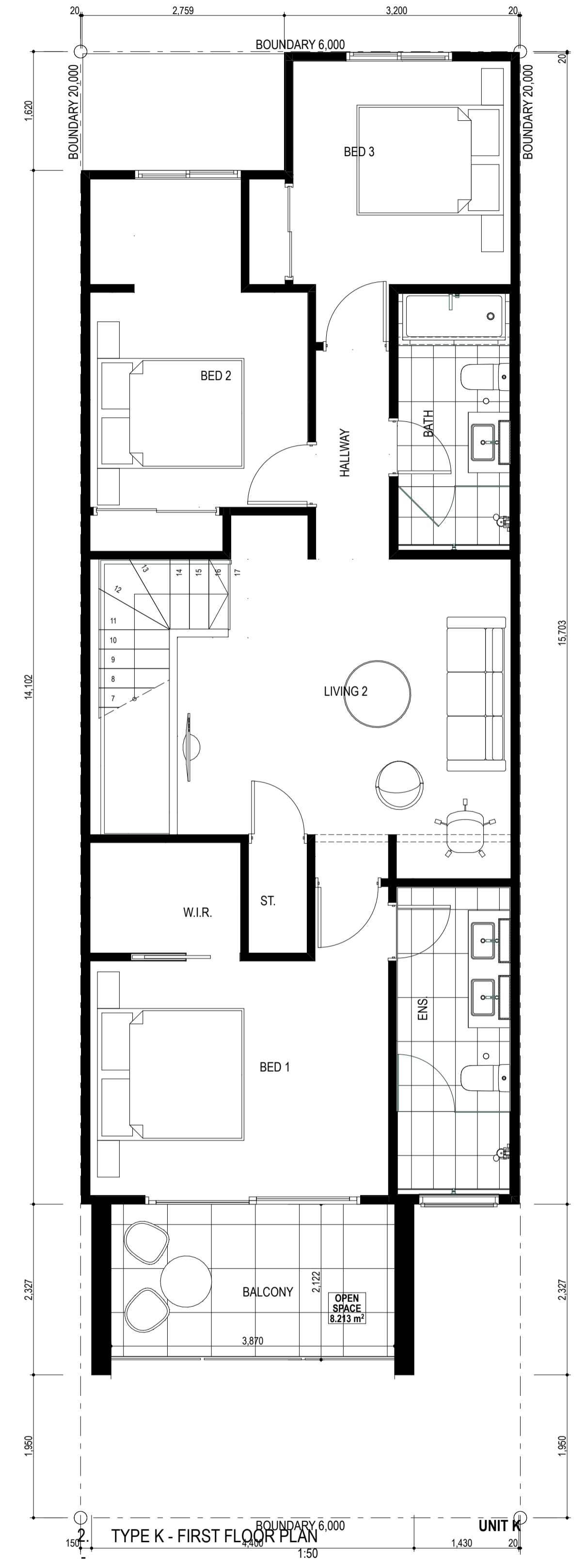
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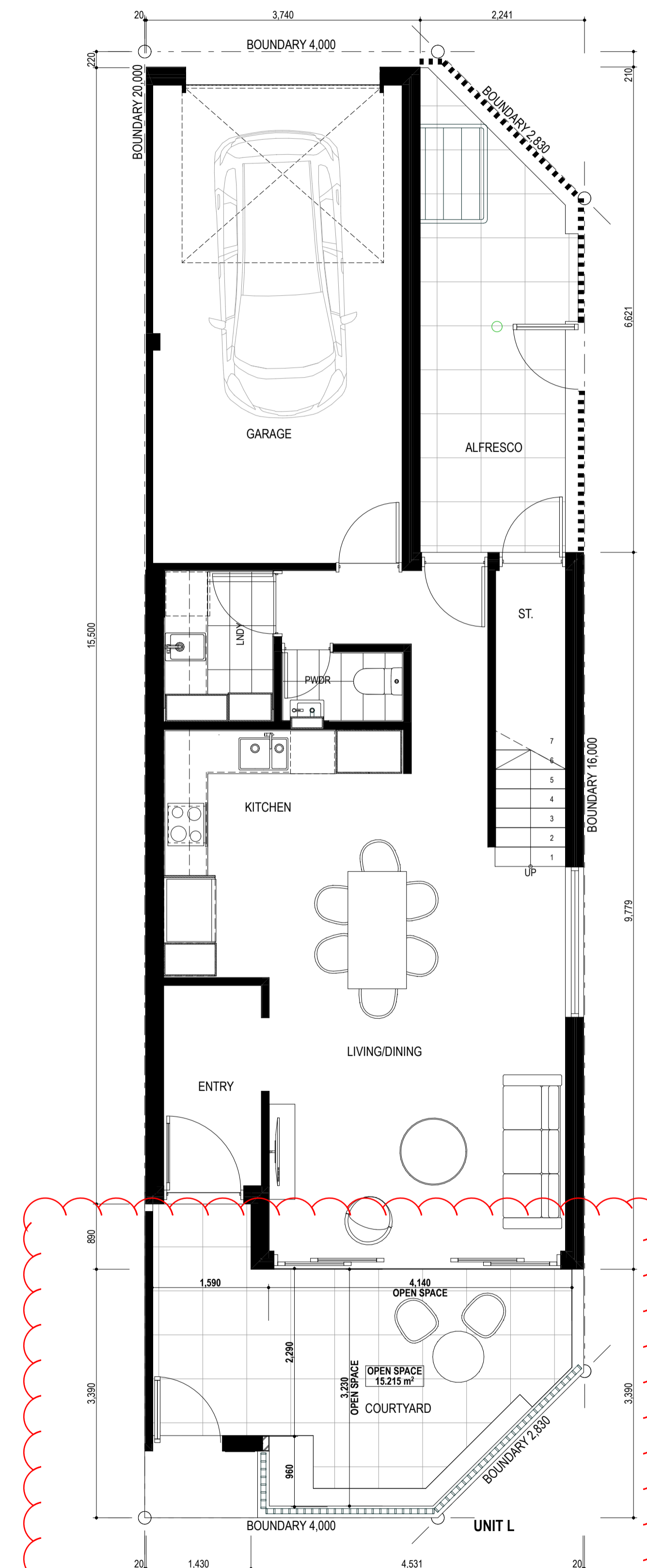
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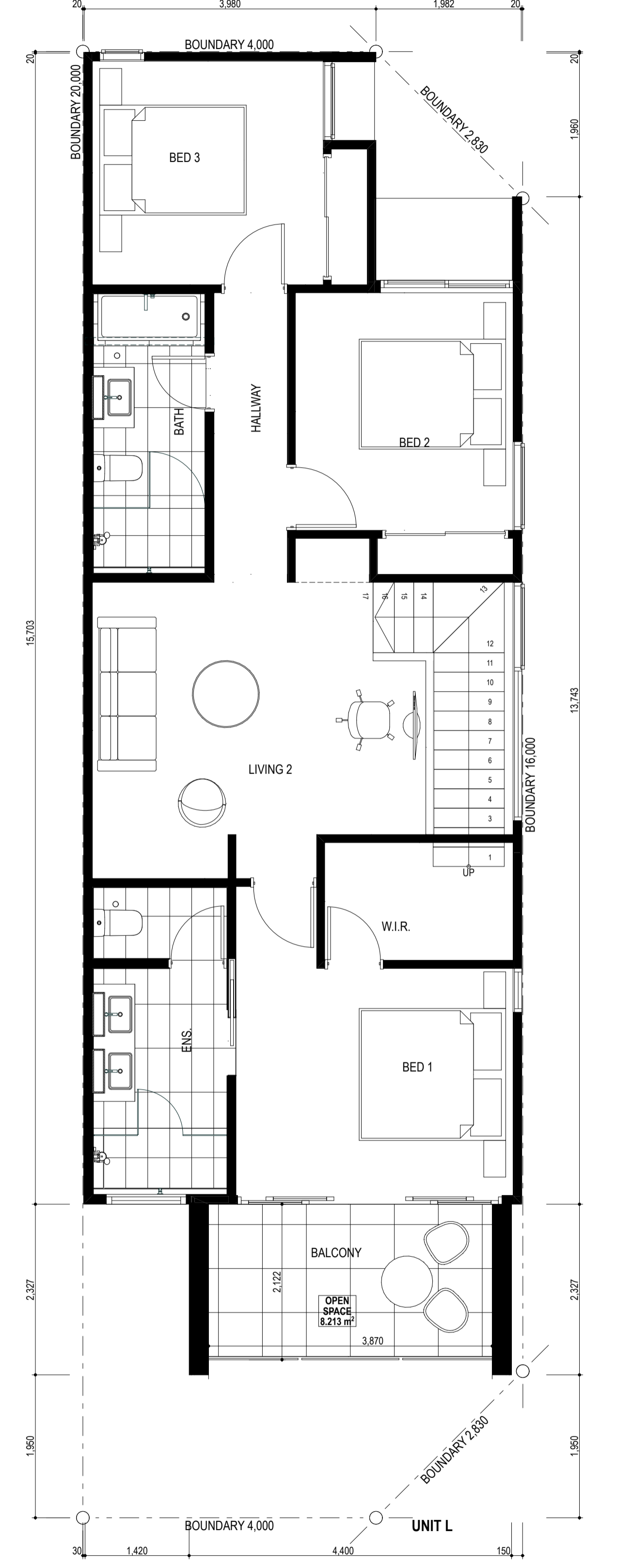
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1:50



2. TYPE K - FIRST FLOOR PLAN
1:50



1. TYPE L - GROUND FLOOR PLAN
1:50



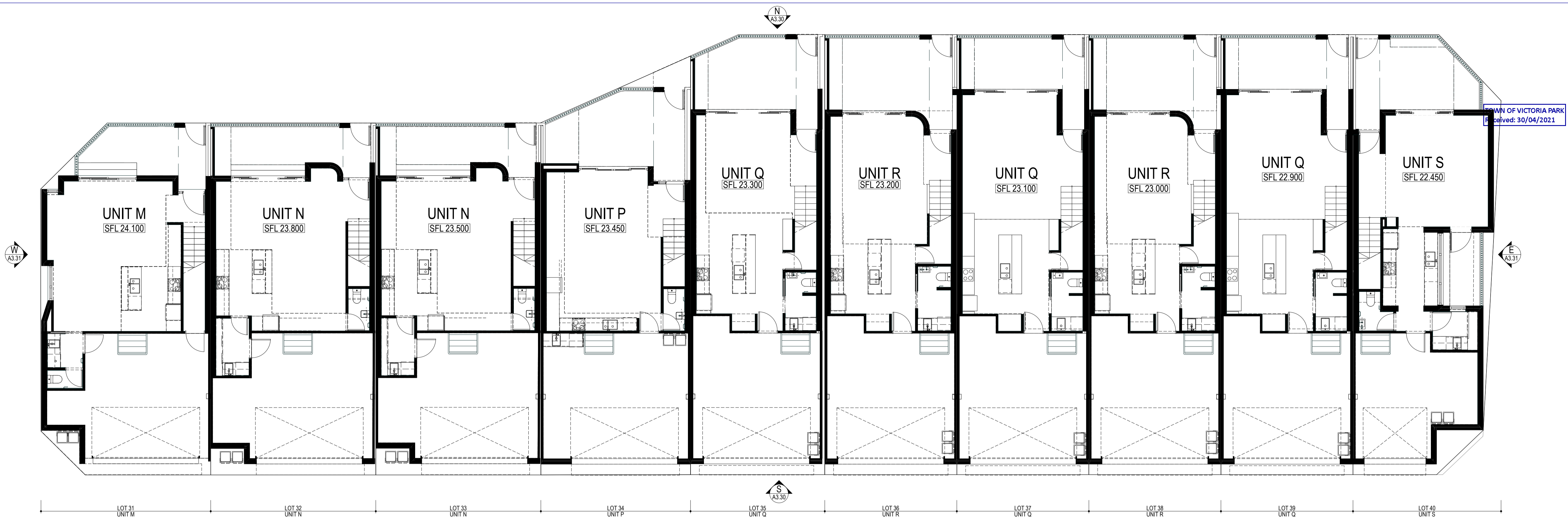
2. TYPE L - FIRST FLOOR PLAN
1:50

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		Project: HAMLEN- 384 EVP Client: HAMLEN Drawing Title: TYPICAL FLOOR PLANS	
Designed	Designer	Scale	Drawing no
Drawn	Author	1:50	A2.22
Project no	20006	Scale	1:50
Rev		Scale	A2.22
		Scale	3



1. LOTS 31-40 GROUND FLOOR PLAN
1:100

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2. LOTS 31-40 FIRST FLOOR PLAN
1:100

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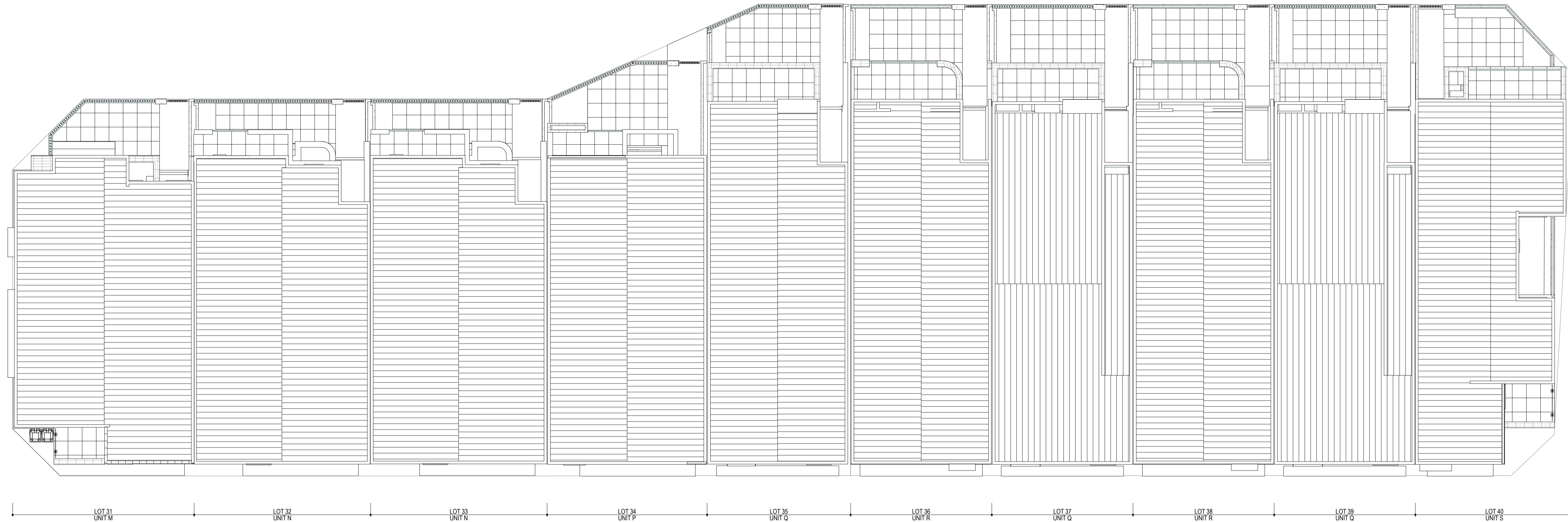
Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **LOTS 31-40 FLOOR PLANS**

Drawn	Checked	Scale	Drawing no	Rev
20006		1:100	A2.30	3

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Received: 30/04/2021



1 LOTS 31-40 ROOF PLAN
1:100

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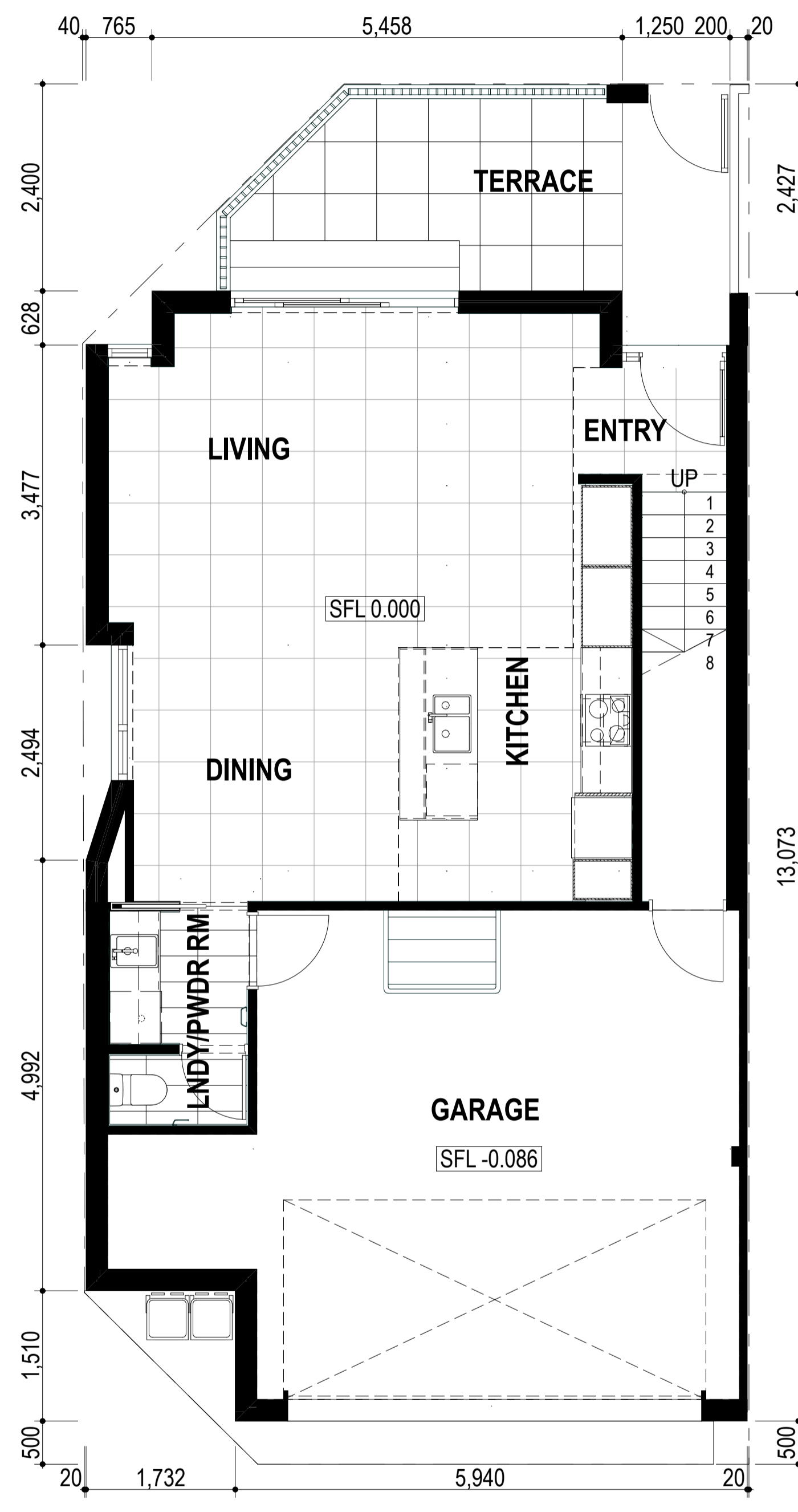
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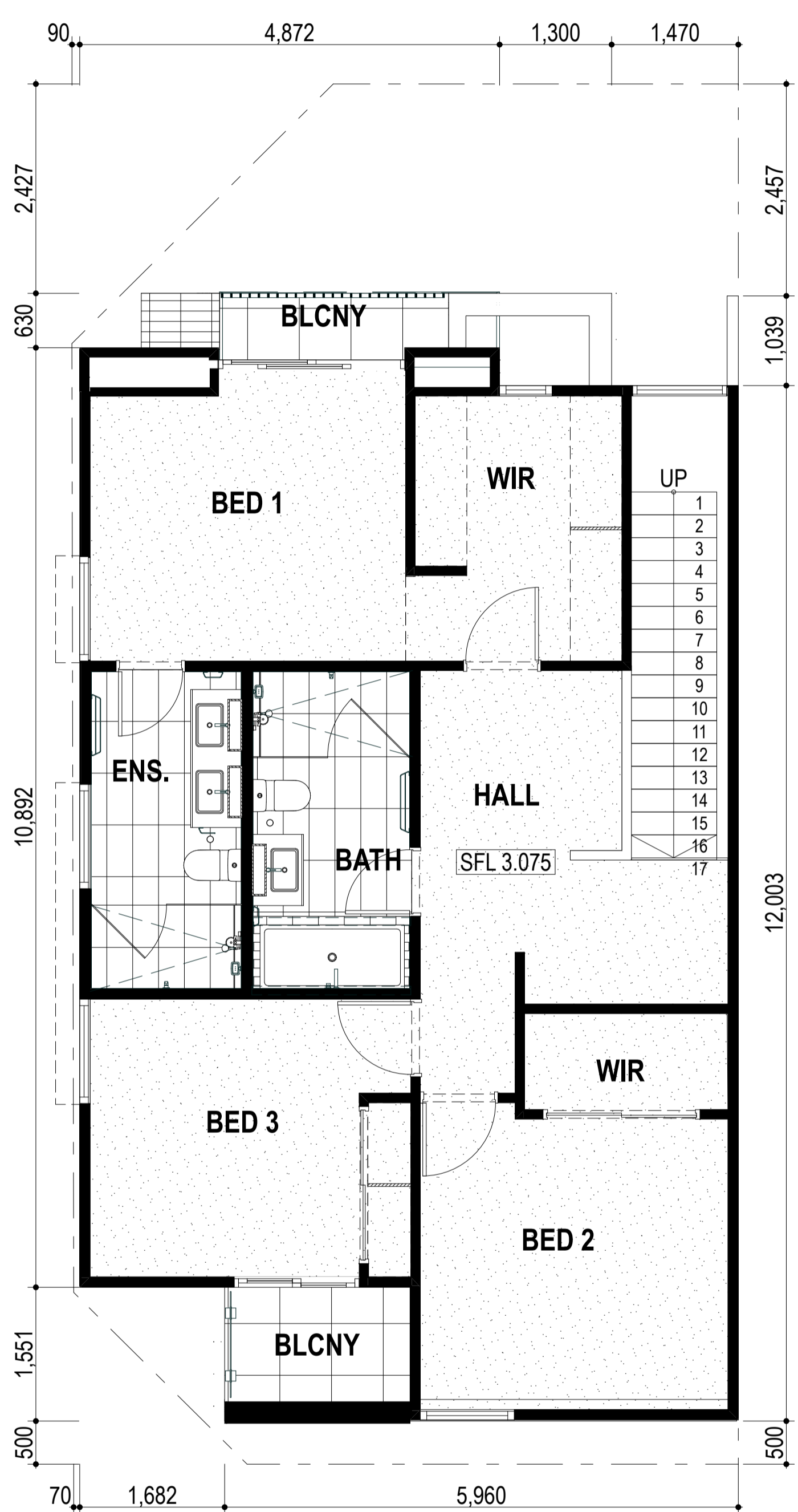
Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title:
LOTS 31-40 FLOOR PLANS

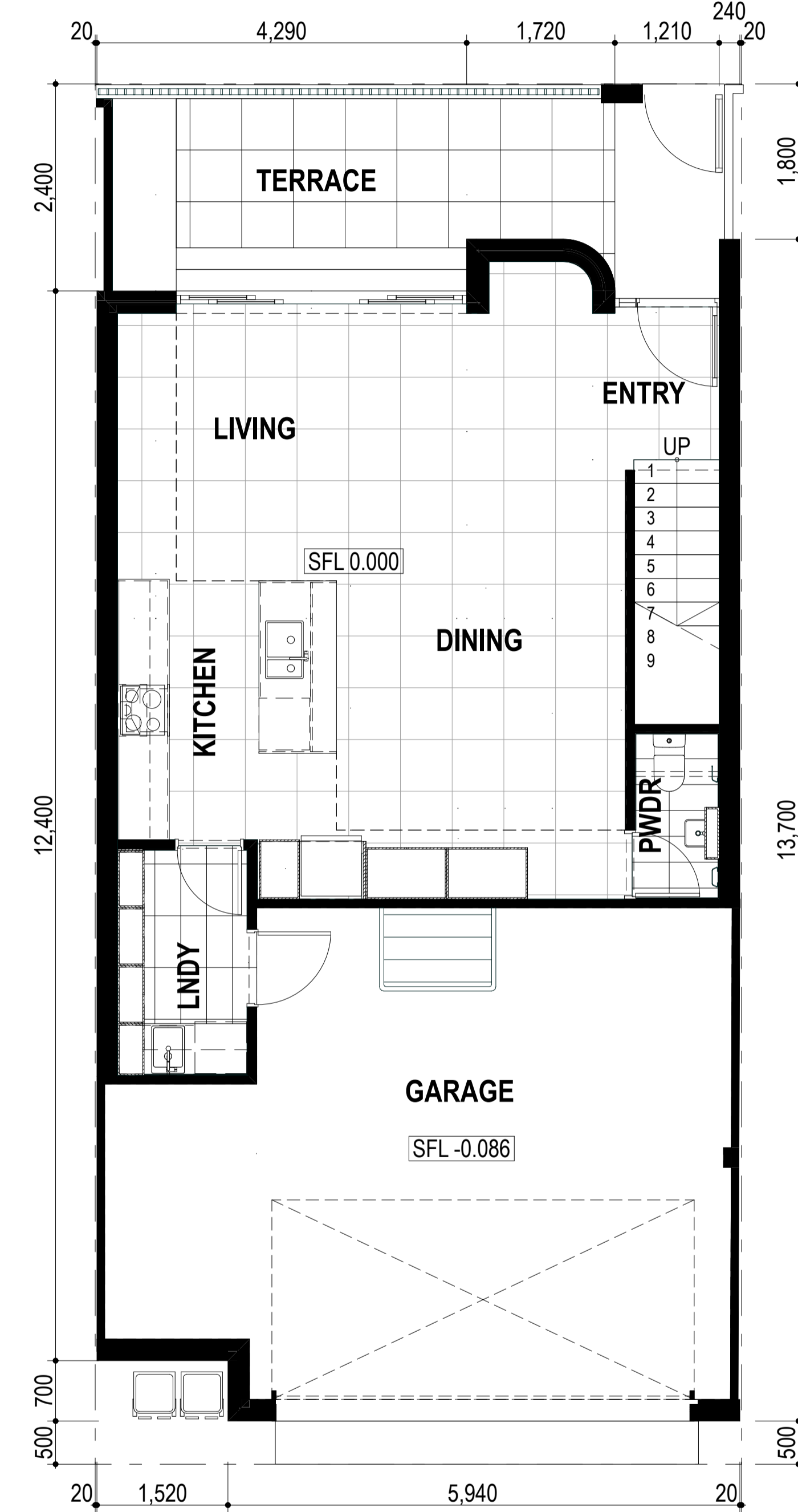
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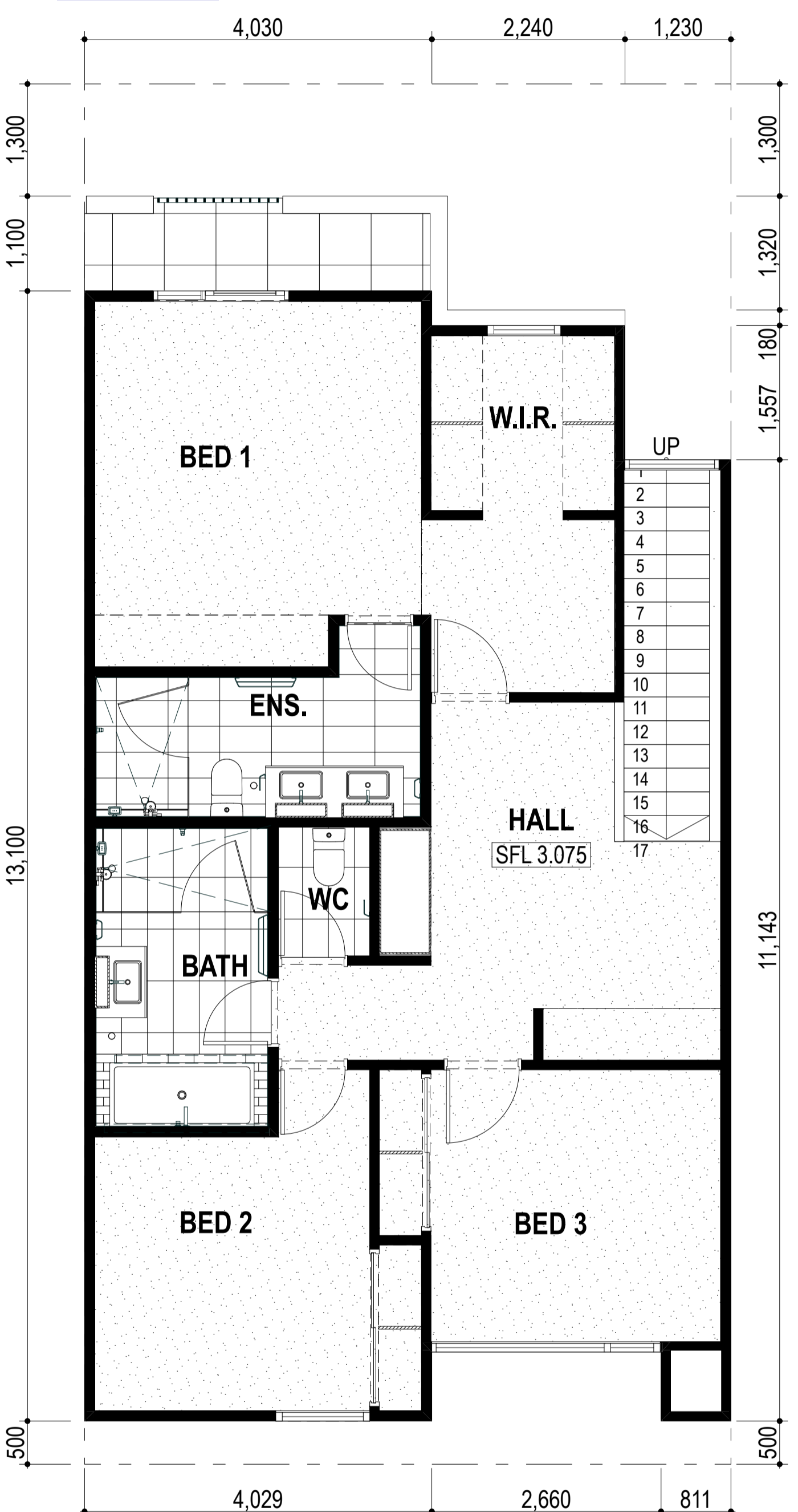
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1:50



M FIRST FLOOR PLAN
1:50



N GROUND FLOOR PLAN
1:50



N FIRST FLOOR PLAN
1:50

TOWN OF VICTORIA PARK
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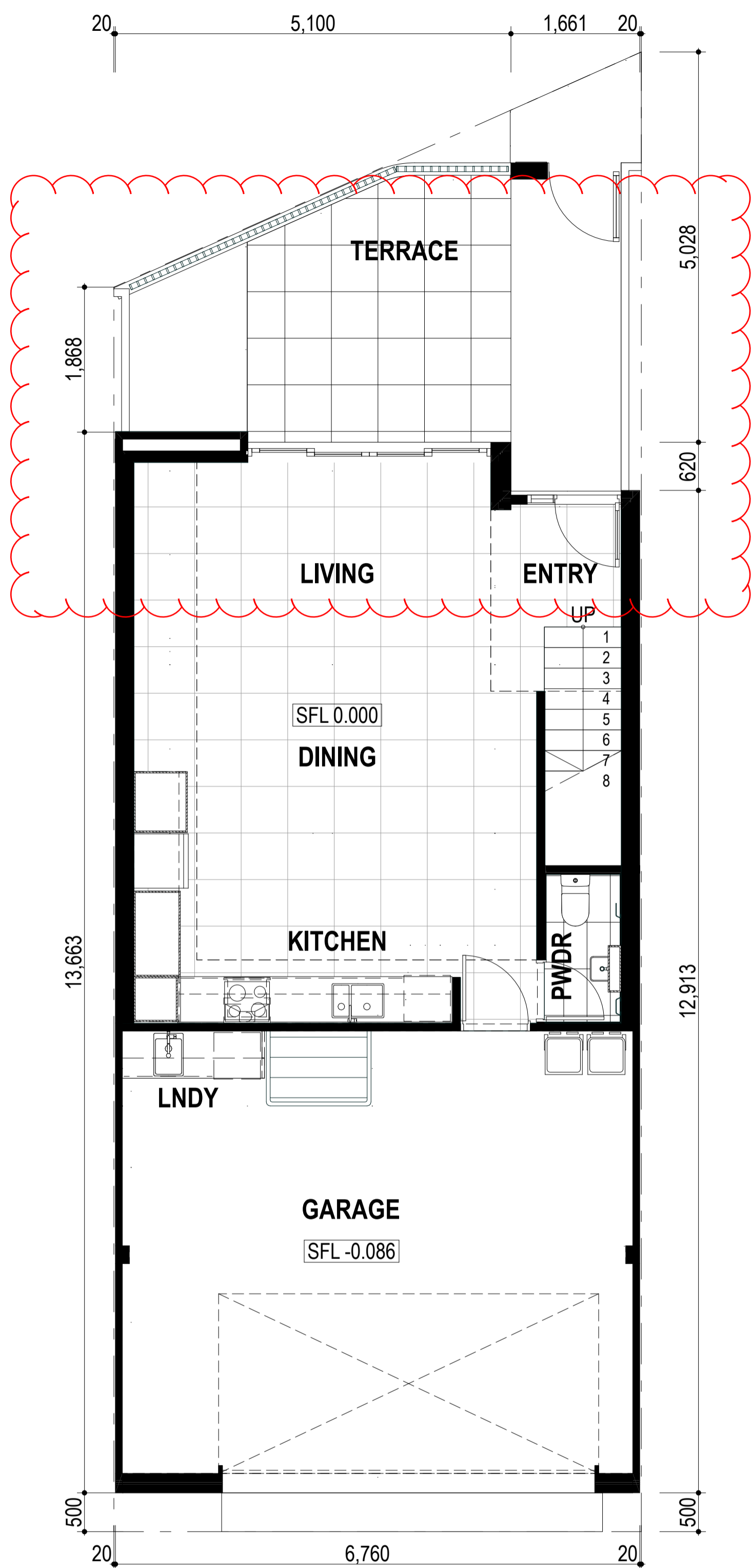
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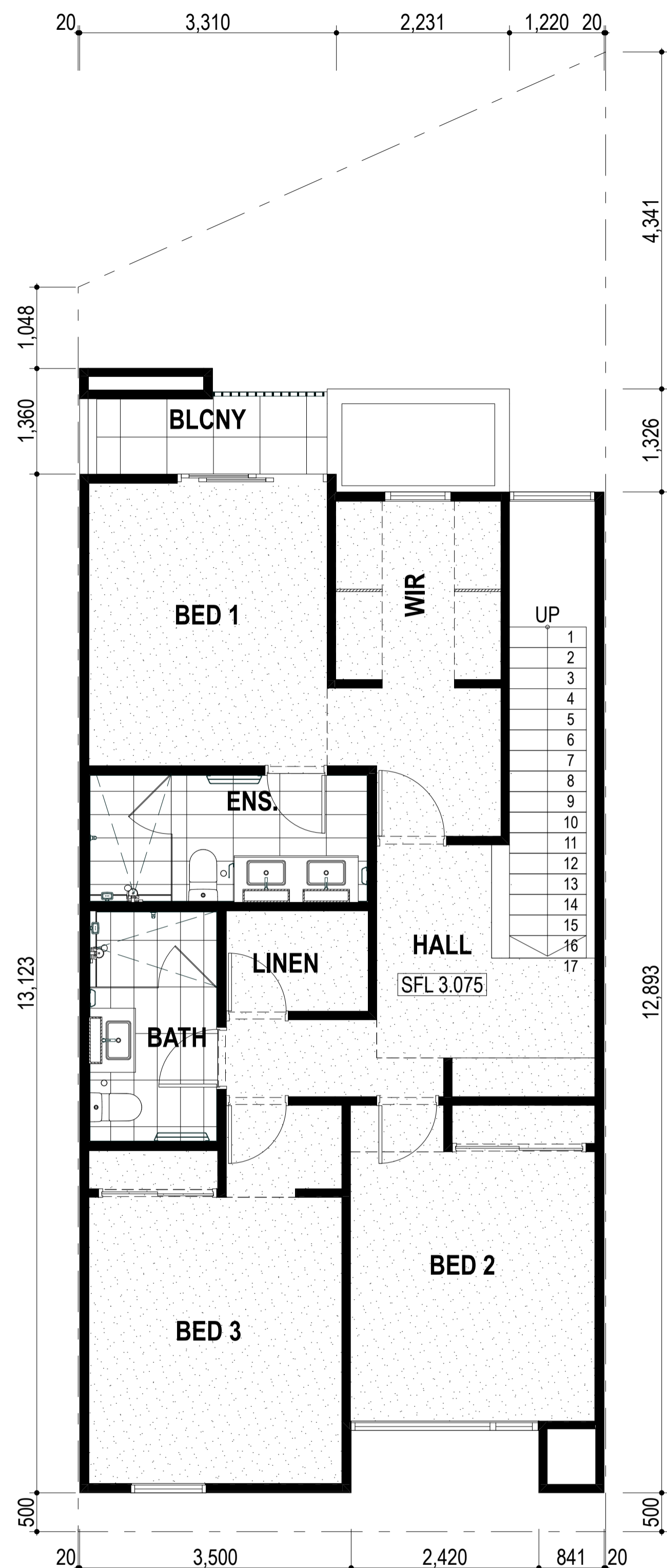
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t: (08) 9316 0531
f: (08) 9316 0458
w: www.mmandsarchitecture.com.au

Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**
Drawing Title: **LOTS 31-40 TYPICAL FLOOR PLANS**

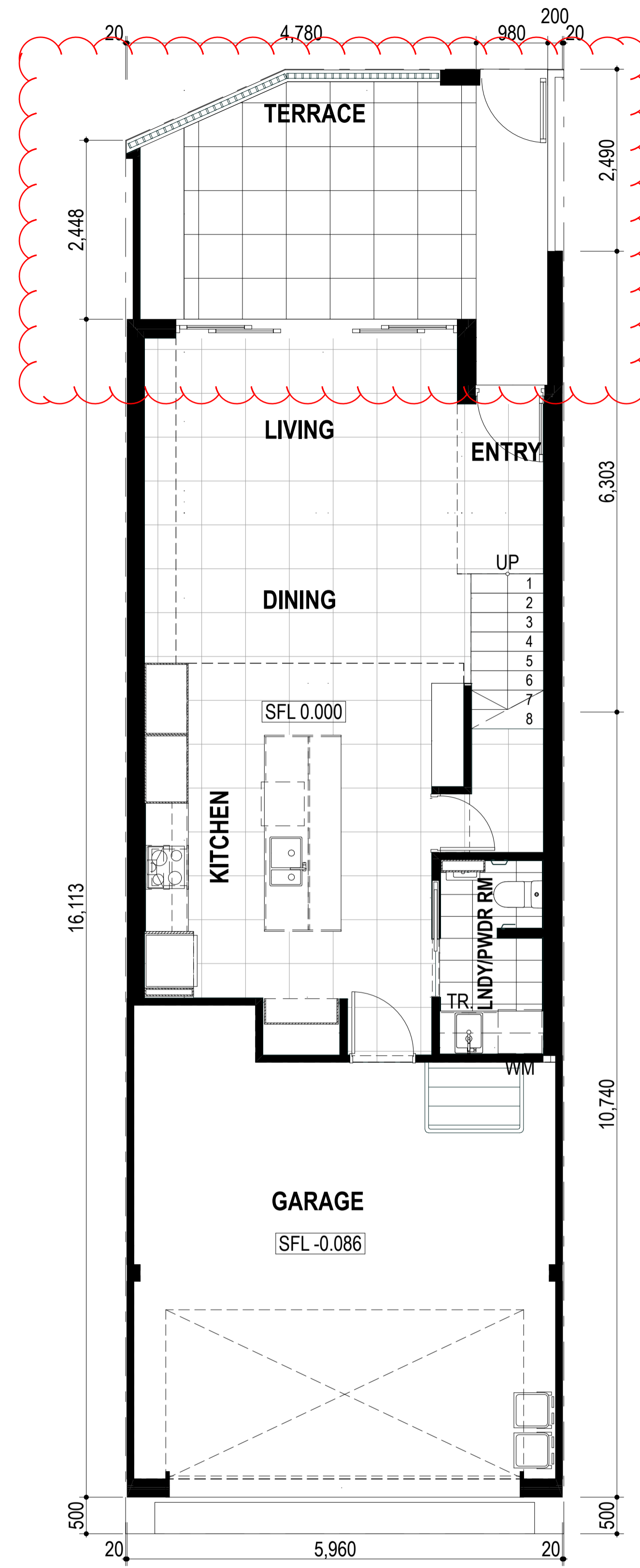
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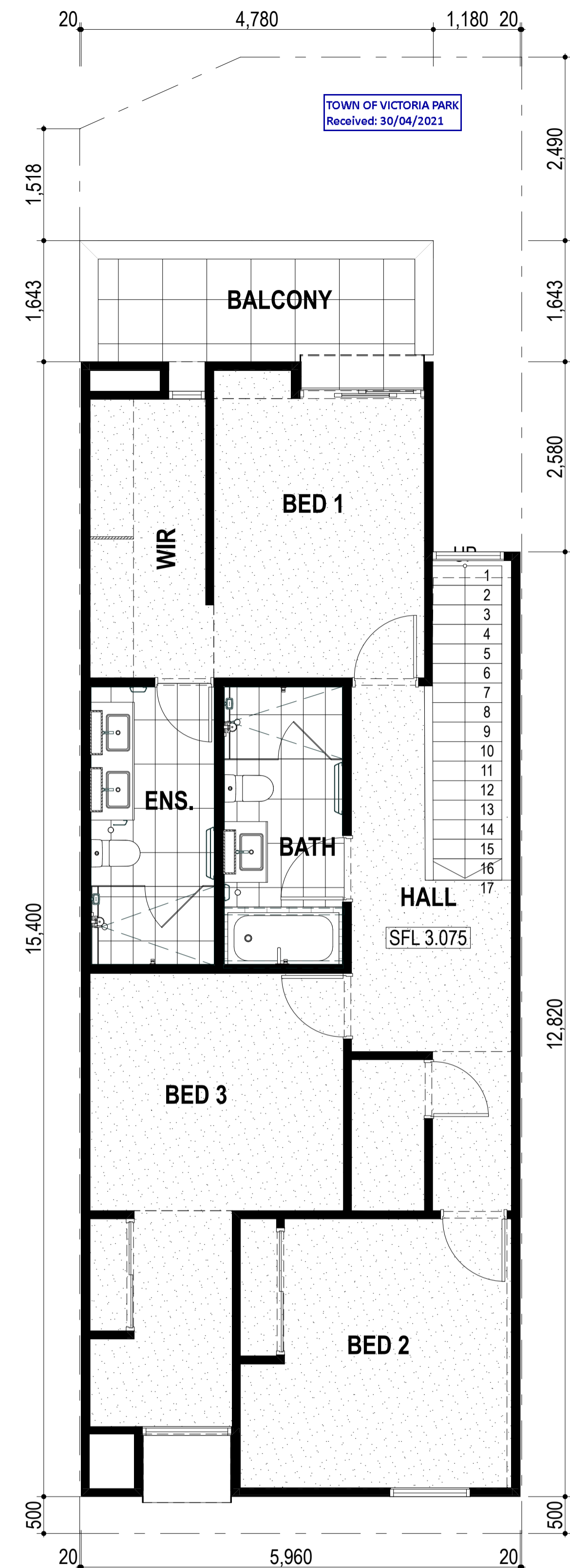
P GROUND FLOOR PLAN
1:50



P FIRST FLOOR PLAN
1:50



Q GROUND FLOOR PLAN
1:50



Q FIRST FLOOR PLAN
1:50

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TOWN OF VICTORIA PARK
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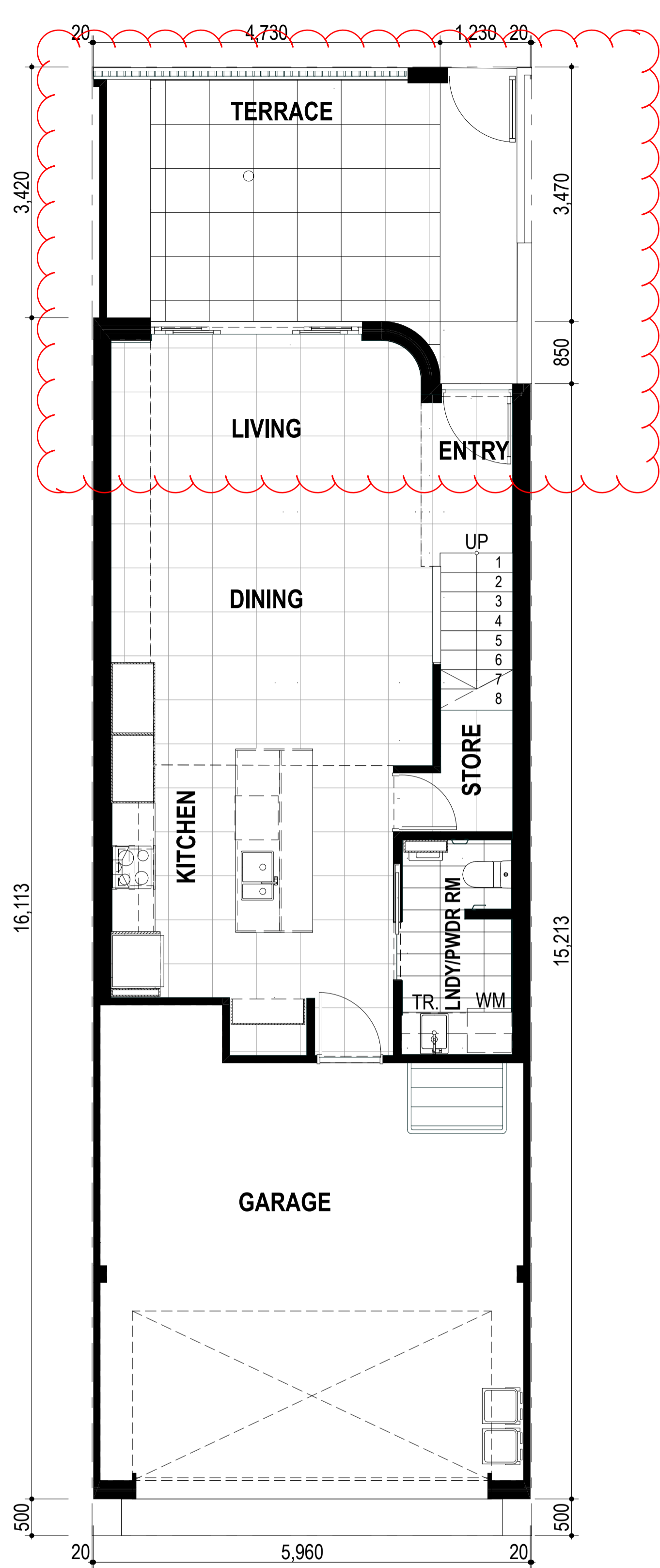
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Project: **HAMLEN- 384 EVP**

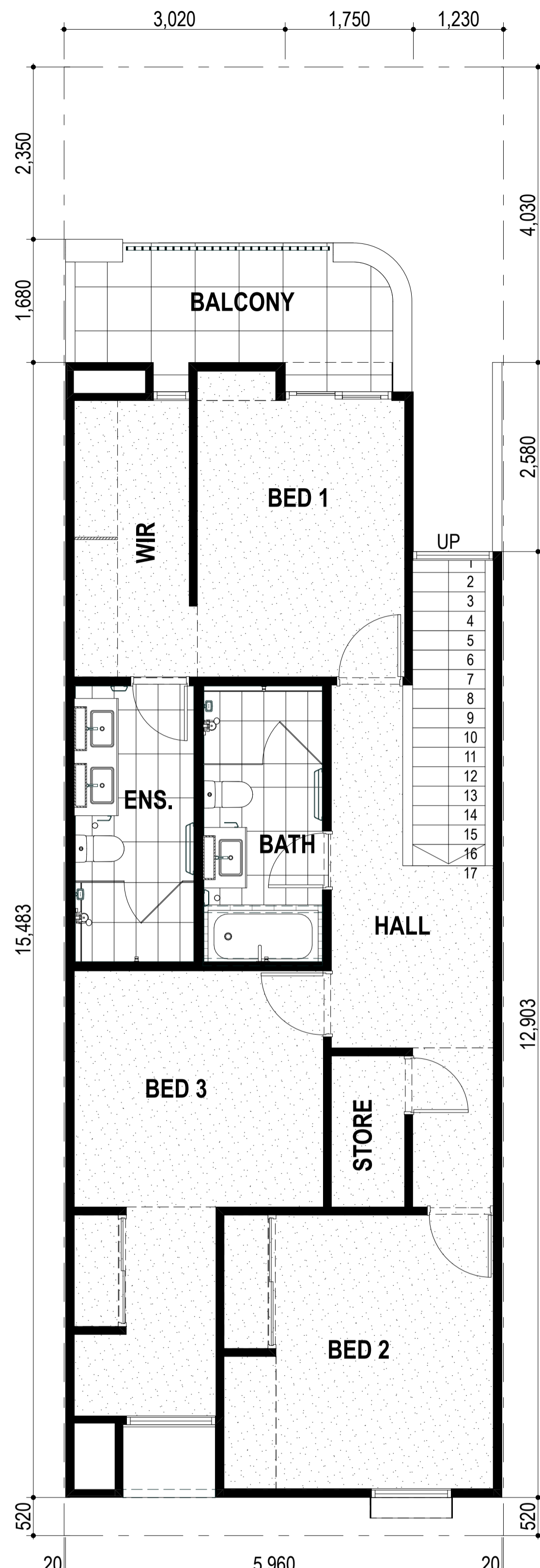
Client: **HAMLEN**

Drawing Title: **LOTS 31-40 TYPICAL FLOOR PLANS**

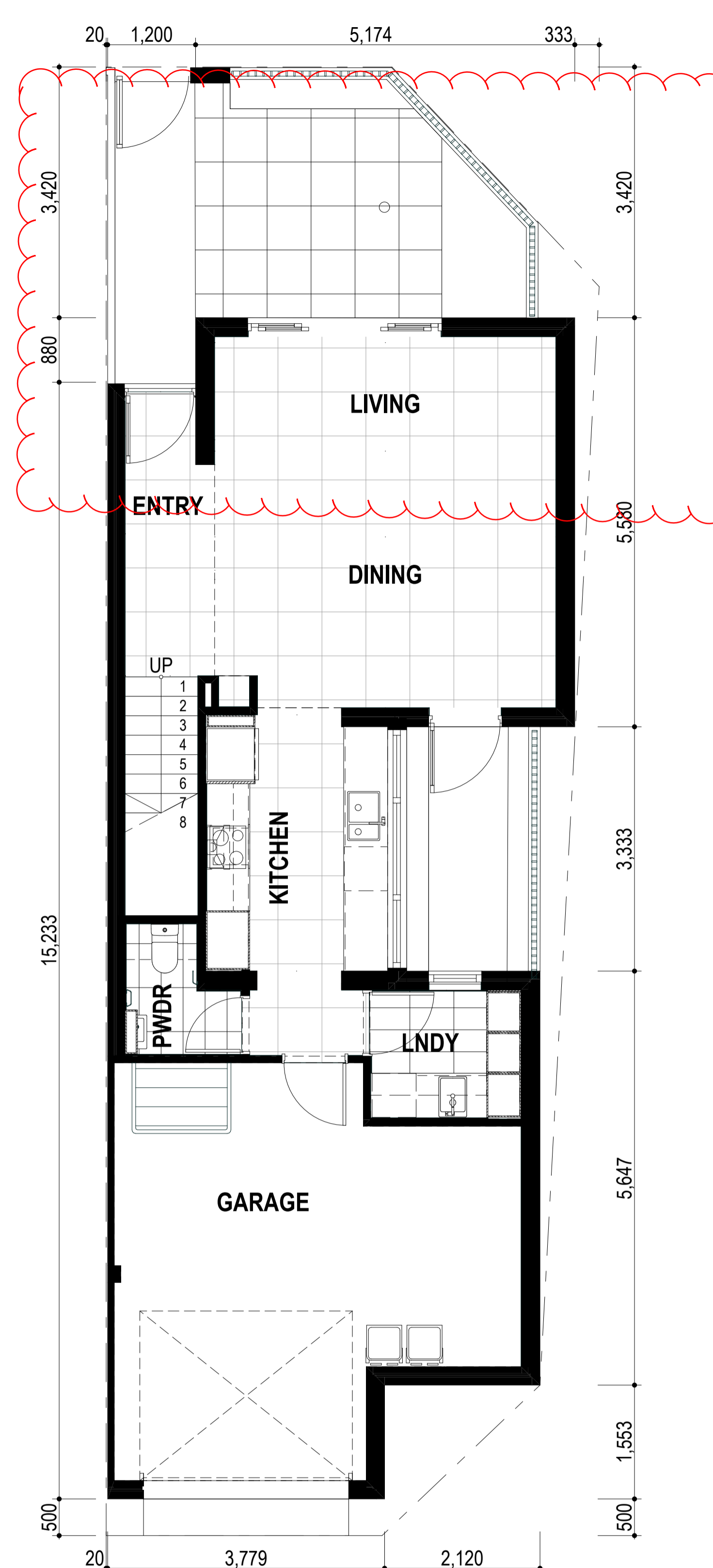
DATE	AUTHOR	SCALE	DRAWING NO.	REV.
20006		1:50	A2.33	3



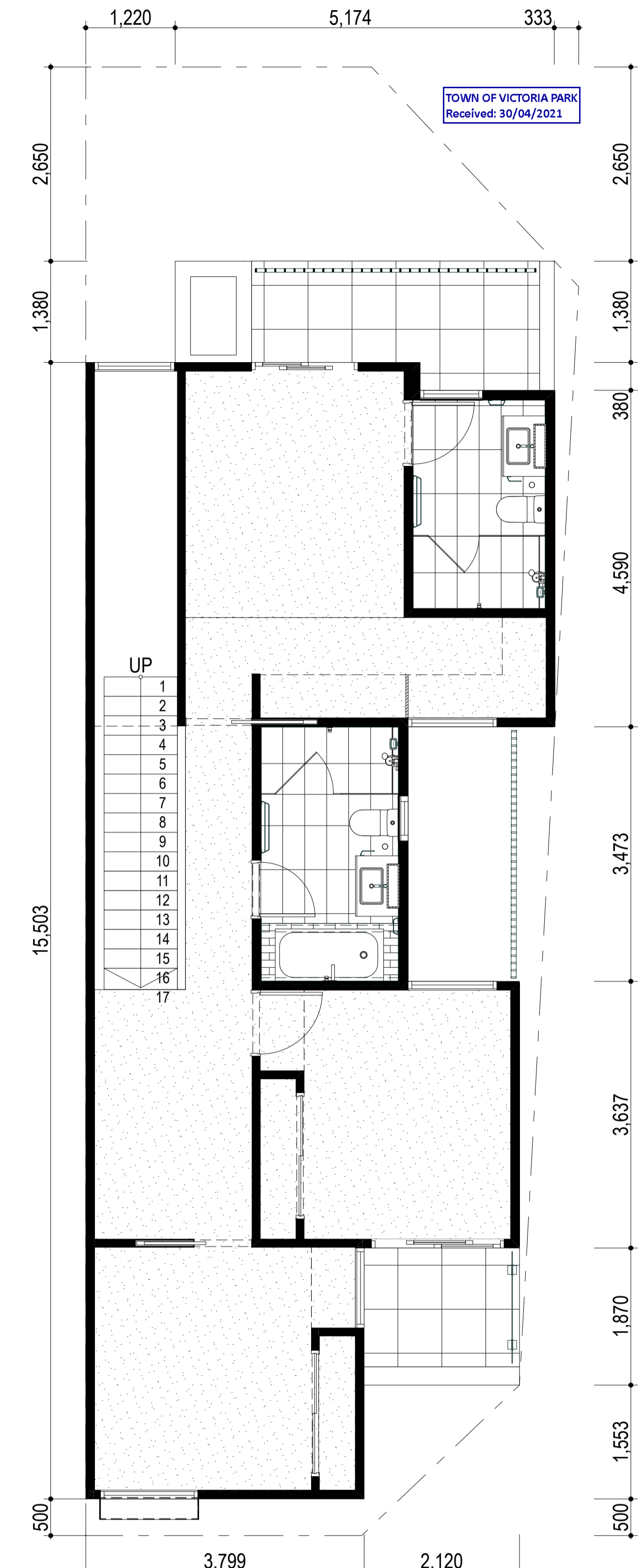
R GROUND FLOOR PLAN
1:50



R FIRST FLOOR PLAN
1:50



S GROUND FLOOR PLAN
1:50



S FIRST FLOOR PLAN
1:50

TOWN OF VICTORIA PARK
Received: 30/04/2021

**DEVELOPMENT
ASSESSMENT PANEL**

APPROVED

17-May-2021

DA

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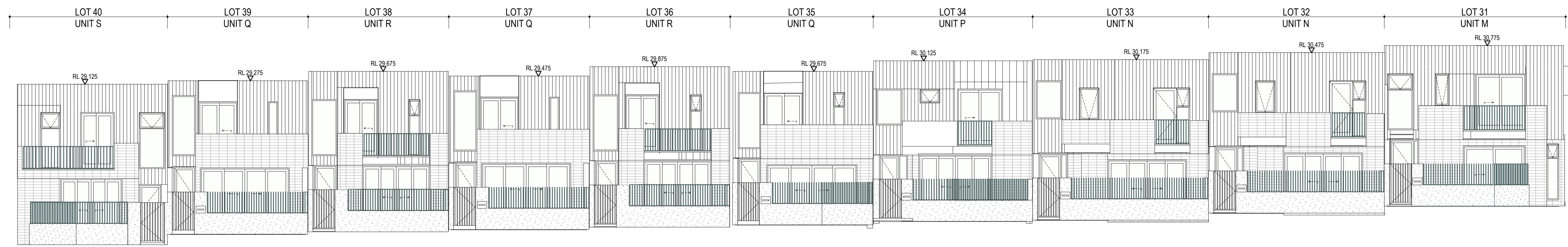
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0	20/09/2020	ISSUED FOR DA
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3	22/04/2021	DRAWINGS UPDATED FOR DA

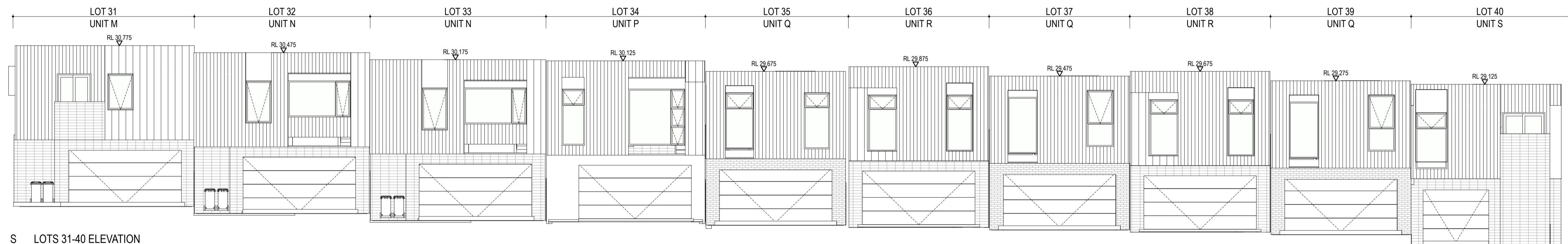
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Project	HAMLEN- 384 EVP
Client	HAMLEN
Drawing Title	LOTS 31-40 TYPICAL FLOOR PLANS
Drawn	
Checked	
Project no	20006
Scale	1:50
Drawing no	A2.34
Rev	3



N LOTS 31-40 ELEVATION
1:100



S LOTS 31-40 ELEVATION
1:100

**DEVELOPMENT
ASSESSMENT PANEL**

APPROVED

17-May-2021



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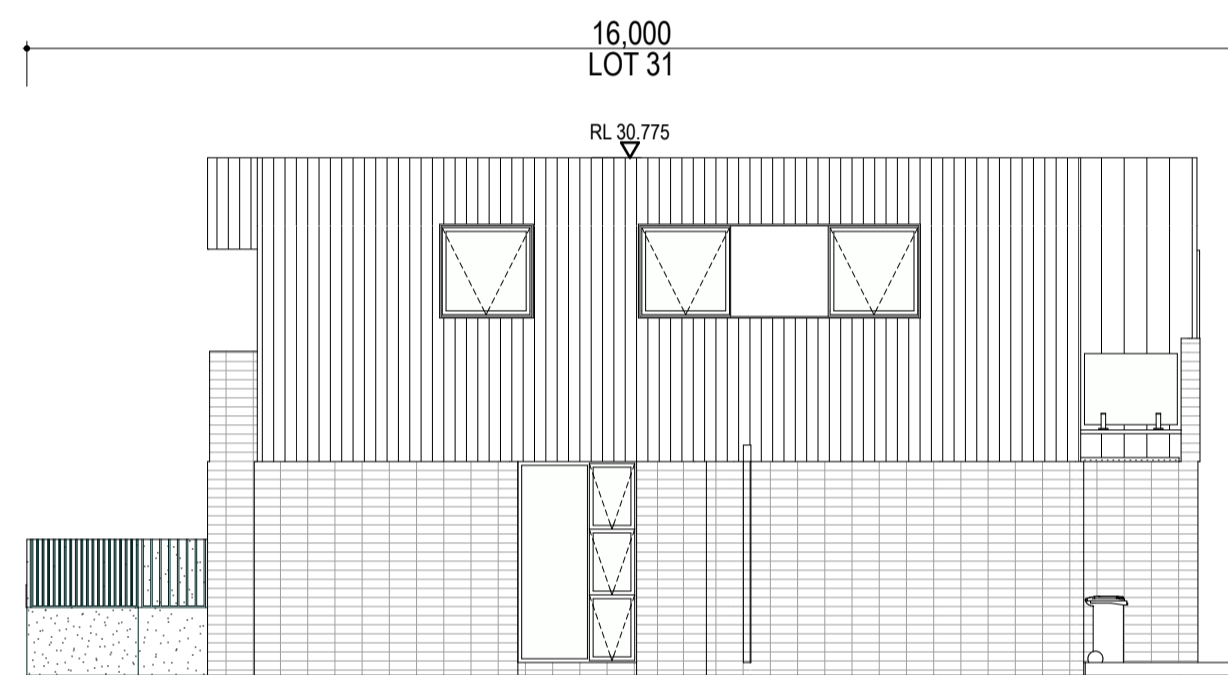
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3	22/04/2021	DRAWINGS UPDATED FOR DA

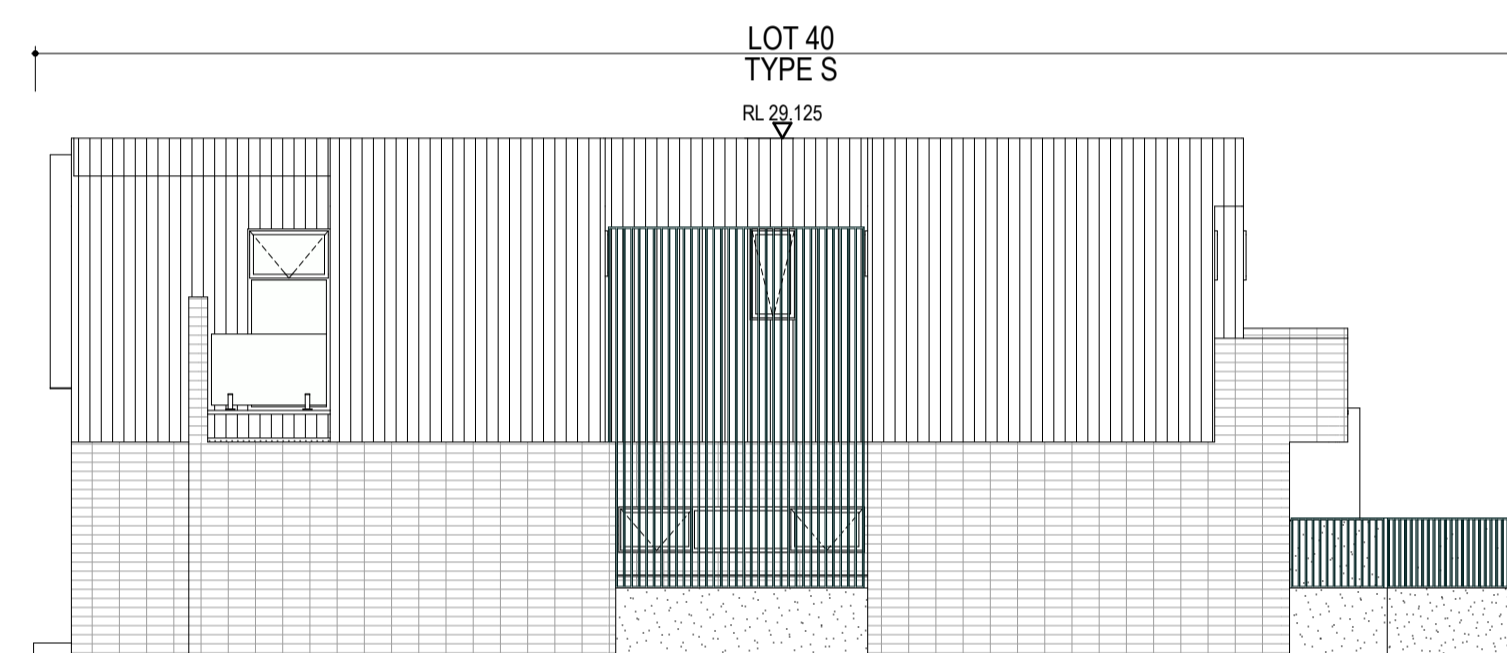
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Project	HAMLEN- 384 EVP		
Client	HAMLEN		
Drawing Title	ELEVATIONS		
Designed	Designer	Scale	Drawing no
Drawn	Author	Scale	rev
Project no	20006	Scale	1:100
Drawing no	A3.30	Scale	3



W LOTS 31-40 ELEVATION
1:100



E LOTS 31-40 ELEVATION
1:100

**DEVELOPMENT
ASSESSMENT PANEL**

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17-May-2021



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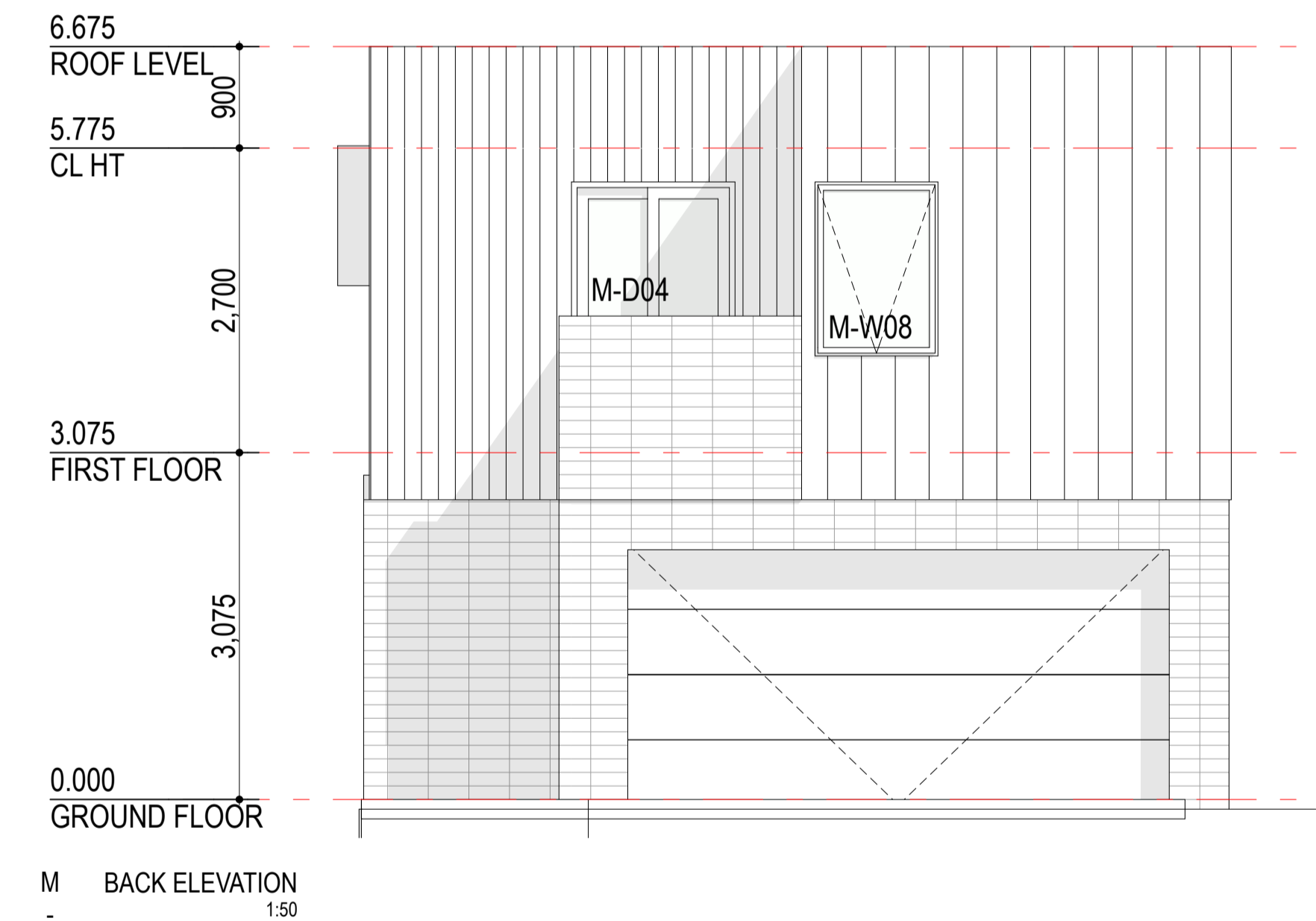
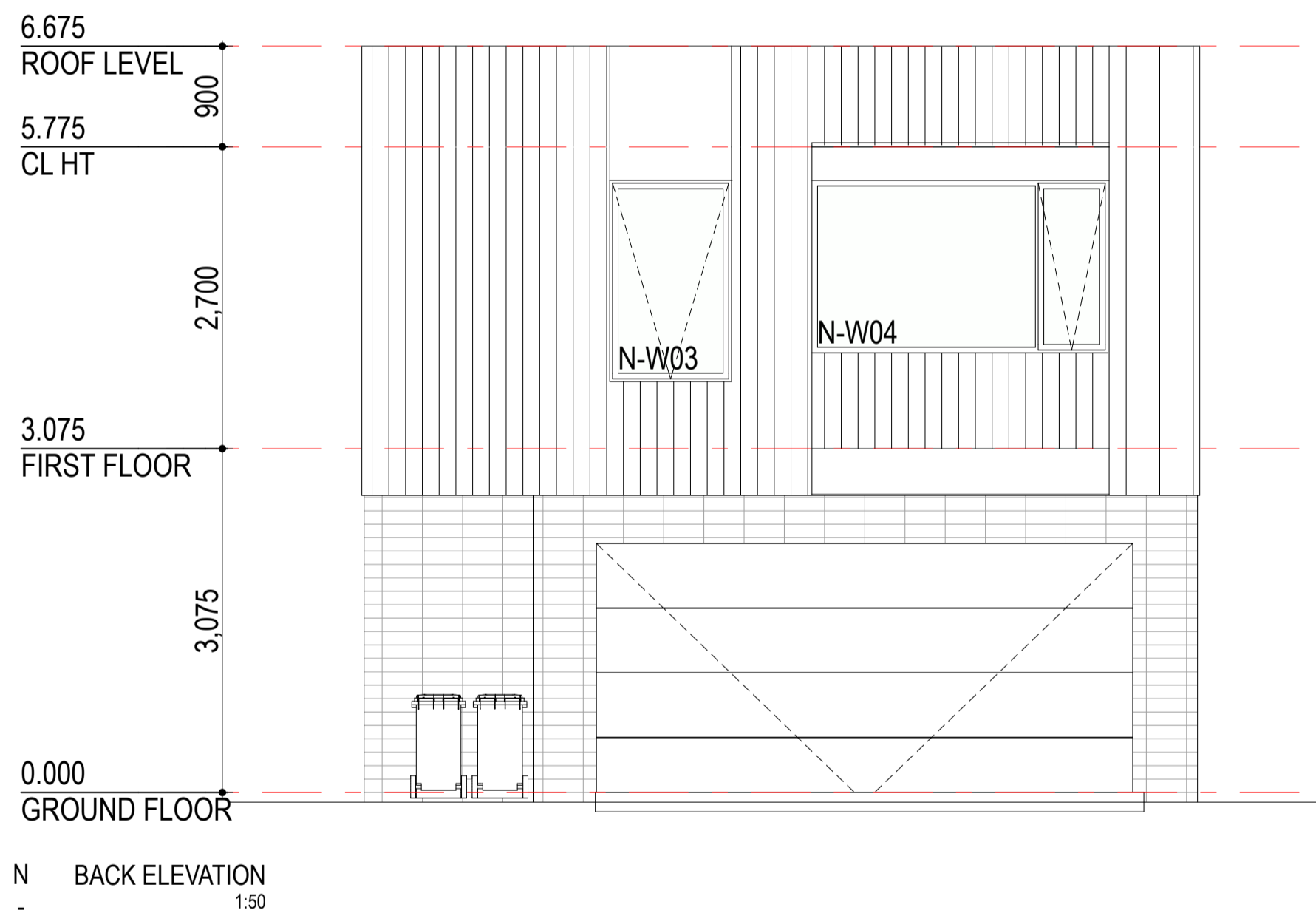
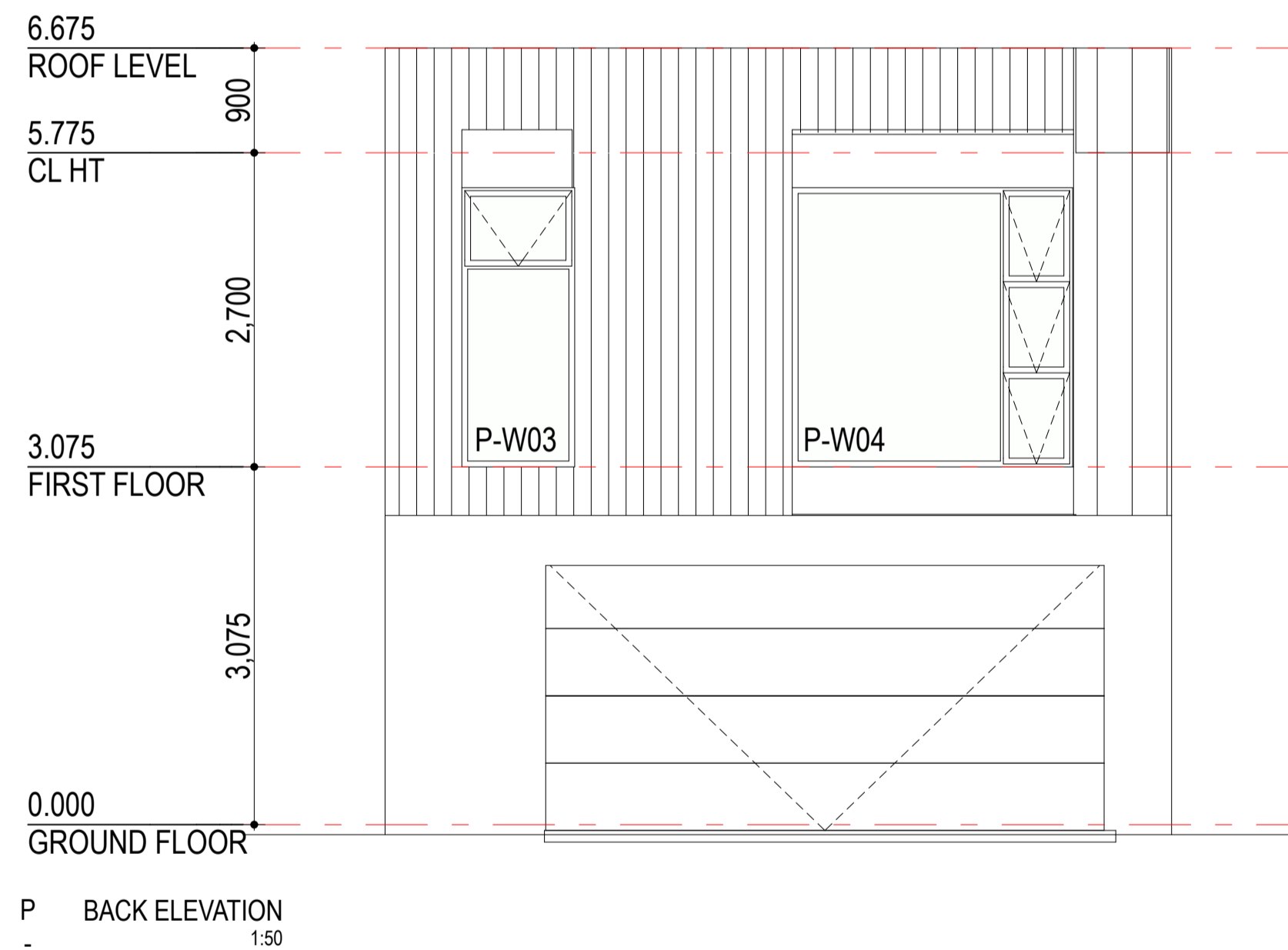
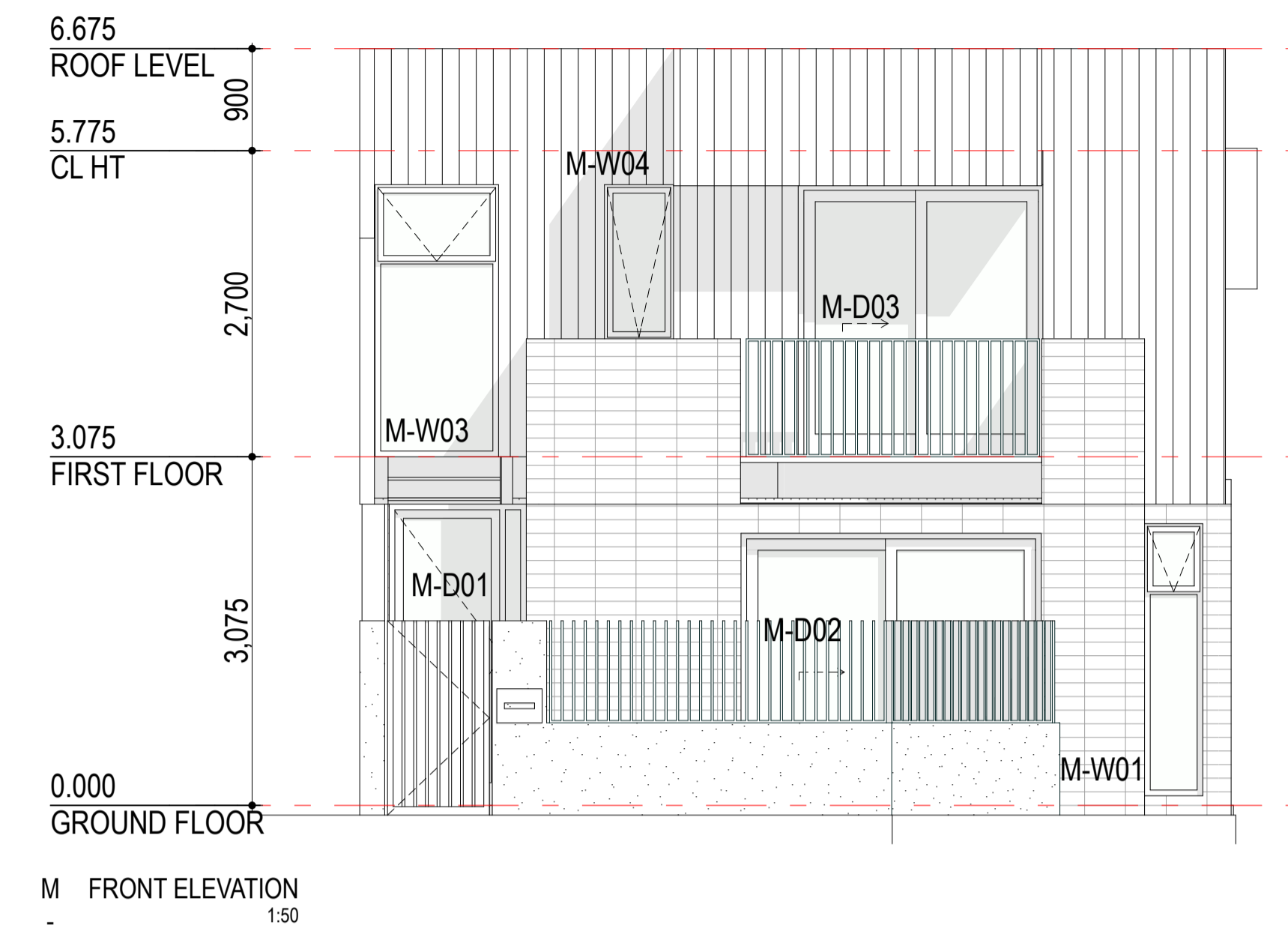
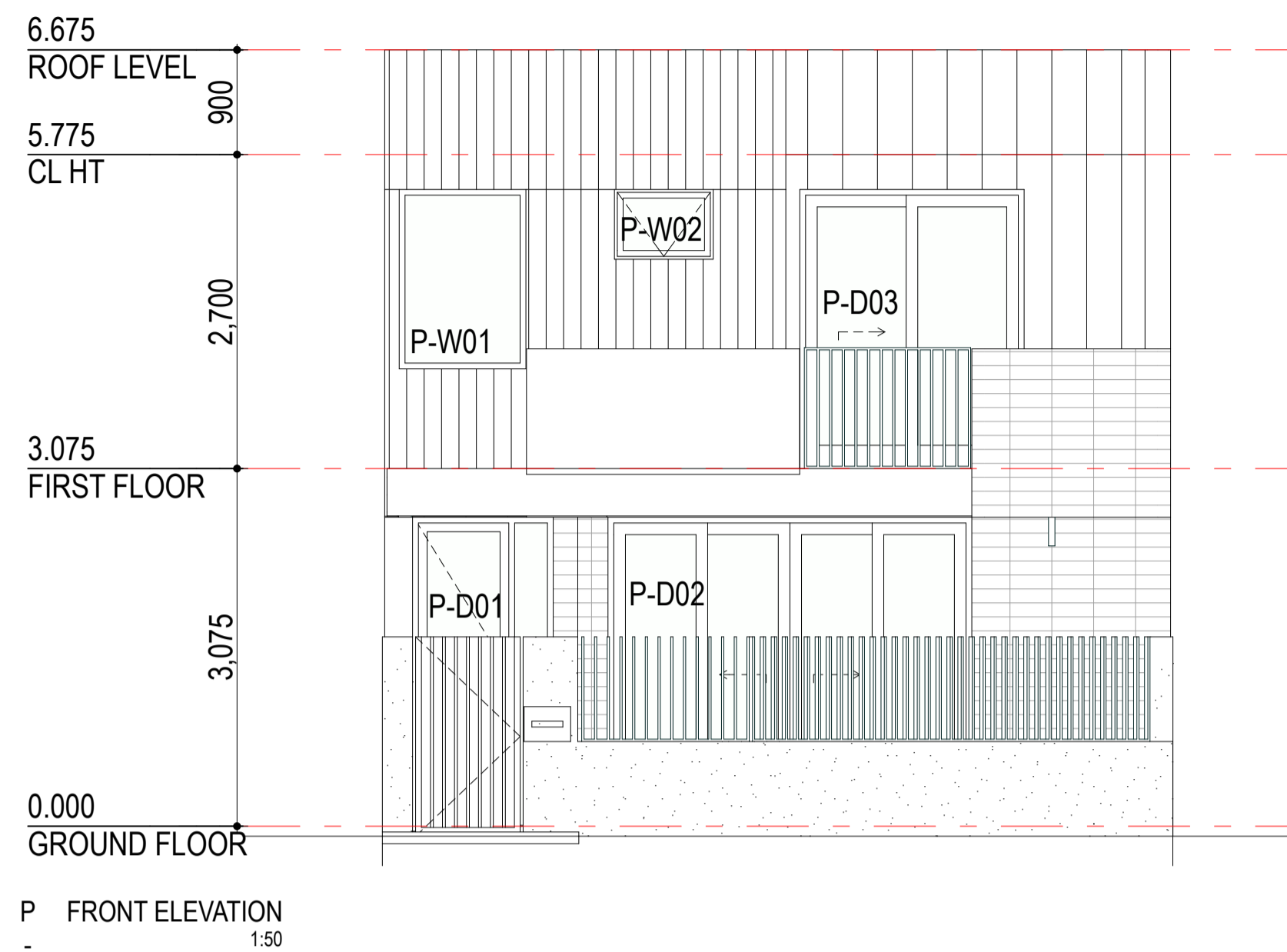
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3	22/04/2021	DRAWINGS UPDATED FOR DA

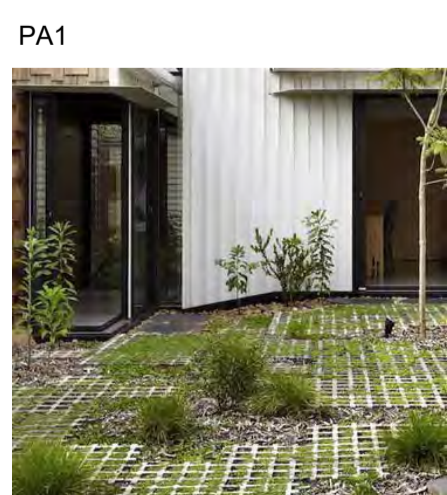
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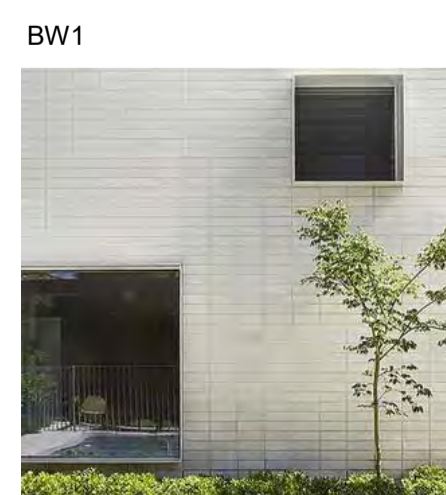
Project	HAMLEN- 384 EVP		
Client	HAMLEN		
Drawing Title	ELEVATIONS		
Designed	Designer	Scale	Drawn by
Drawn	Author	Scale	Rev
Project no	Scale	Drawing no	Rev
20006	1:100	A3.31	3



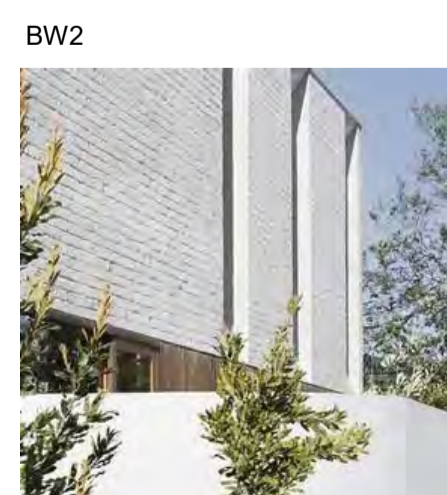
TC1
Blackbutt timber cladding or similar externally and internally.



PA1
Permeable paving and lowlying vegetation or similar to entry forecourt.



BW1
White Bowral brickwork or similar to ground floor exterior walls.



BW2
White bagged brickwork or similar to low-level boundary walls.



MB4
Black steel infill balustrade or similar to front street elevation.



SS1
Black standing seam 'Maxline 340' or similar to upper floors.

DEVELOPMENT ASSESSMENT PANEL

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17-May-2021



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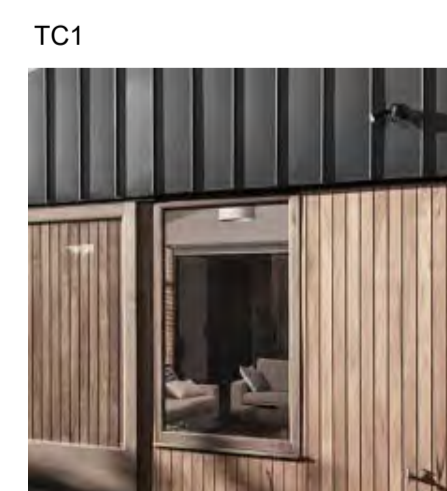
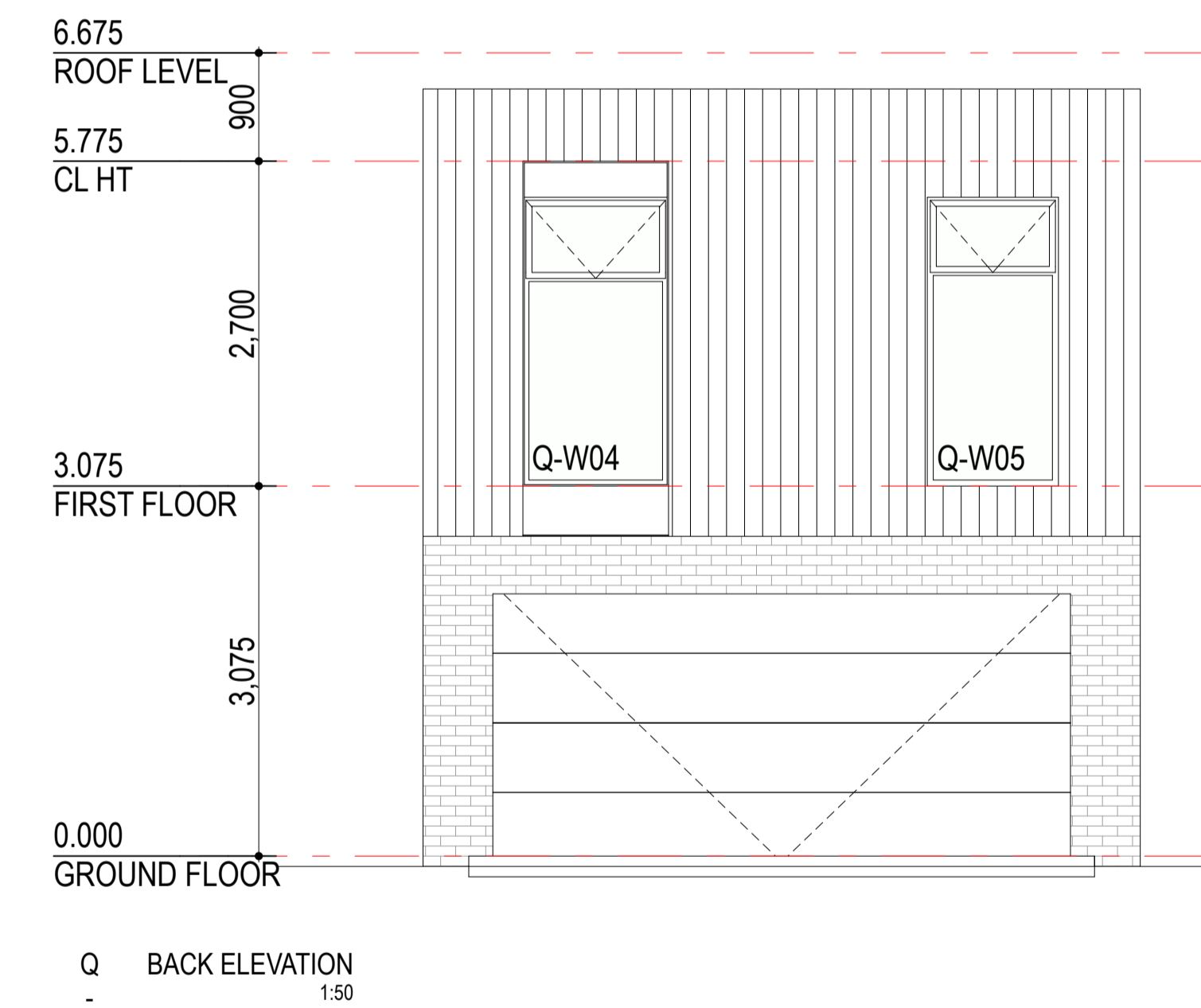
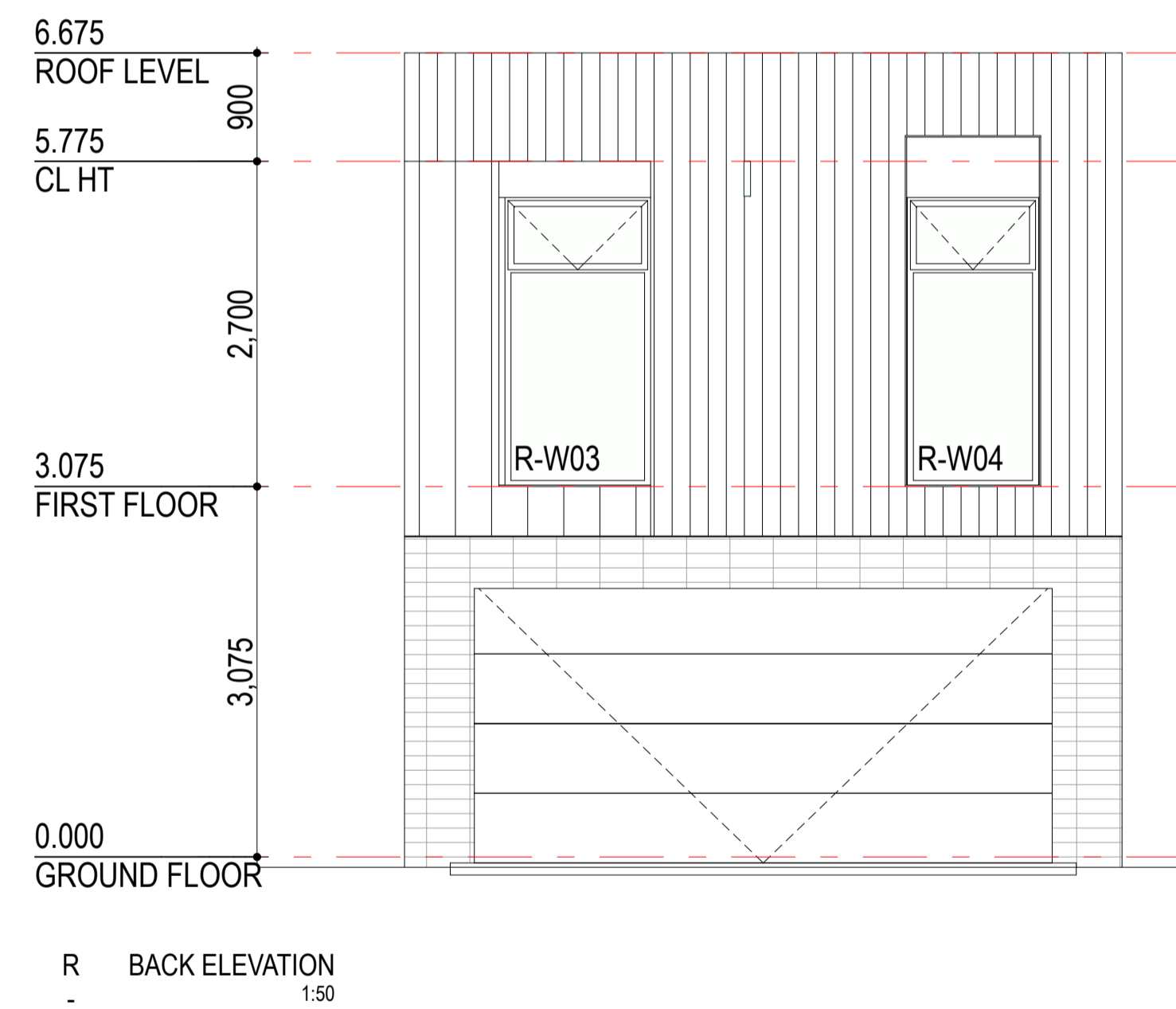
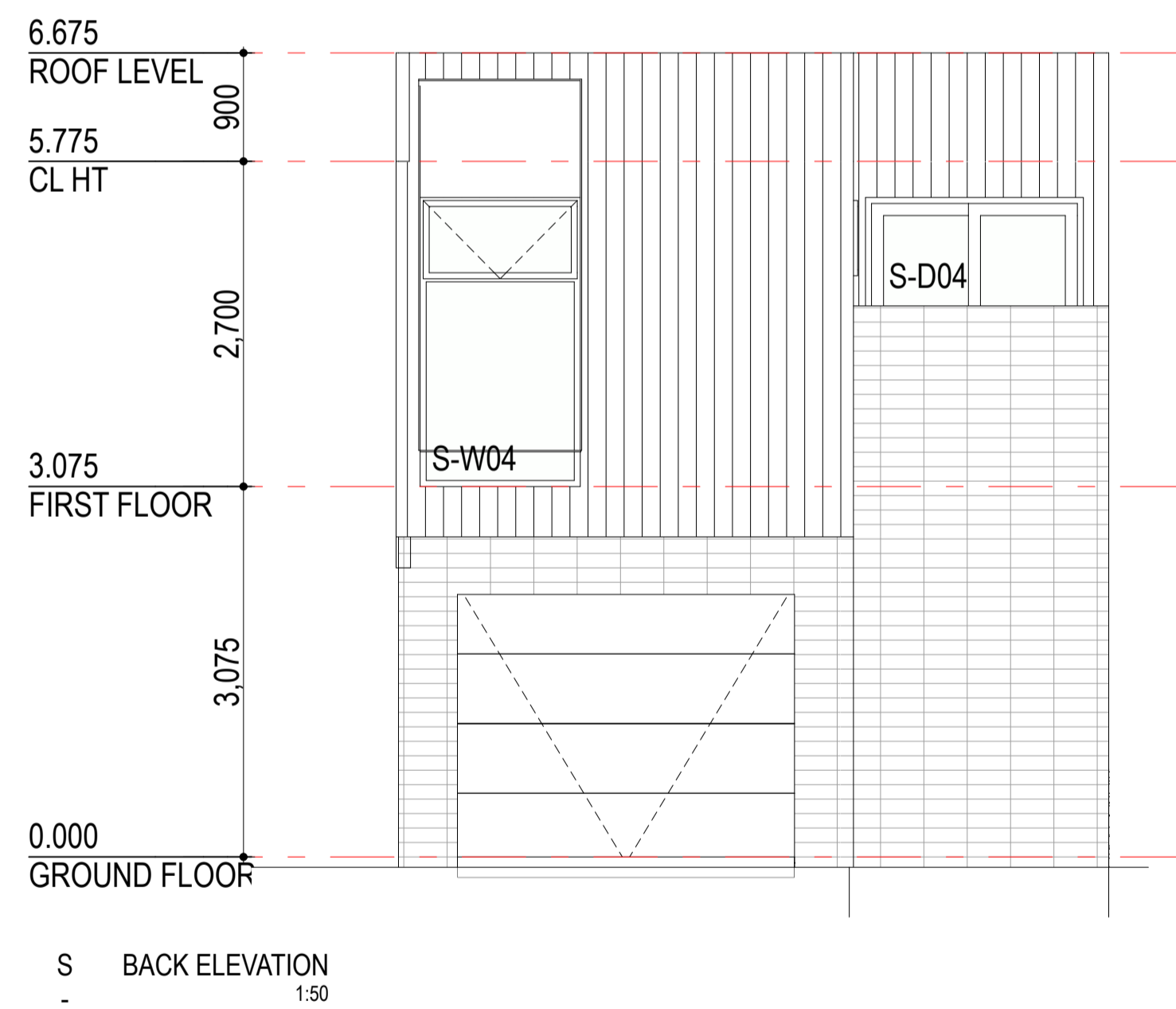
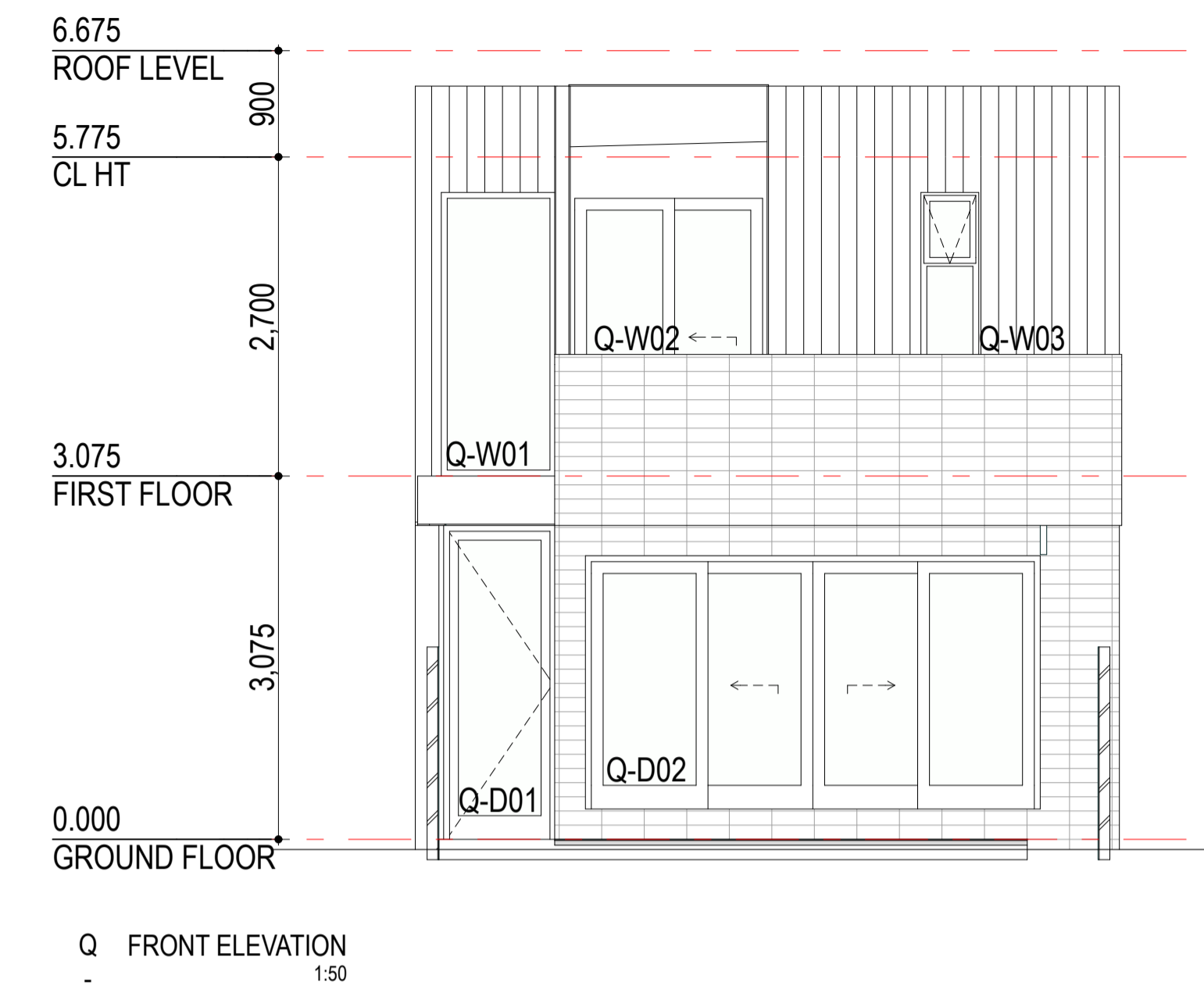
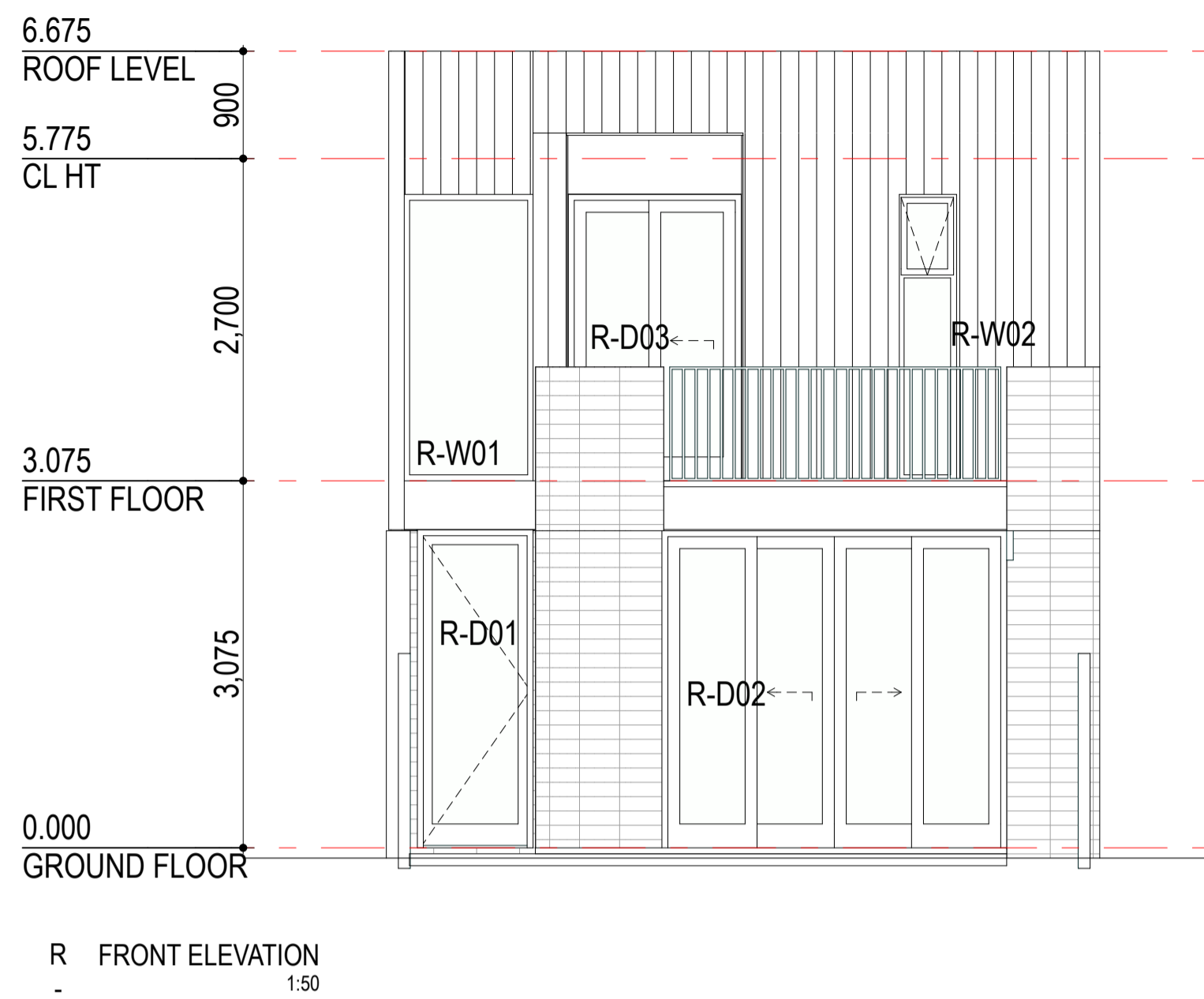
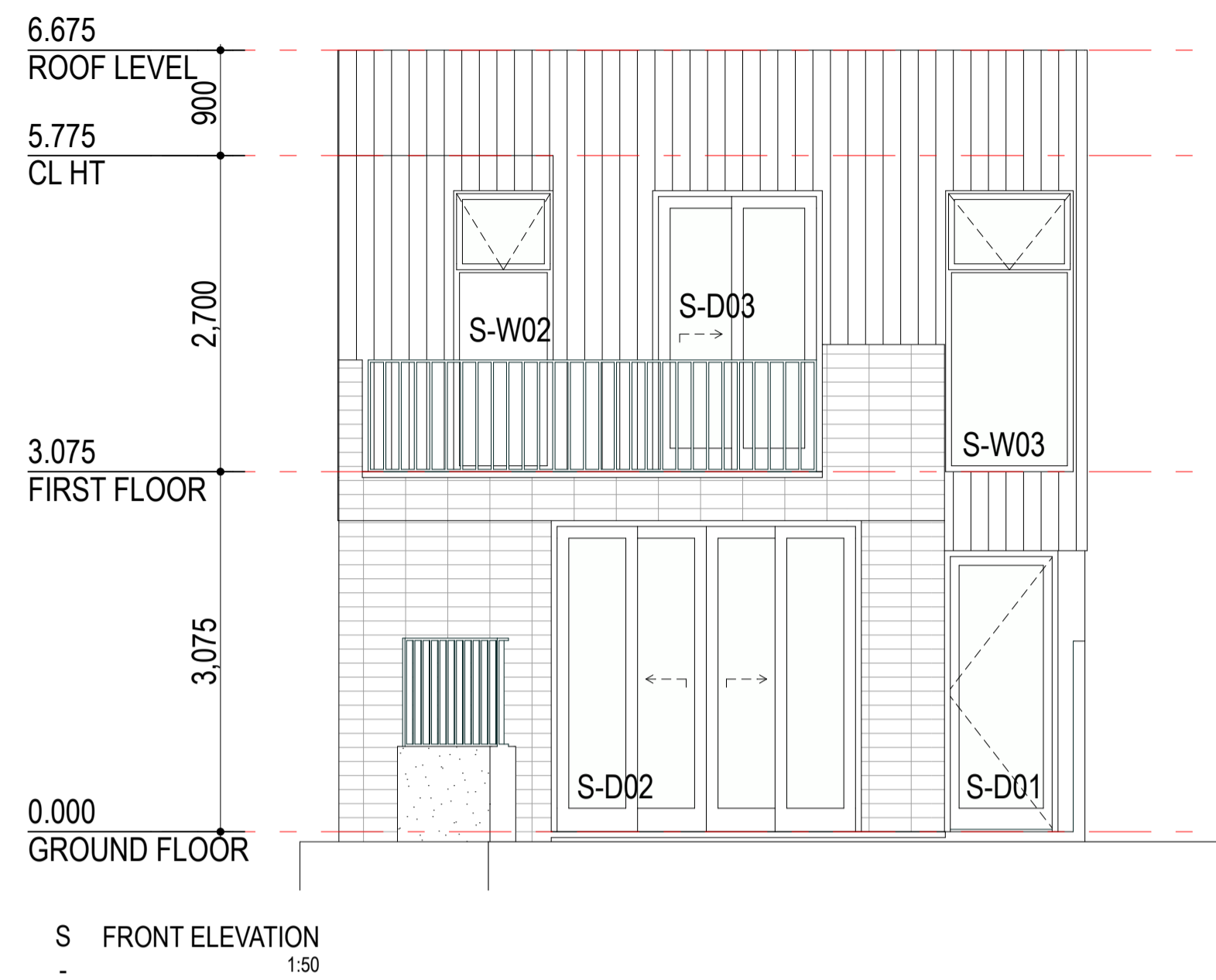


Project: **HAMLEN- 384 EVP**

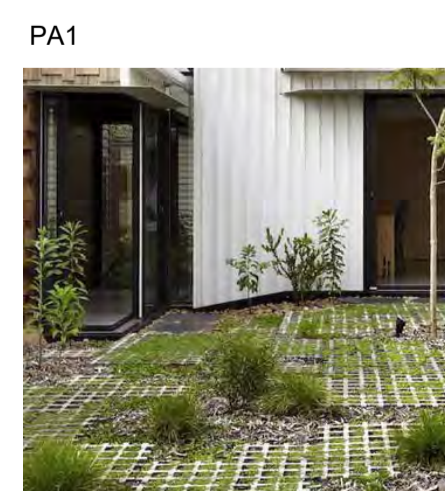
Client: **HAMLEN**

Drawing Title: **XX TYPICAL TYPES M-P ELEVATIONS**

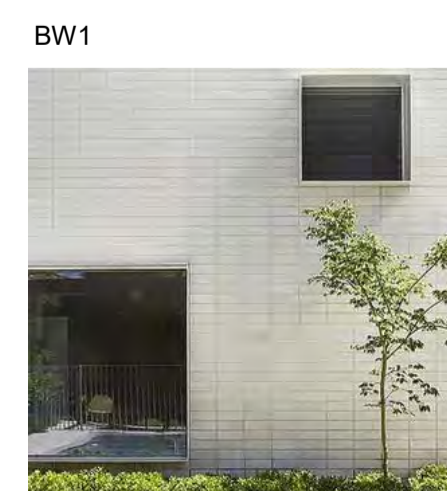
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20006	1:1, 1:50	A3.32	3	



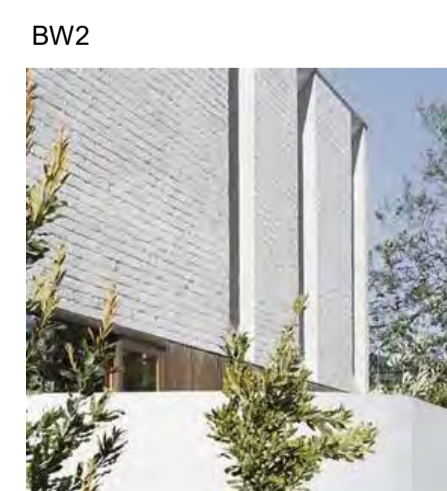
TC1
Blackbutt timber cladding or similar externally and internally.



PA1
Permeable paving and lowlying vegetation or similar to entry forecourt.



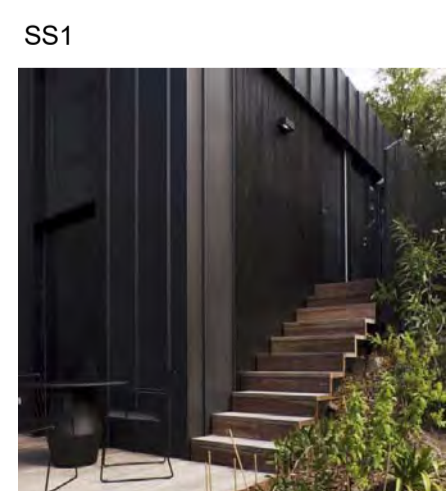
BW1
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BW2
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MB4
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SS1
Black standing seam 'Maxline 340' or similar to upper floors.

DEVELOPMENT ASSESSMENT PANEL

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17-May-2021



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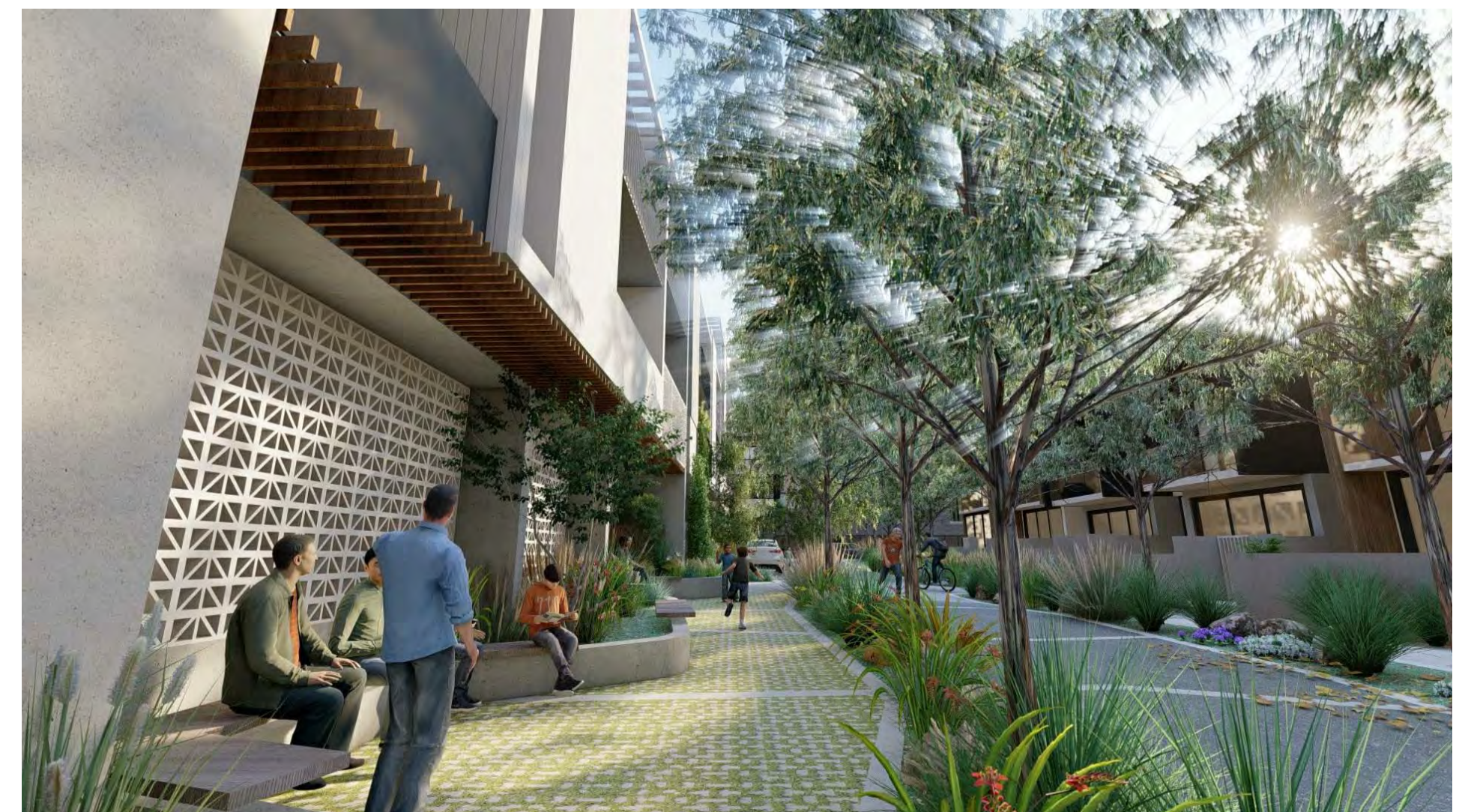


Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **XX TYPICAL TYPES Q-S ELEVATIONS**

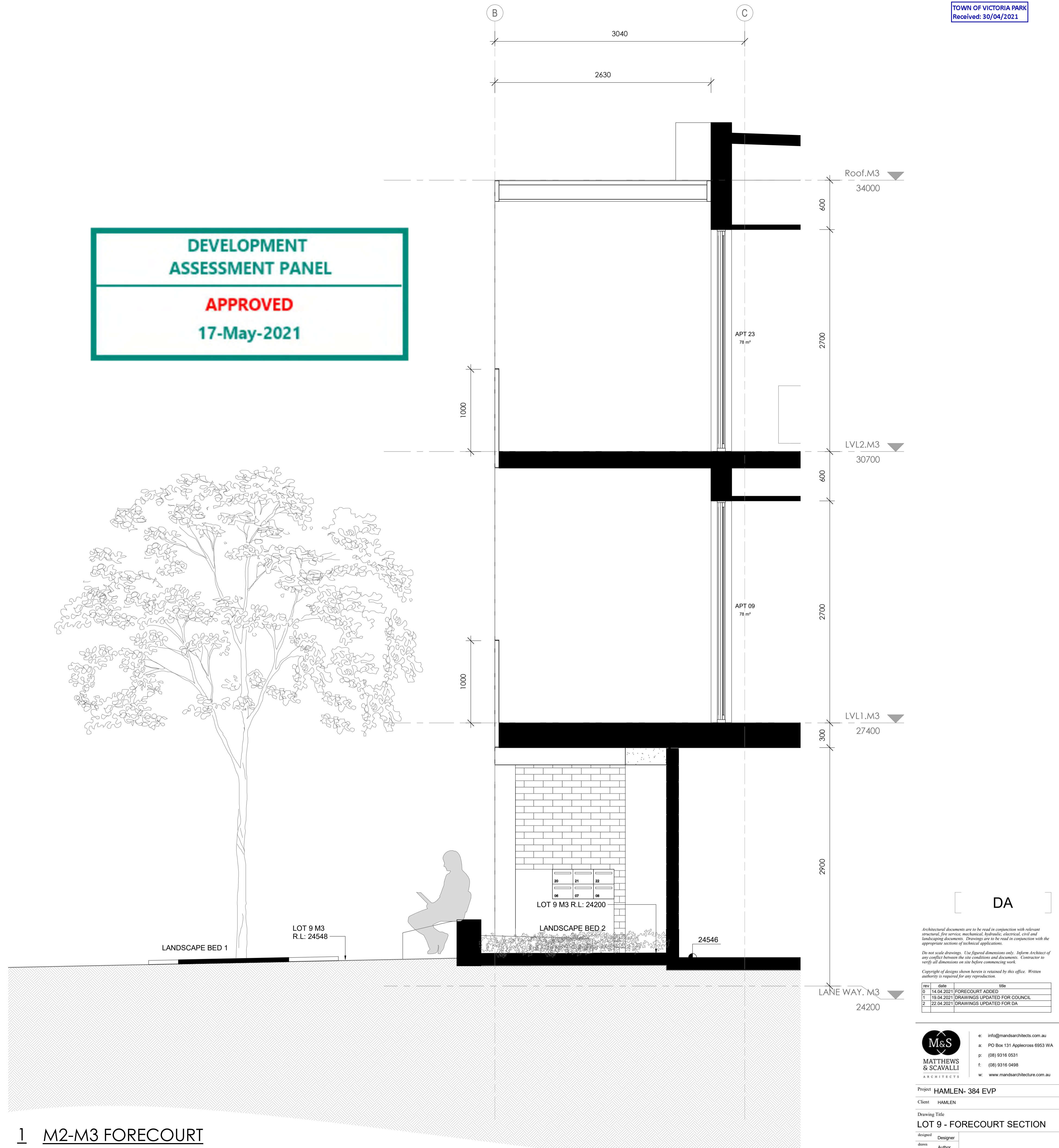
Drawn	Checked	Scale	Drawing no.	Rev.
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ASSESSMENT PANEL**

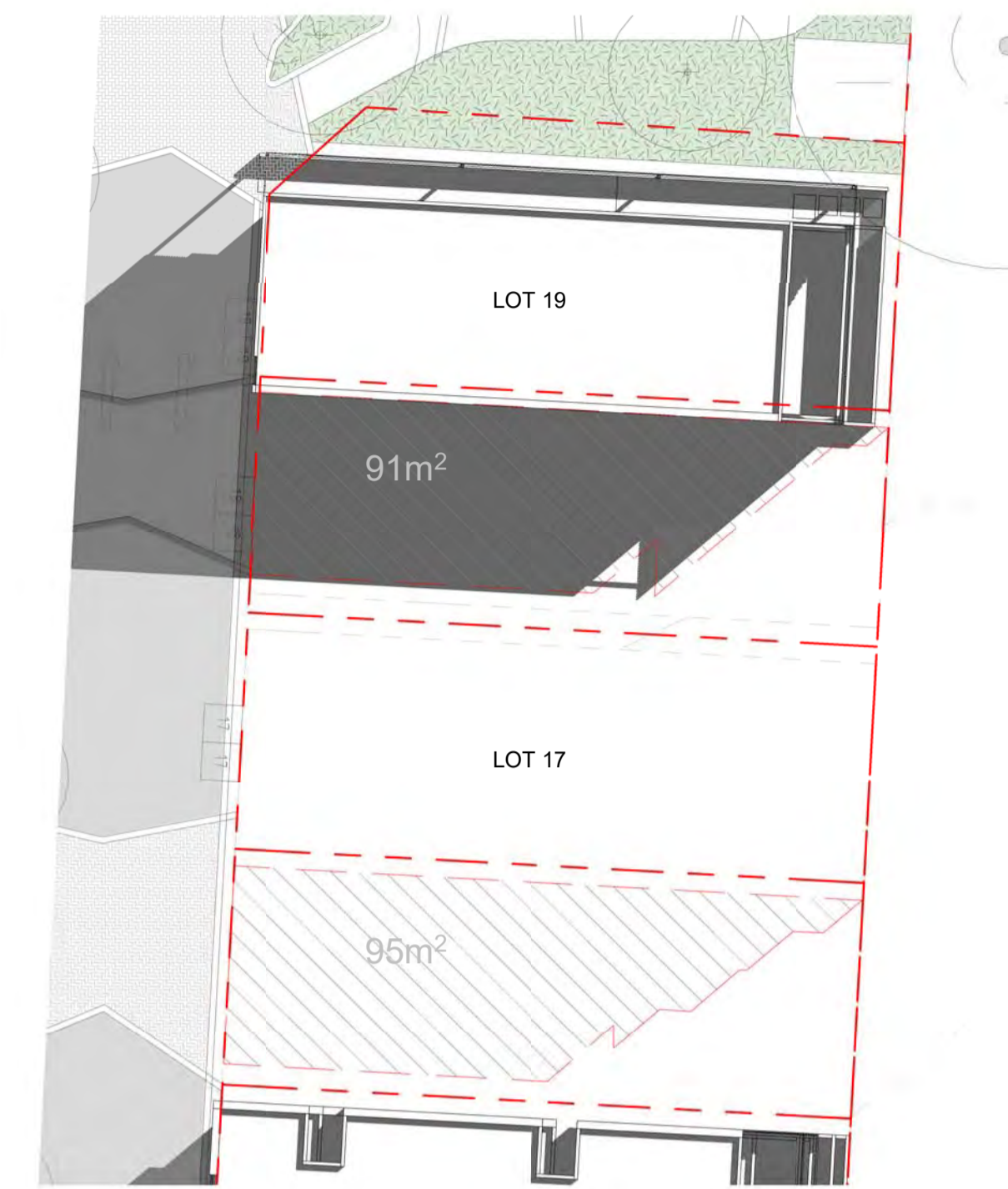
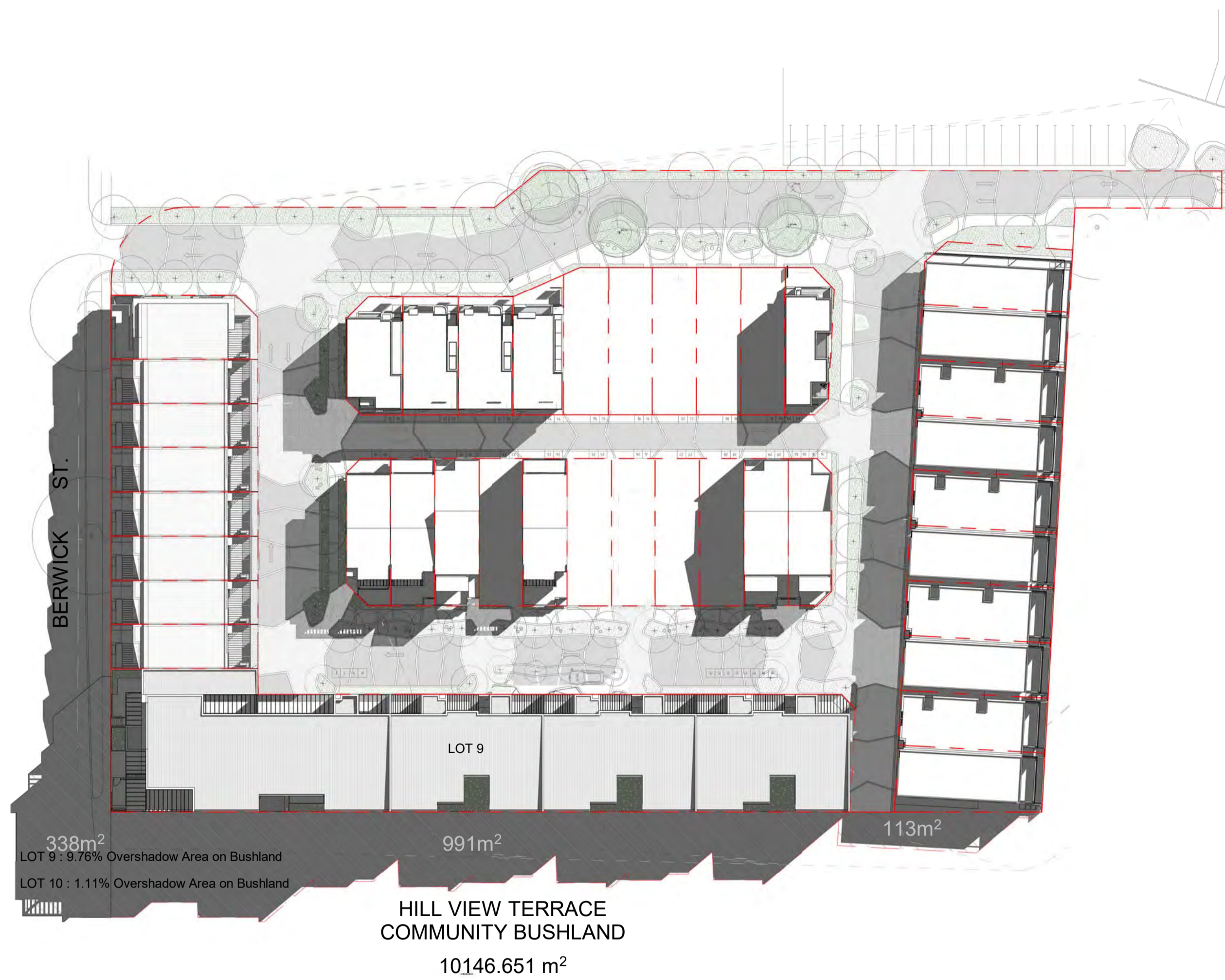
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17-May-2021



1 M2-M3 FORECOURT
1 : 25

LOT 367
LOT 369
LOT 371
LOT 373
LOT 375
LOT 377
LOT 379
LOT 381



LOT 19 : 60.6% Overshadow on LOT 18
LOT 17 : 63.3% Overshadow on LOT 16

**DEVELOPMENT
ASSESSMENT PANEL**

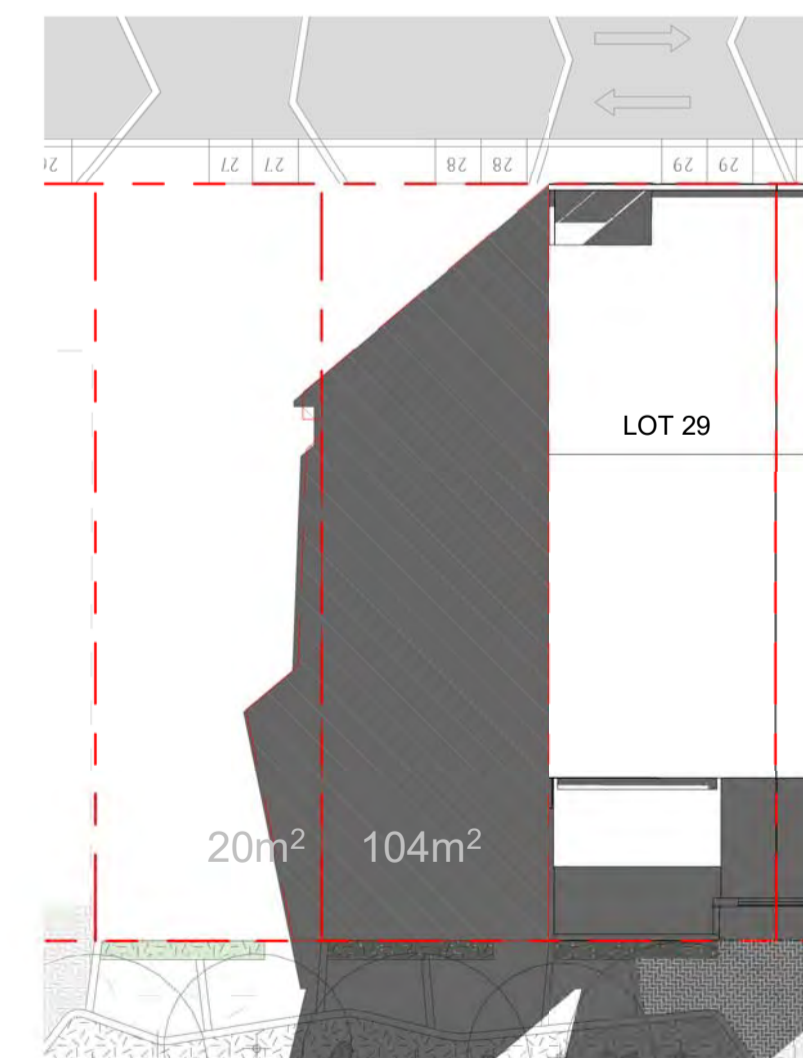
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17-May-2021

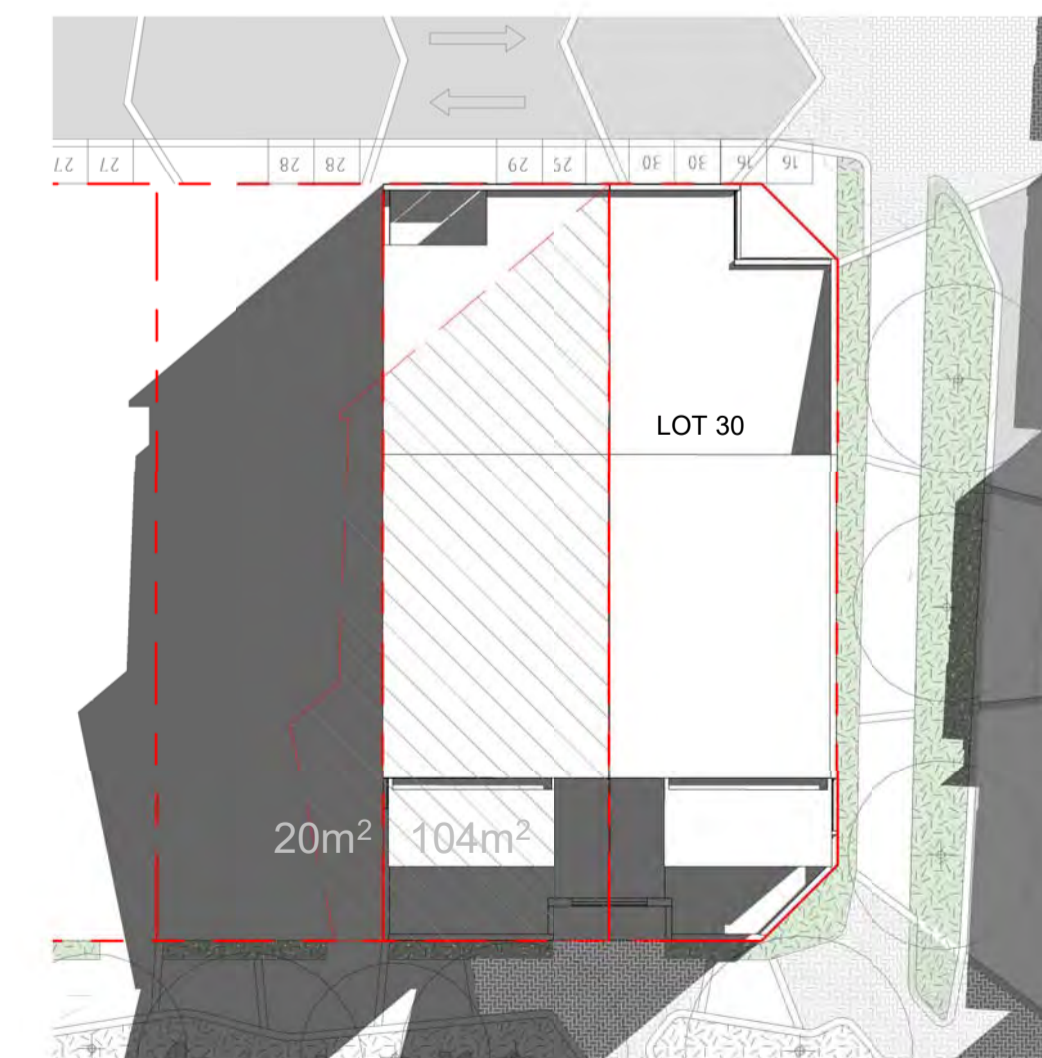


LOT 1 : 77.5% Overshadow on LOT 2
20% Overshadow on LOT 3

LOT 2 : 72.1% Overshadow on LOT 3
20% Overshadow on LOT 4



LOT 29 : 86.6% Overshadow on LOT 28
16.6% Overshadow on LOT 27



LOT 30 : 86.6% Overshadow on LOT 29
16.6% Overshadow on LOT 28



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1	08/10/2020	SITE OVERSHADOWS UPDATED
2	15/10/2020	UPDATED DA
3	15/01/2021	UPDATED FOR DA
4	22/04/2021	DRAWINGS UPDATED FOR DA

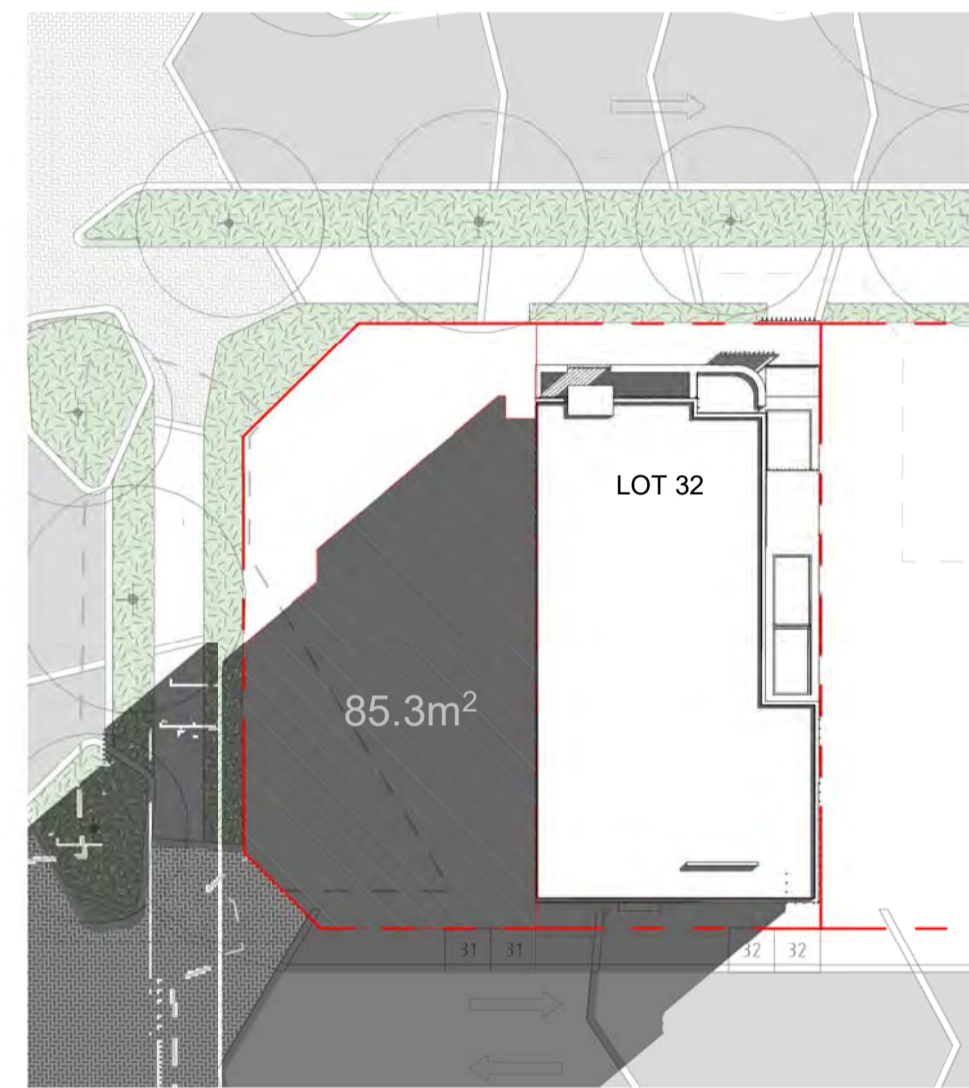
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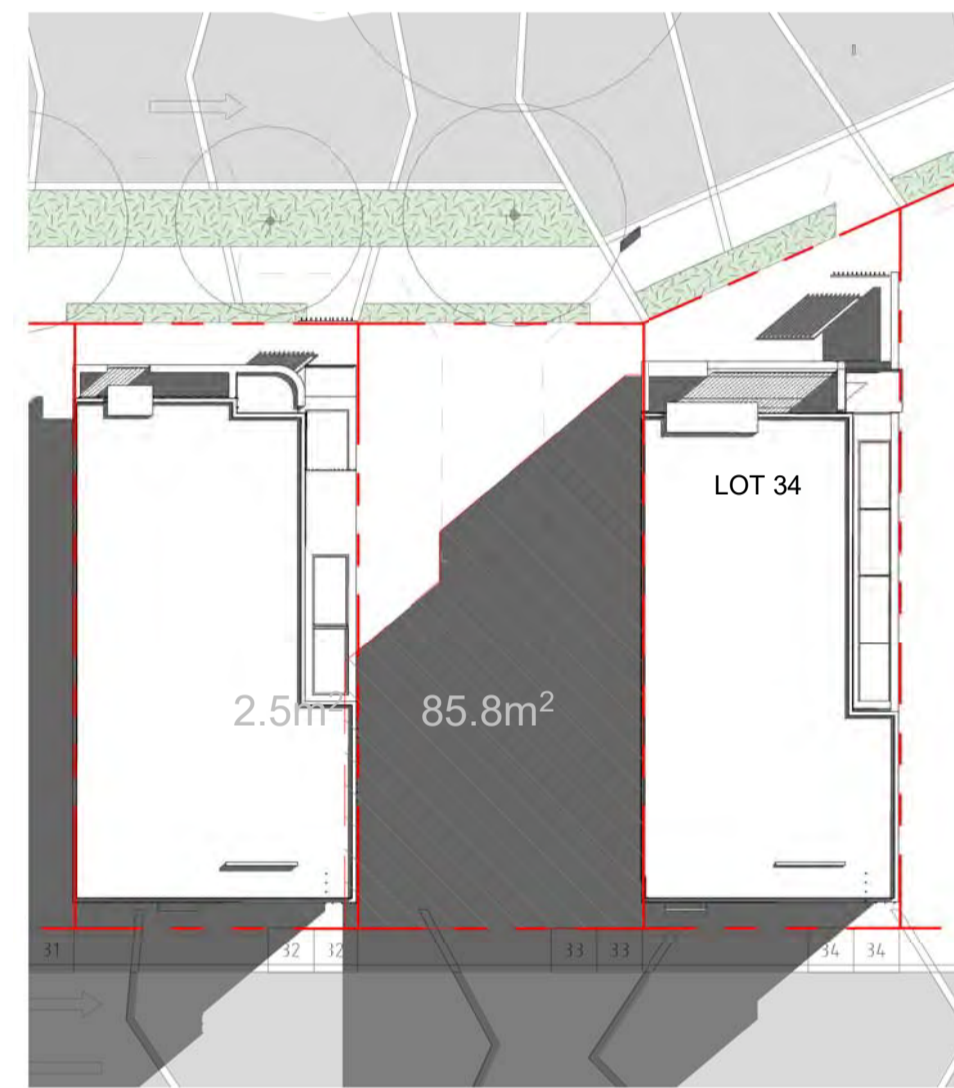
Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **SITE OVERSHADOWS**

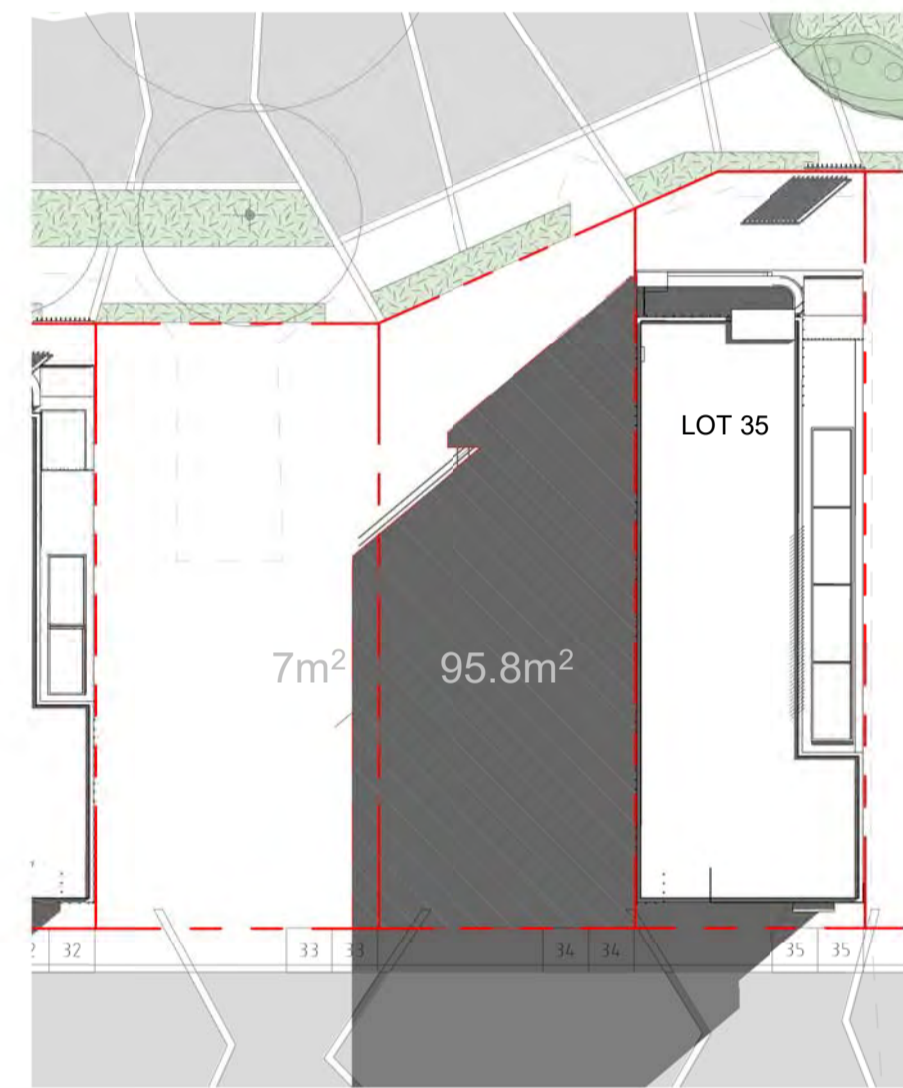
designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	As indicated	DG5	4



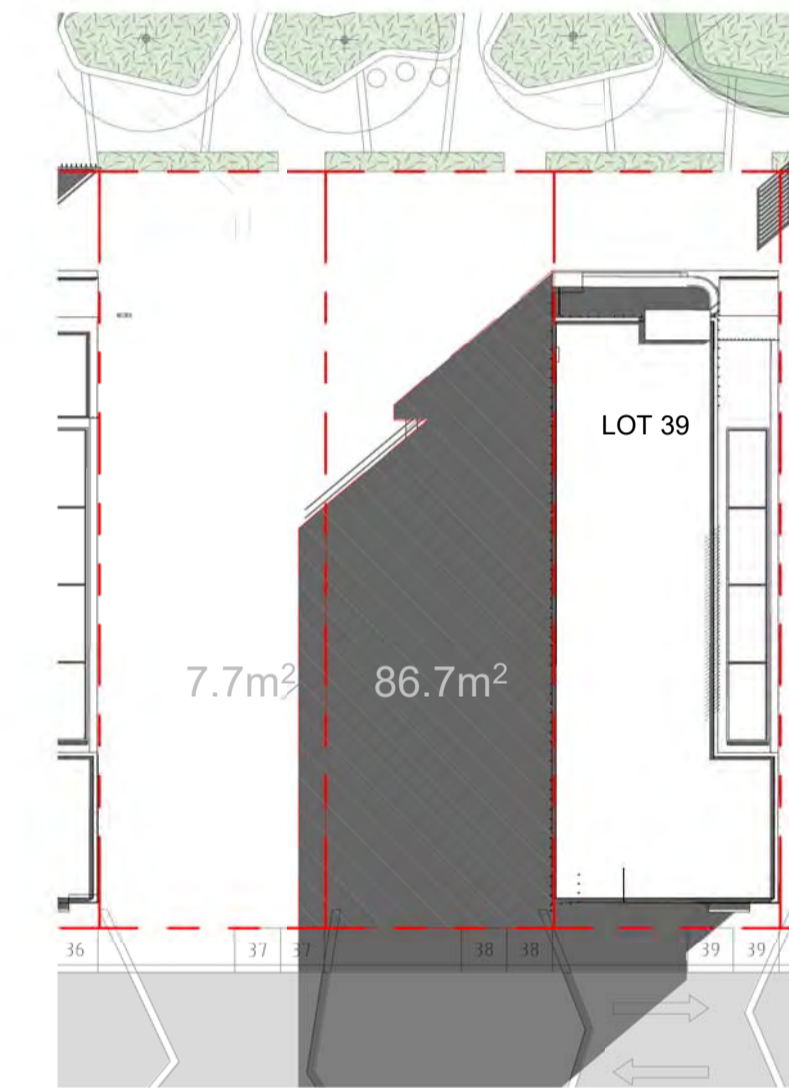
LOT 32 : 72.9% Overshadow on LOT 31



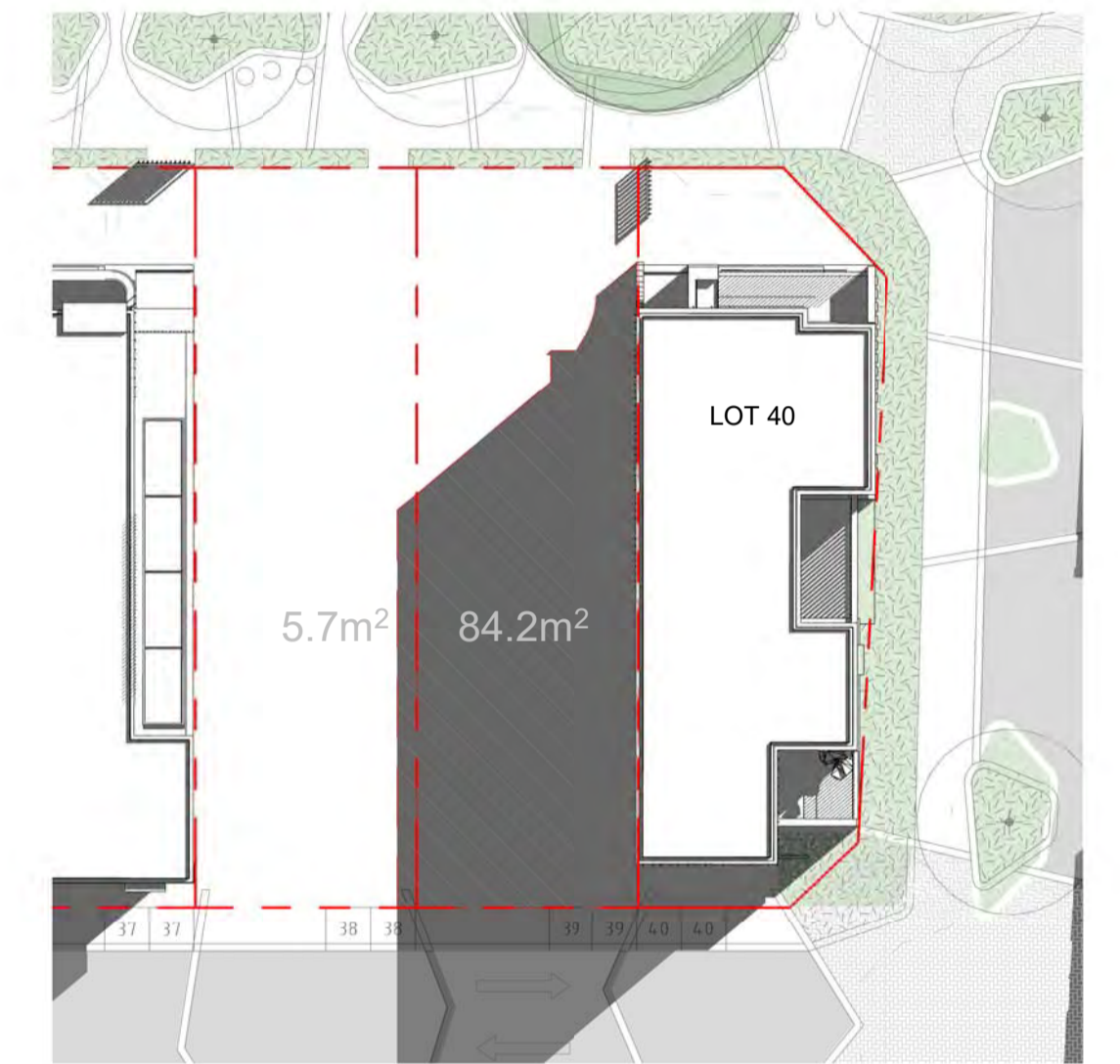
LOT 34 : 71.5% Overshadow on LOT 33
2% Overshadow on LOT 32



LOT 35 : 79.8% Overshadow on LOT 34
5.8% Overshadow on LOT 33



LOT 39 : 72.2% Overshadow on LOT 38
6.4% Overshadow on LOT 37



LOT 40 : 70.1% Overshadow on LOT 39
4.7% Overshadow on LOT 38

**DEVELOPMENT
ASSESSMENT PANEL**

APPROVED

17-May-2021

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0	08/10/2020	SITE OVERSHADOWS UPDATED
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2	15.01.2021	UPDATED FOR DA
3	22.04.2021	DRAWINGS UPDATED FOR DA

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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title:
SITE OVERSHADOWS

designed	Designer	date	Author	project no	scale	drawing no	rev
				20006	1 : 200	DG6	3



NOTES
 *BDY EXACT DIMENSION TBC
 REFER TO LANDSCAPE PLAN FOR LANDSCAPING
 DETAIL

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2	15/02/2020	UPDATED DA
3	15/01/2021	UPDATED FOR DA
4	19/04/2021	DRAWINGS UPDATED FOR COUNCIL
5	10/05/2021	ISSUED FOR JUMP CONSIDERATION

1 Site Plan
1 : 200

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17-May-2021

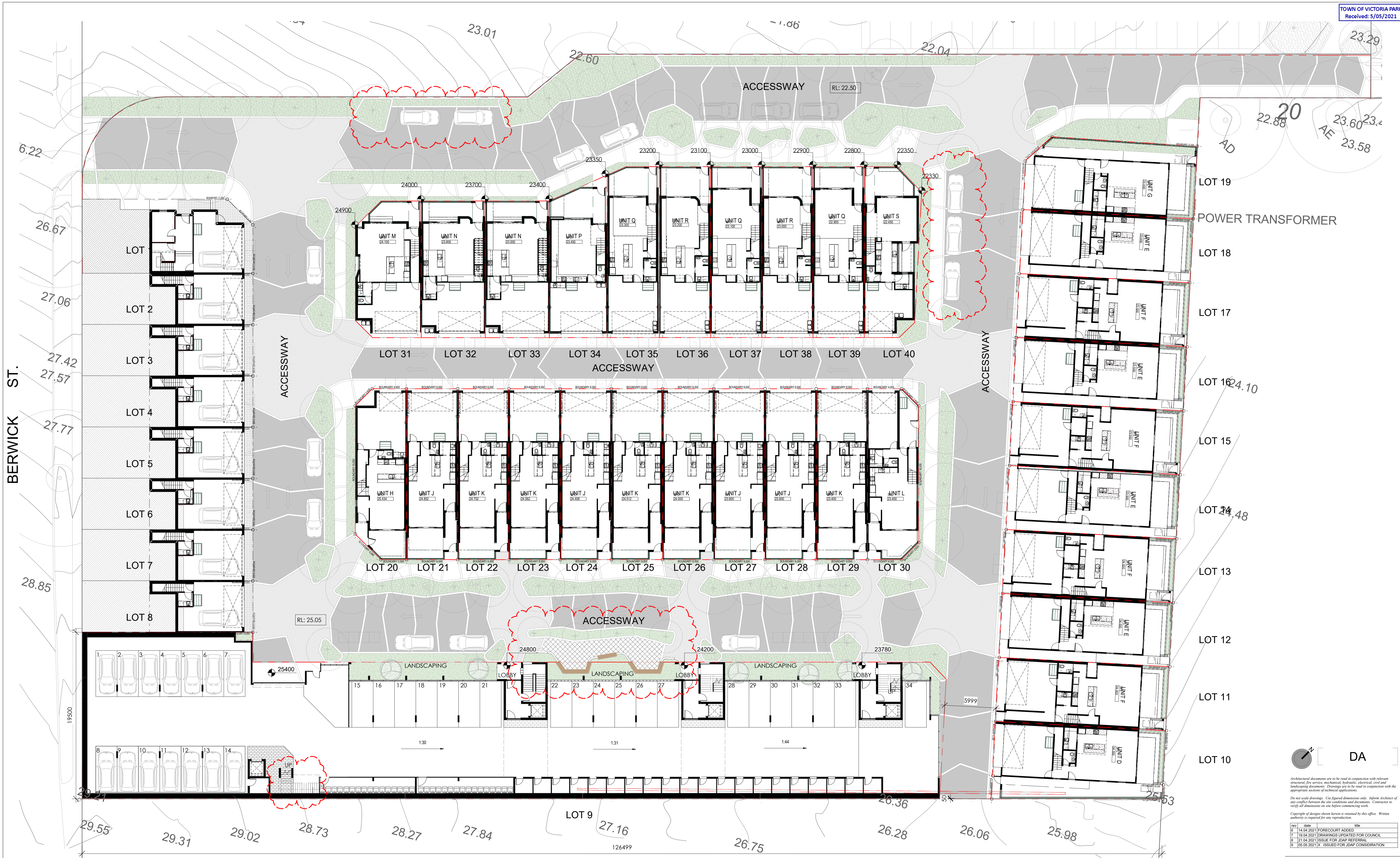
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Project: **HAMLEN- 384 EVP**
 Client: **HAMLEN**

Drawing Title: **SITE PLAN**

designed	Designer	date	Author	scale	drawing no	rev
2006	As indicated	A1.00	5			



**DEVELOPMENT
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17-May-2021

1 Site Ground Floor Plan
1 : 200

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6	14.04.2021	FORCOURT ADDDED
7	19.04.2021	DRAWINGS UPDATED FOR COUNCIL
8	21.04.2021	ISSUE FOR JMAP REFERRAL
9	16.05.2021	ISSUED FOR JMAP CONSIDERATION

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Project: HALEN- 384 EVP
Client: HALEN

Drawing Title: SITE GROUND FLOOR PLAN

designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
2006	1 : 200	A1.02	9



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6	21.04.2021	ISSUE FOR JMAP REFERRAL
7	05.05.2021	ISSUED FOR JMAP CONSIDERATION

**DEVELOPMENT
ASSESSMENT PANEL**

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17-May-2021

1 Site First Floor
1 : 200

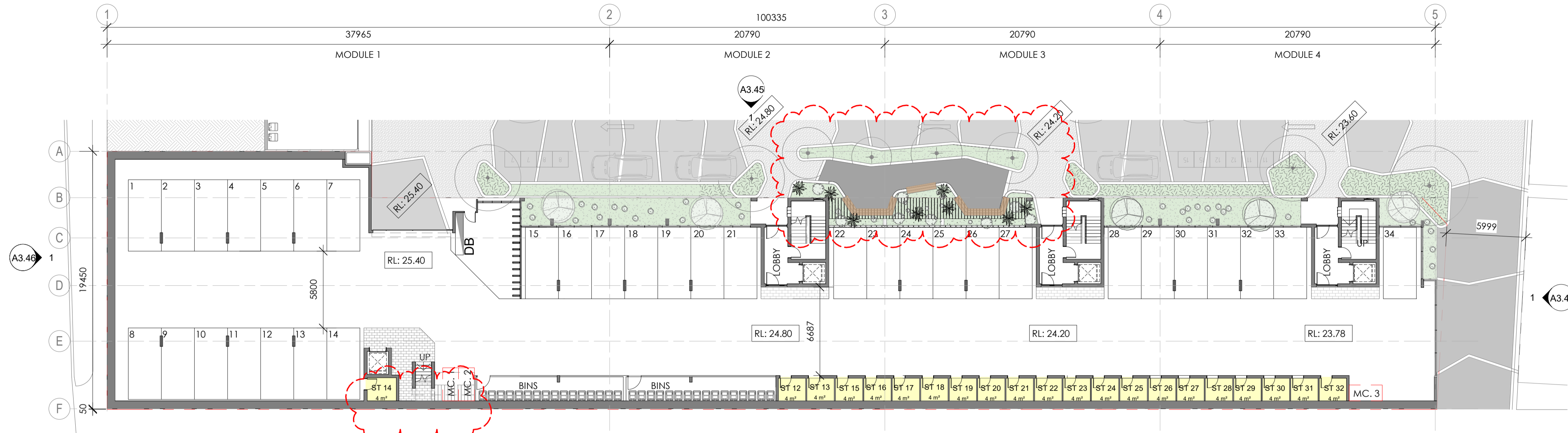
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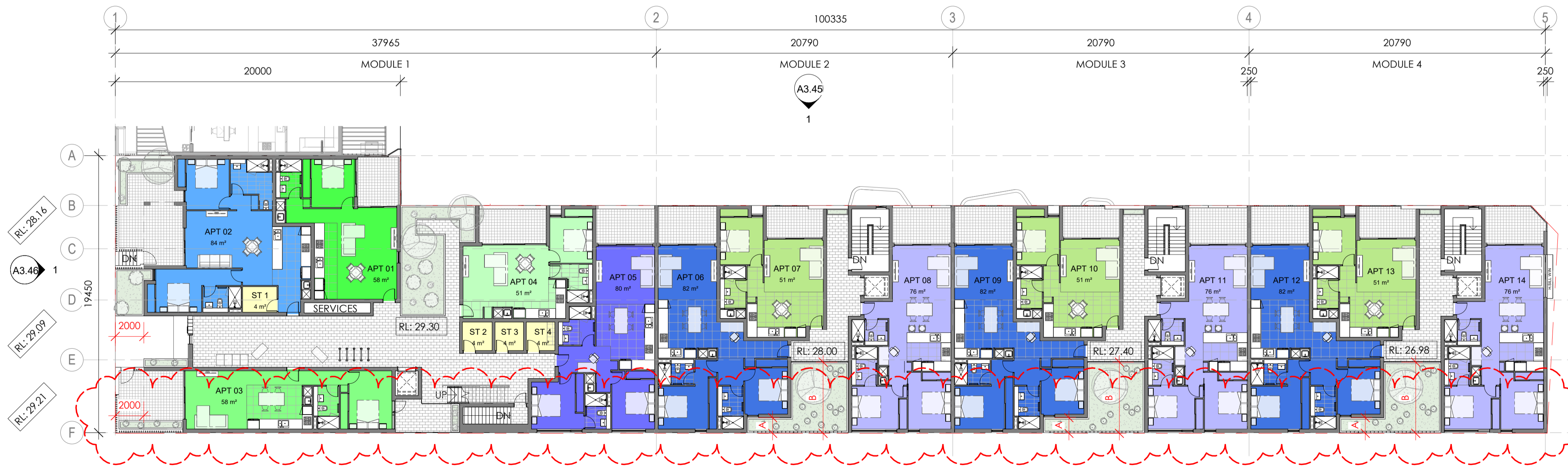
Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **SITE FIRST FLOOR PLAN**

designed	Designer	date	Author	scale	drawing no	rev
2006		1 : 200	A1	A1.03	7	



1 LOT 9 - GLEVEL - IANEWAY
1 : 200



2 LOT 9 - G. LEVEL - BERWICK ST.
1 : 200

LVL.	APT NO.	APT TYPE	COLOR CODE	AREA	LAYOUT	BALCONY AREA	P. BAYS	SL.
LEVEL 1	APT 01	M1 A	Green	58m ²	1X1	9.7m ²	1	
	APT 02	M1 B	Blue	84m ²	2X2	24.4m ²	1	X
	APT 03	M1 C	Green	58m ²	1X1	24m ²	1	
	APT 04	M1 D	Green	51m ²	1X1	11.1m ²	1	X
	APT 05	M1 E	Blue	80m ²	2X2	10.4m ²	1	X
	APT 06	M2 M3 M4 A	Blue	82m ²	2X2	10.8m ²	1	
	APT 07	M2 M3 M4 B	Green	51m ²	1X1	8.5m ²	1	
	APT 08	M2 M3 M4 C	Blue	76m ²	2X2	10.5m ²	1	
	APT 09	M2 M3 M4 A	Blue	82m ²	2X2	10.8m ²	1	
	APT 10	M2 M3 M4 B	Green	51m ²	1X1	8.1m ²	1	
	APT 11	M2 M3 M4 C	Blue	76m ²	2X2	10.5m ²	1	
	APT 12	M2 M3 M4 A	Blue	82m ²	2X2	10.8m ²	1	
	APT 13	M2 M3 M4 B	Green	51m ²	1X1	8.1m ²	1	
	APT 14	M2 M3 M4 C	Blue	76m ²	2X2	10.5m ²	1	
LEVEL 2	APT 15	M1 A	Green	58m ²	1X1	9.7m ²	1	
	APT 16	M1 B2	Blue	88m ²	2X2	11.8m ²	1	X
	APT 17	M1 C2	Pink	81m ²	2X2	11.3m ²	1	
	APT 18	M1 D	Green	51m ²	1X1	12m ²	1	X
	APT 19	M1 E	Blue	80m ²	2X2	10.8m ²	1	X
	APT 20	M2 M3 M4 A	Blue	82m ²	2X2	10.8m ²	1	
	APT 21	M2 M3 M4 B	Green	51m ²	1X1	9m ²	1	
	APT 22	M2 M3 M4 C	Blue	76m ²	2X2	10.8m ²	1	
	APT 23	M2 M3 M4 A	Blue	82m ²	2X2	10.8m ²	1	
	APT 24	M2 M3 M4 B	Green	51m ²	1X1	9m ²	1	
	APT 25	M2 M3 M4 C	Blue	76m ²	2X2	10.8m ²	1	
	APT 26	M2 M3 M4 A	Blue	82m ²	2X2	10.8m ²	1	
	APT 27	M2 M3 M4 B	Green	51m ²	1X1	9m ²	1	
	APT 28	M2 M3 M4 C	Blue	76m ²	2X2	10.5m ²	1	
LEVEL 3	APT 29	M1 H	Blue	89m ²	2X2	17.5m ²	2	
	APT 30	M1 G	Yellow	90m ²	2X2	17.8m ²	1	
	APT 31	M1 F	Purple	88m ²	2X2	26m ²	2	X
	APT 32	M1 E2	Red	81m ²	2X2	10.8m ²	1	X
				2289m ²	387.4m ²	34	8	

Total Areas With Balconies : 2676.4m²

Total Car bays : 34

Total Bicycle bays: 16 - Resident
3 - Visitor

PLOT RATIO	
LEVEL 1	1065.5m ²
LEVEL 2	1093.3m ²
LEVEL 3	386.2m ²

LOT 9 AREA: 1682.3m² 2544.7m²

SETBACK A : 1100mm

SETBACK B : 5000mm

SETBACK C : 2400mm

SETBACK D : 2550mm

DEVELOPMENT ASSESSMENT PANEL

APPROVED

17-May-2021

DA

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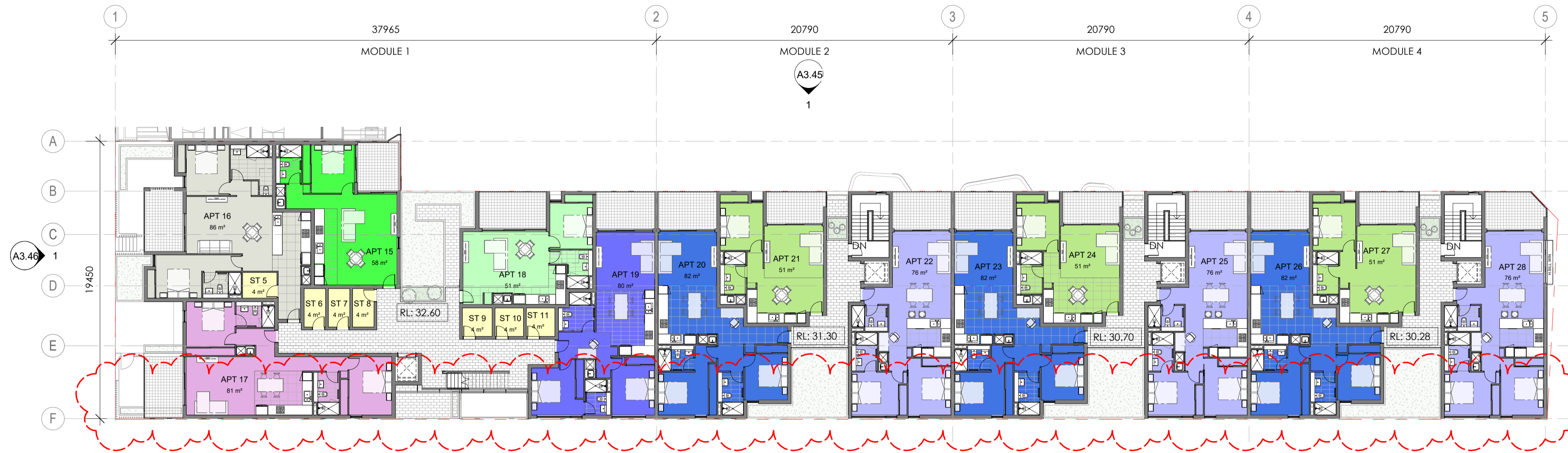
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p: (08) 9316 0531
f: (08) 9316 0498
w: www.mandsarchitecture.com.au

Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **LOT 9 G & 1 FLOOR PLANS**

designed	Designer	date	Author	project no	scale	drawing no	rev
						2006	As indicated

A2.44 10



1 LOT 9 - LVL 2
1 : 200



2 LOT 9 - LVL 3
1 : 200

SETBACK A : 2400mm
SETBACK B : 2550mm
SETBACK C : 1100mm
SETBACK D : 5000mm



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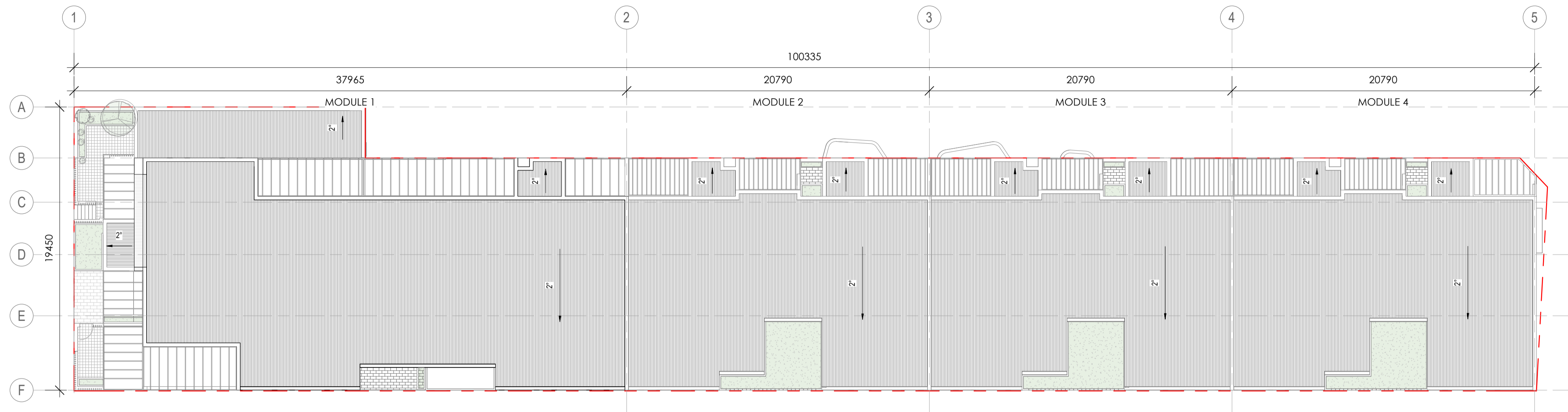
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ASSESSMENT PANEL**

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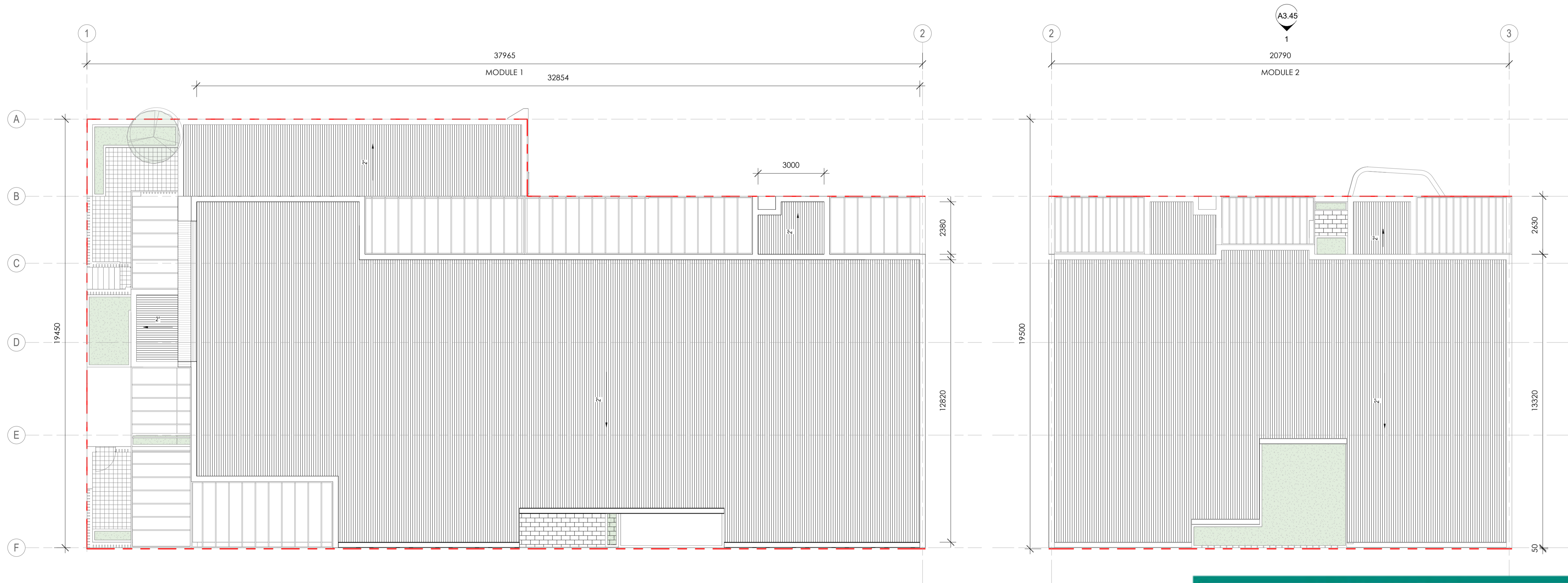
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Project	HAMLEN- 384 EVP		
Client	HAMLEN		
Drawing Title	LOT 9 2 & 3 FLOOR PLANS		
designed	Designer	date	Author
project no	scale	drawing no	rev
20006	1 : 200	A2.45	9



1 LOT 9 ROOF PLAN
1 : 200



2 LOT 9 - M1 ROOF PLAN
1 : 100

3 LOT 9 - M2 ROOF PLAN
1 : 100

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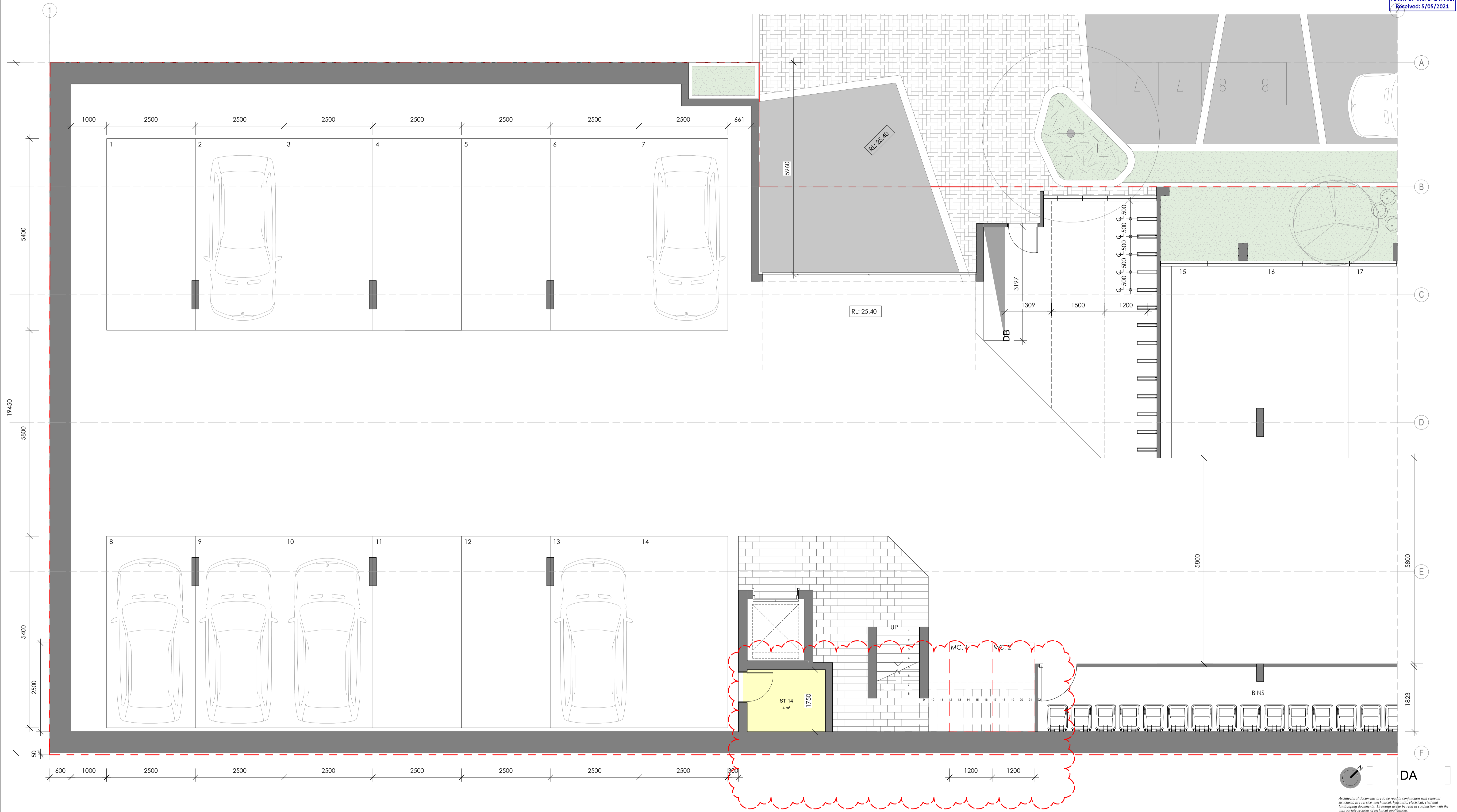
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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **LOT 9 ROOF PLAN**

designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	As indicated	A2.46	7



1 MODULE 1 - LANEWAY
1 : 50

**DEVELOPMENT
ASSESSMENT PANEL**

APPROVED

17-May-2021

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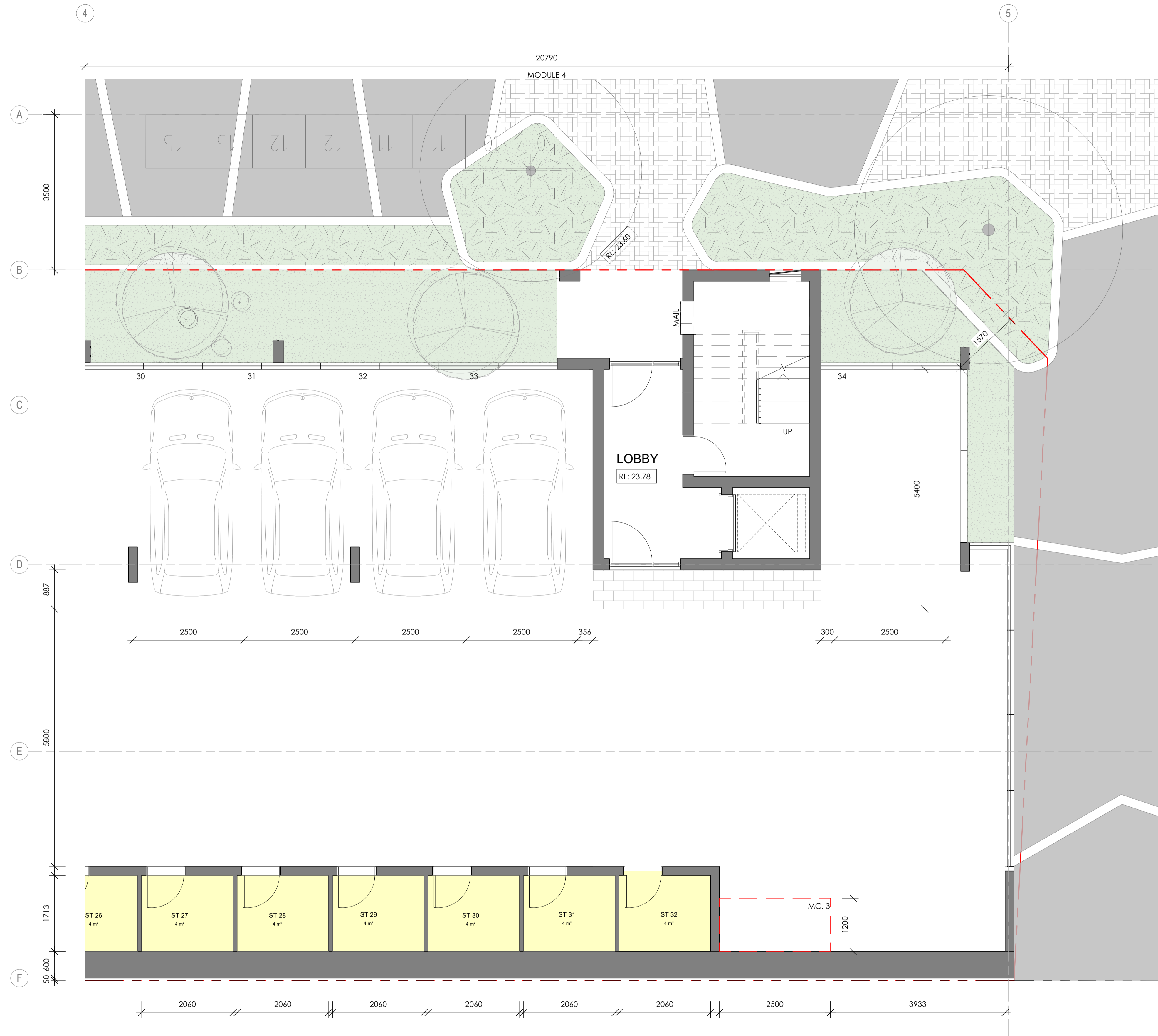
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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **LOT 9 MODULE 1 . LANEWAY**

designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	1 : 50	A2.47	7



1 MODULE 4 - LANEWAY
1 : 50

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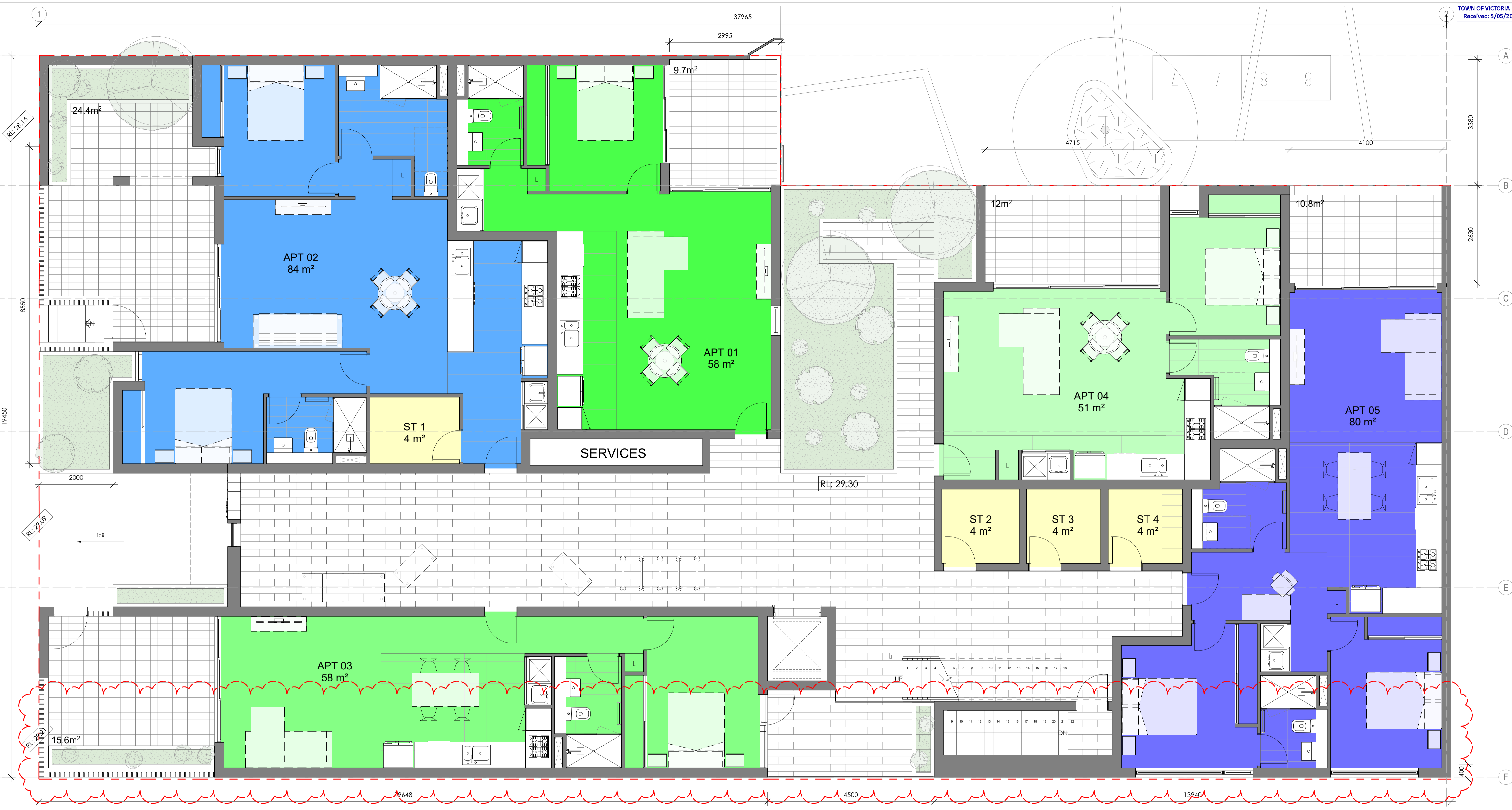
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Project	HAMLEN- 384 EVP		
Client	HAMLEN		
Drawing Title	LOT 9 MODULE 4 . LANEWAY		
designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	1 : 50	A2.48	7



1 MODULE 1 - LVL 1
1 : 50

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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title:
LOT 9 MODULE 1 . LVL 1

designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	1 : 50	A2.49	9



1 Module 1 - Lvl 2
1 : 50

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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title:
LOT 9 MODULE 1 . LVL 2

designed	Designer	date	Author	scale	drawing no	rev
2006		1 : 50	A1	A2.50	7	



1 Module 1 - lvl3
1 : 50

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Project: **HAMLEN- 384 EVP**

Client: **HAMLEN**

Drawing Title: **LOT 9 MODULE 1 . LVL 3**

designed	Designer	date	Author	scale	drawing no	rev
2006		1 : 50	A1	A2.51	7	



1 MODULE 2 - TYPICAL - LVL 1
1 : 50

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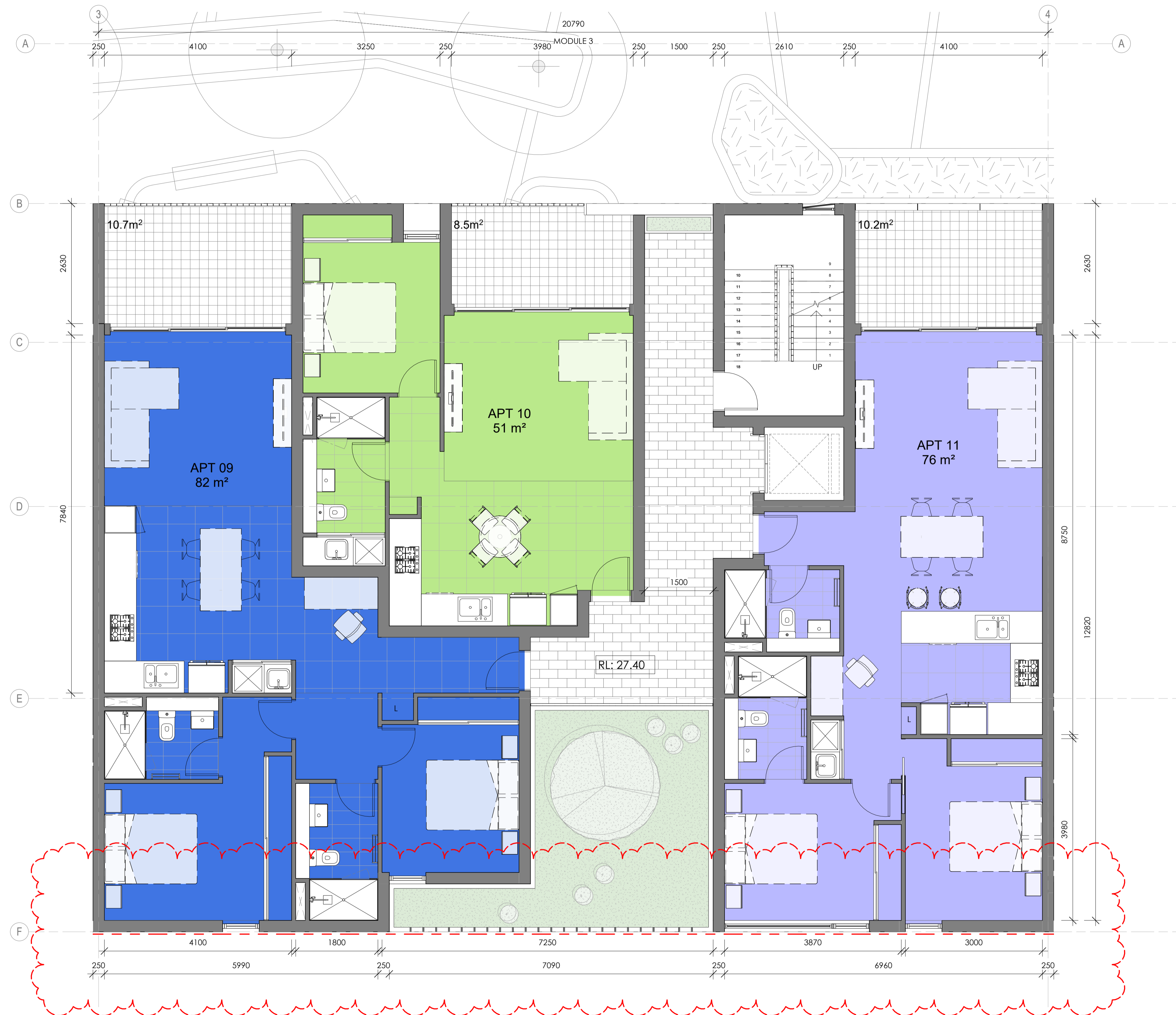
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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **LOT 9 MODULE 2 - TYPICAL**

designed	Designer	date	Author	scale	drawing no	rev
2006		1 : 50	A1	A2.52	7	



1 MODULE 3 - TYPICAL - LVL 1
1 : 50

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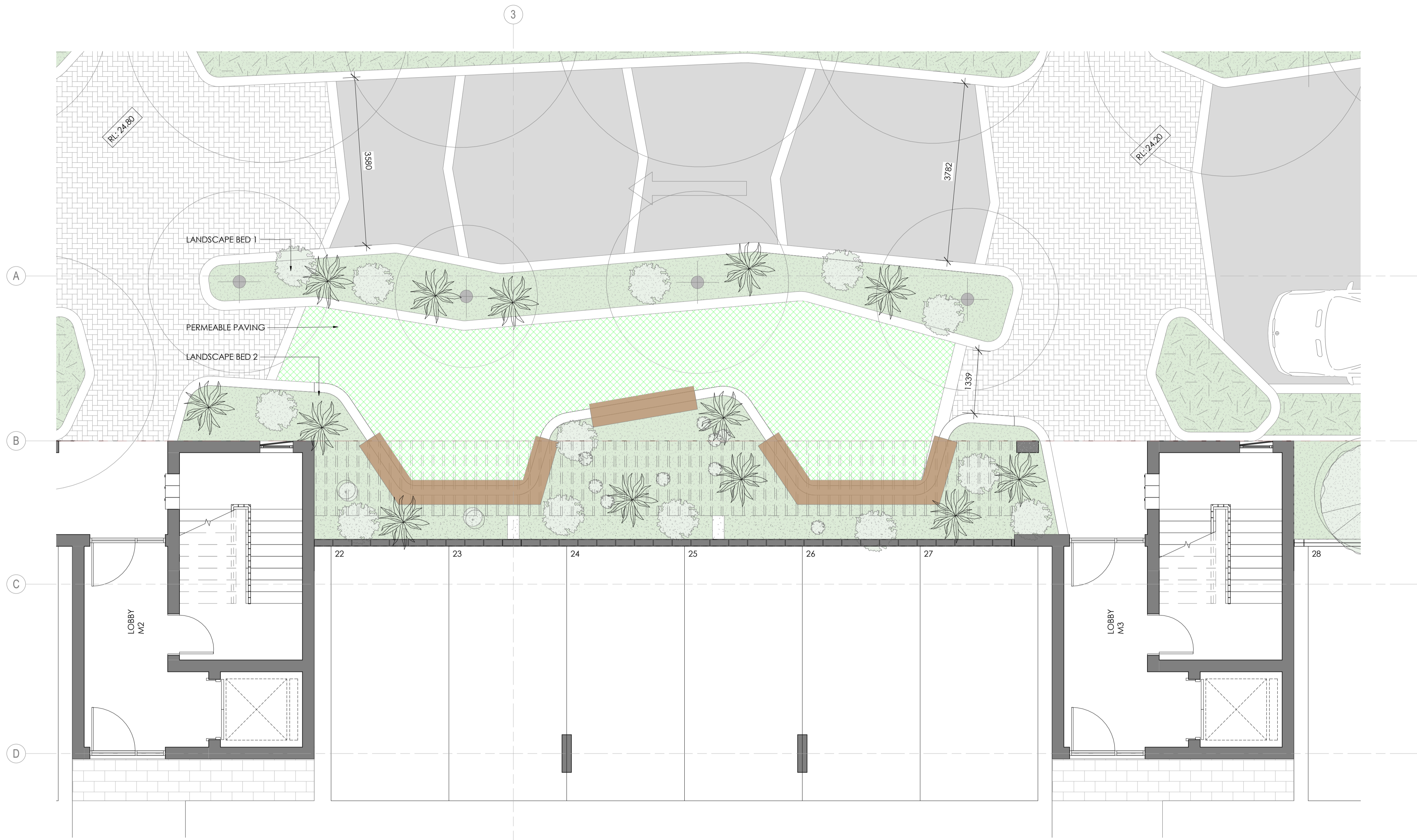
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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **LOT 9 MODULE 3 - TYPICAL**

designed	Designer	date	Author	scale	drawing no	rev
2006		1 : 50	A1	A2.53	7	



1 LOT 9 - LANEWAY FORECOURT
1 : 50

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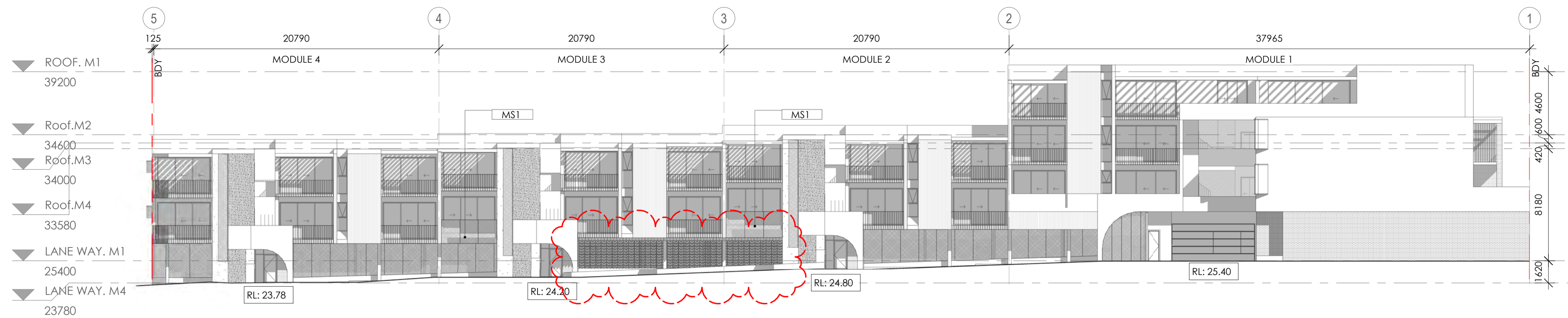
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Client: **HAMLEN**

Drawing Title:
LOT 9 - FORECOURT PLAN

designed	Designer	date	Author	project no	scale	drawing no	rev
				20006	1 : 50	A1	A2.55 3



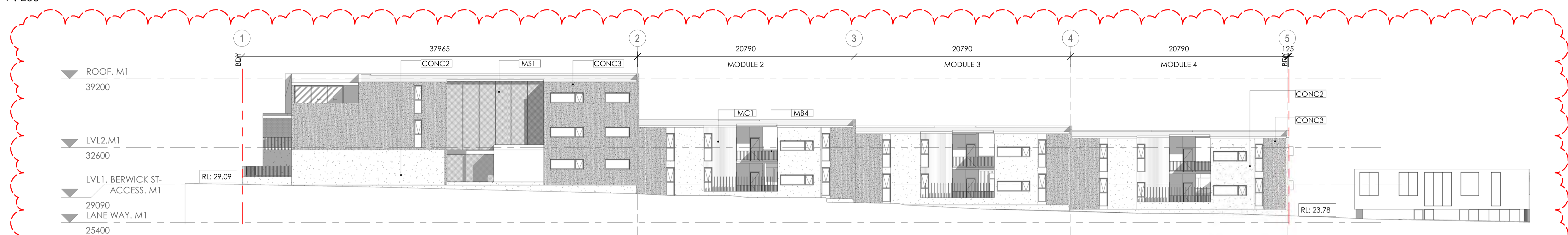
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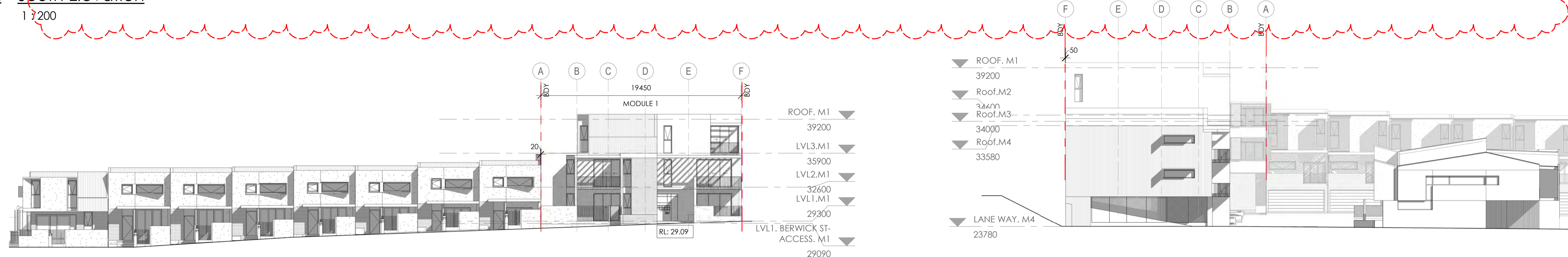
1 North Elevation - Lane Way

1 : 200



2 South Elevation

1 : 200



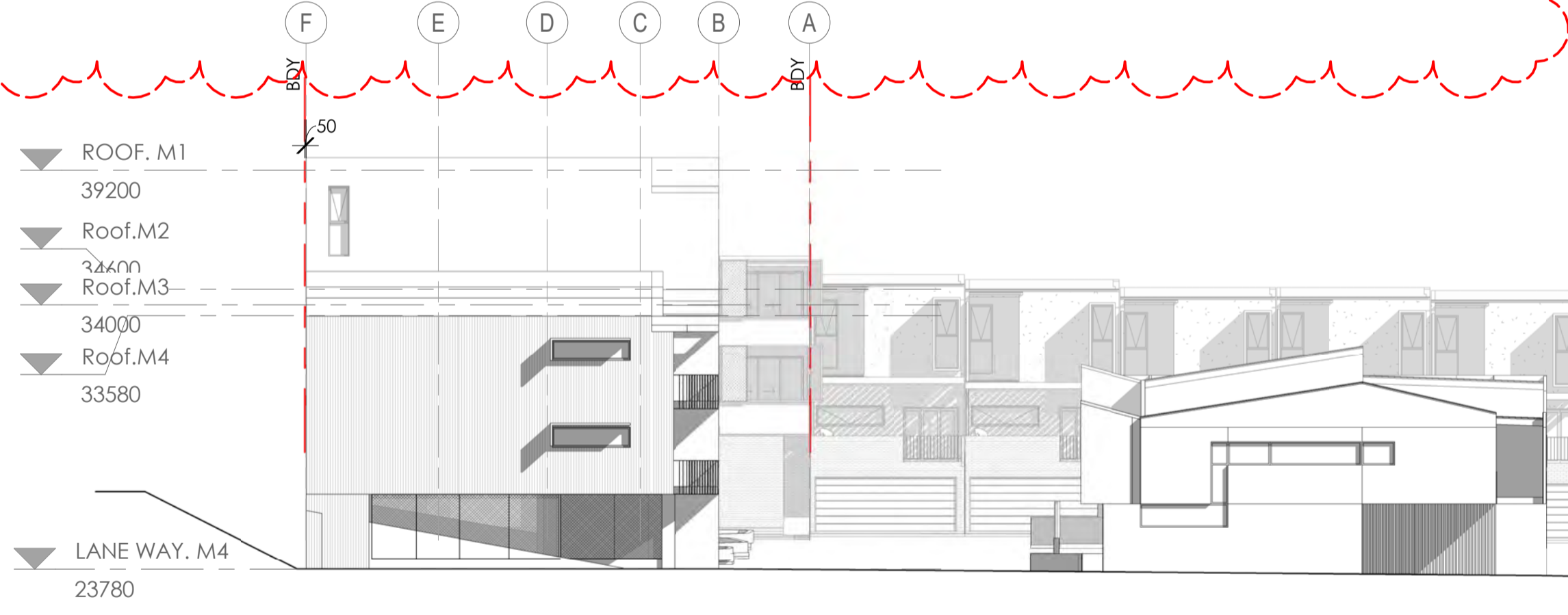
3 West Elevation - Berwick St.

1 : 200



4 East Elevation - Lane Way

1 : 200



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4	08.04.2021	UPDATED PLANS & ELEVATIONS
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 <p>MC1 Black James Hardie Scyon cladding or similar to external wall / roof.</p>	 <p>MC2 White James Hardie Scyon cladding or similar to external wall / roof.</p>	 <p>BW3 Lithium Astral brickwork or similar to front elevation walls.</p>	 <p>MB4 Black steel infill balustrade or similar to front street elevation.</p>	 <p>RN5 Dulux Whipser White to external walls or similar.</p>	 <p>RN6 Dulux Monument to external walls or similar.</p>	 <p>CONC2 Smooth Finish Precast concrete to external wall or similar.</p>	 <p>CONC3 Textured Finish Precast concrete to external wall or similar.</p>	 <p>MS1 Champagne Pattern Perforated metal sheets to exterior/balconies or similar.</p>
--	--	--	---	--	---	--	--	--



Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **LOT 9 ELEVATIONS**

designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	As indicated	A3.45	6

**DEVELOPMENT
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1 M1- BERWICH ST.
1 : 50

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Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title: **LOT 9 ELEVATIONS**

designed	Designer	date	Author	scale	drawing no	rev
2006	As indicated			A3.46		6



MC1
Black James Hardie Scyon cladding or similar to external wall / roof.



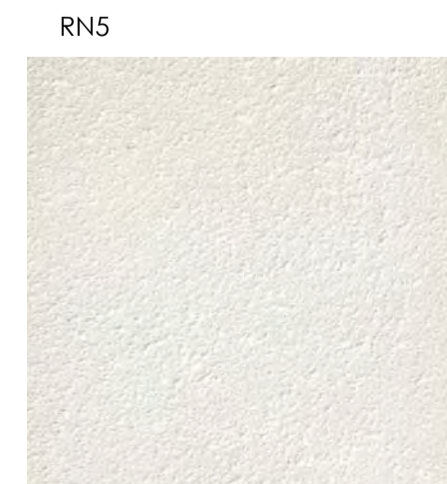
MC2
White James Hardie Scyon cladding or similar to external wall / roof.



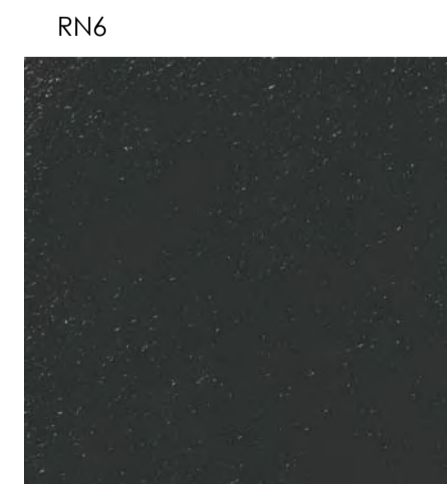
BW3
Lithium Astral brickwork or similar to front elevation walls.



MB4
Black steel infill balustrade or similar to front street elevation.



RN5
Dulux Whisper White to external walls or similar.



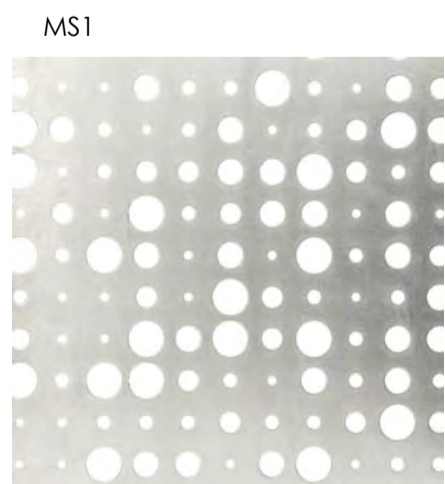
RN6
Dulux Monument to external walls or similar.



CONC2
Smooth Finish Precast concrete to external wall or similar.



CONC3
Textured Finish Precast concrete to external wall or similar.

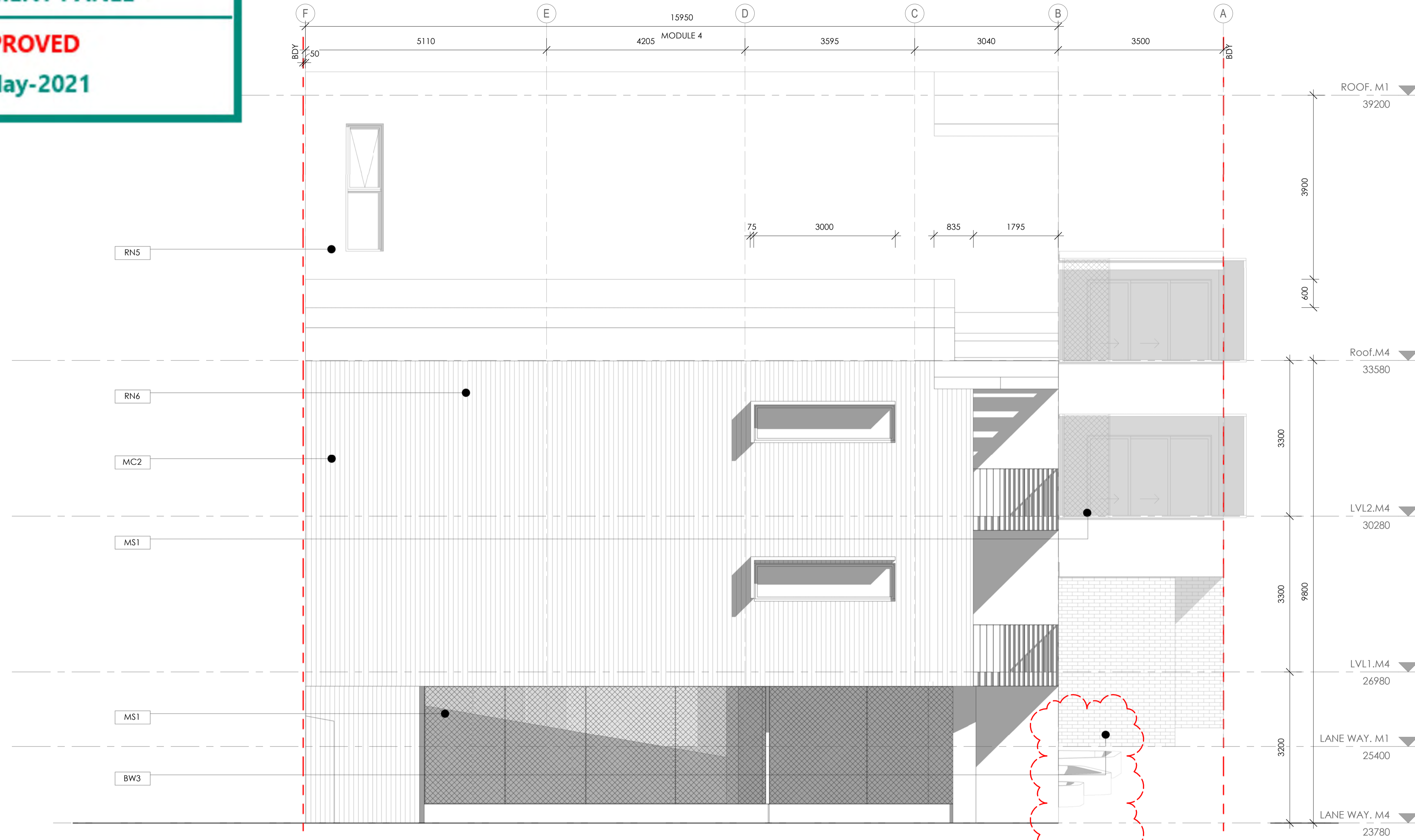


MS1
Champagne Pattern Perforated metal sheets to exterior/balconies or similar.

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17-May-2021



1 M4 - East Elevation
1 : 50

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MC1
Black James Hardie Scyon cladding or similar to external wall / roof.



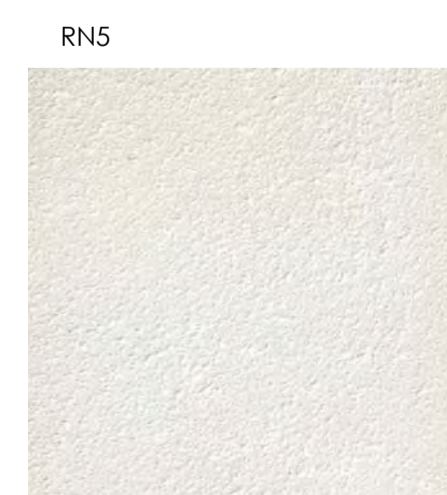
MC2
White James Hardie Scyon cladding or similar to external wall / roof.



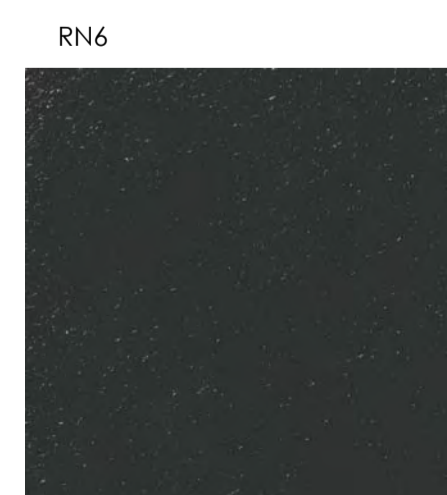
BW3
Lithium Astral brickwork or similar to front elevation walls.



MB4
Black steel infill balustrade or similar to front street elevation.



RN5
Dulux Whipser White to external walls or similar.



RN6
Dulux Monument to external walls or similar.



CONC2
Smooth Finish Precast concrete to external wall or similar.



CONC3
Textured Finish Precast concrete to external wall or similar.



MS1
Champagne Pattern Perforated metal sheets to exterior/balconies or similar.



Project: HAMLLEN- 384 EVP
Client: HAMLLEN

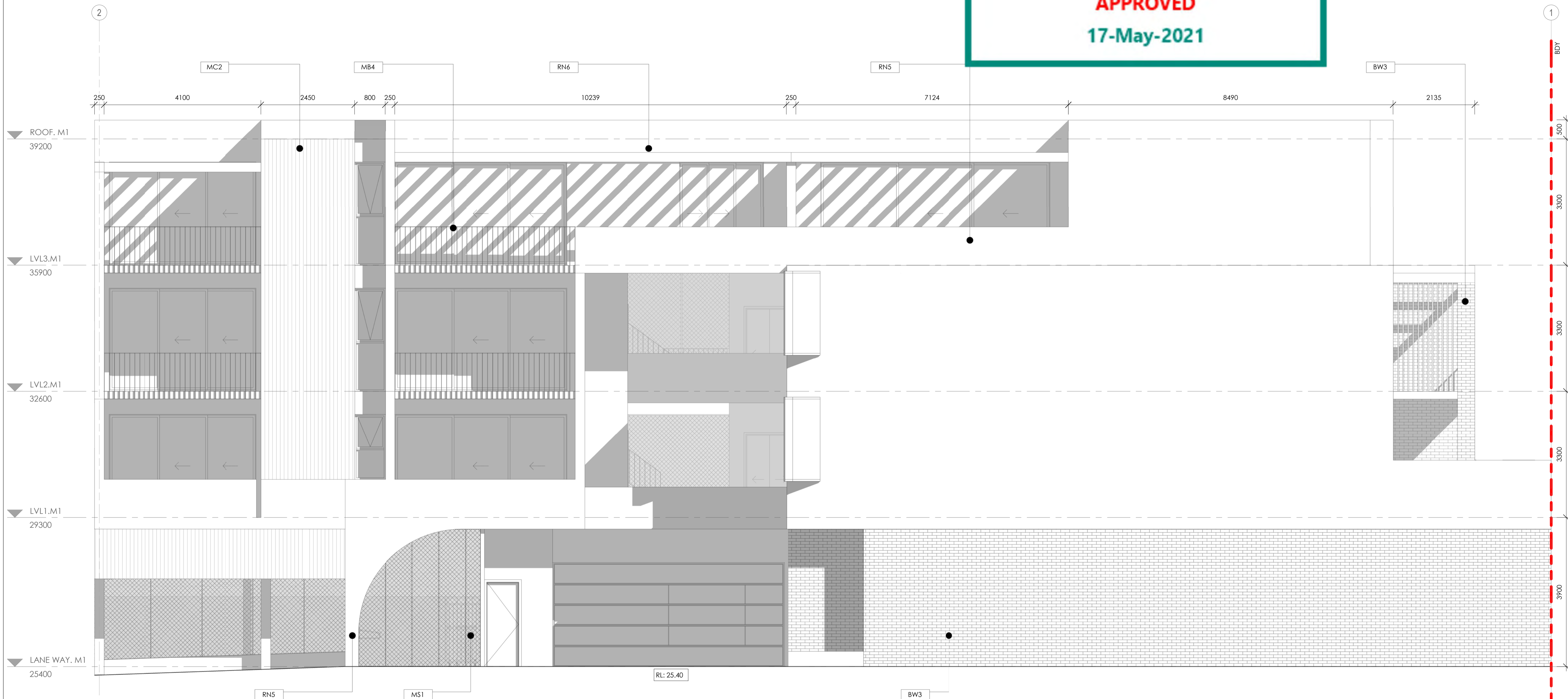
Drawing Title: LOT 9 ELEVATIONS

designed	Designer	date	Author	scale	drawing no	rev
2006	As indicated	A1	A3.47	6		

DEVELOPMENT ASSESSMENT PANEL

APPROVED
17-May-2021

TOWN OF VICTORIA PARK
Received: 5/05/2021



1 M1 - Laneway Elevation
1 : 50

DA

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rev	date	title
3	18.04.2021	UPDATED PLANS & ELEVATIONS
4	19.04.2021	DRAWINGS UPDATED FOR COUNCIL
5	21.04.2021	ISSUE FOR JMAP REFERRAL
6	16.05.2021	ISSUED FOR JMAP CONSIDERATION



MC1
Black James Hardie Scyon cladding or similar to external wall / roof.



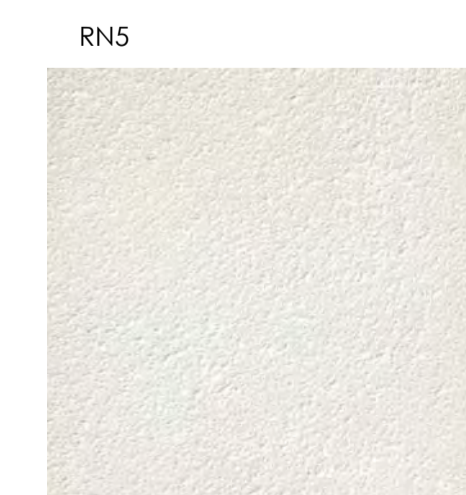
MC2
White James Hardie Scyon cladding or similar to external wall / roof.



BW3
Lithium Astral brickwork or similar to front elevation walls.



MB4
Black steel infill balustrade or similar to front street elevation.



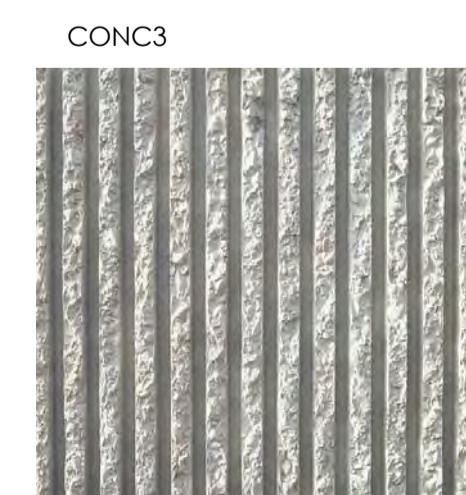
RN5
Dulux Whipser White to external walls or similar.



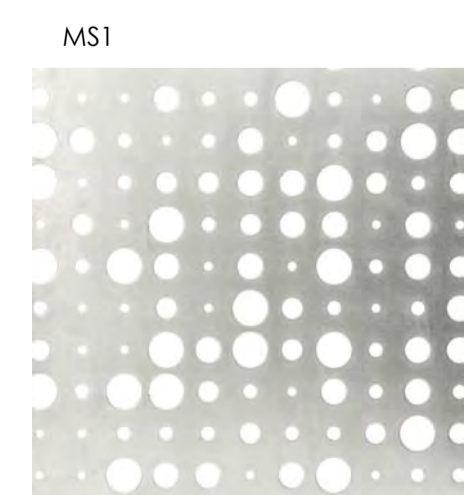
RN6
Dulux Monument to external walls or similar.



CONC2
Smooth Finish Precast concrete to external wall or similar



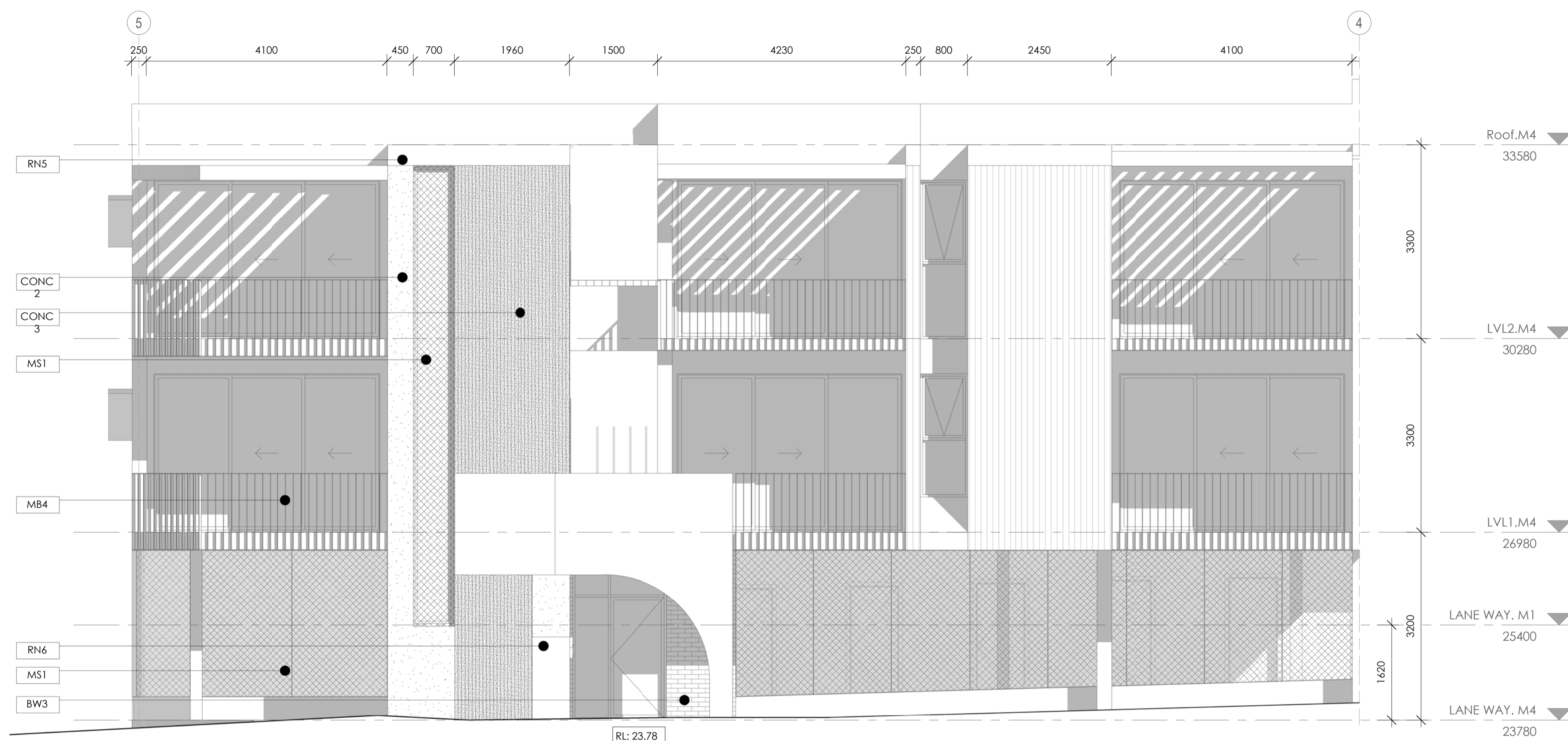
CONC3
Textured Finish Precast concrete to external wall or similar



MS1
Champagne Pattern Perforated metal sheets to exterior/balconies or similar



Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**
Drawing Title: **LOT 9 ELEVATIONS**
designed: Designer
date: Author
project no: 20006
scale: As indicated
drawing no: A3.48
rev: 6



1 M4 - Laneway Elevation
1 : 50

DA

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3	08.04.2021	UPDATED PLANS & ELEVATIONS
4	19.04.2021	DRAWINGS UPDATED FOR COUNCIL
5	21.04.2021	ISSUE FOR JMAP REFERRAL
6	05.05.2021	ISSUED FOR JMAP CONSIDERATION



MC1
Black James Hardie Scyon cladding or similar to external wall / roof.



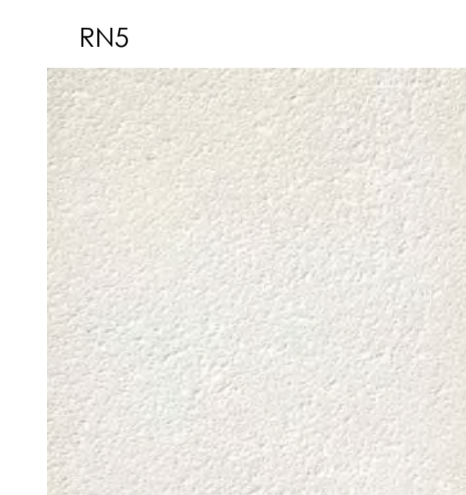
MC2
White James Hardie Scyon cladding or similar to external wall / roof.



BW3
Lithium Astral brickwork or similar to front elevation walls.



MB4
Black steel infill balustrade or similar to front street elevation.



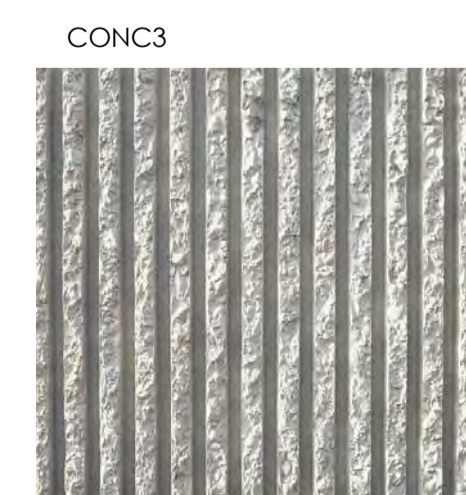
RN5
Dulux Whipser White to external walls or similar.



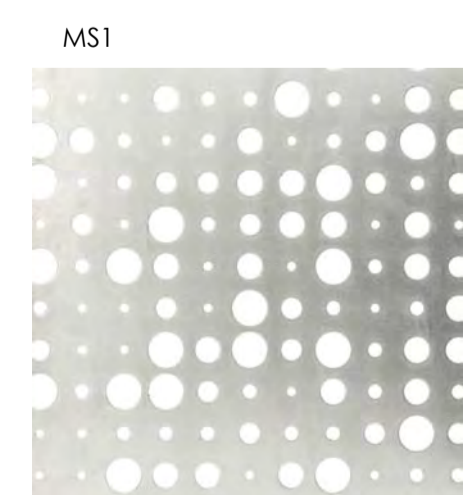
RN6
Dulux Monument to external walls or similar.



CONC2
Smooth Finish Precast concrete to external wall or similar.



CONC3
Textured Finish Precast concrete to external wall or similar.



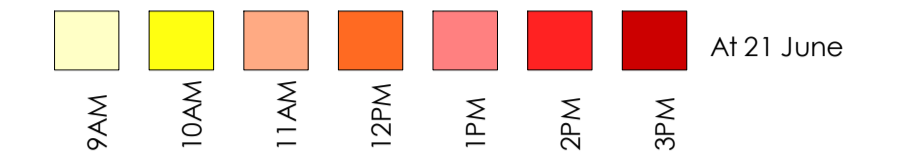
MS1
Champagne Pattern Perforated metal sheets to exterior/balconies or similar.



Project: HAMLIN- 384 EVP
Client: HAMLIN

Drawing Title: LOT 9 ELEVATIONS

designed	Designer	date	Author	project no	scale	drawing no	rev
				20006	As indicated	A3.49	6



MODULES 2, 3, 4 TYPICAL

APT TYPE	DIRECT SUN HRS PER APARTMENT
APT M1A	1 7hrs
APT M1B	1 0hrs
APT M1C	1 1hrs
APT M1D	1 6hrs
APT M1E	1 6hrs
APT M1E2	1 6hrs
APT M1F	1 6hrs
APT M1G	1 6hrs
APT M1H	1 6hrs
APT M1,M2,M3 A	1 6hrs
APT M1,M2,M3 B	1 6hrs
APT M1,M2,M3 C	1 6hrs

1 LVL 1 M1+M2 DAYLIGHT

1 : 100

LOT 9 TOTAL APARTMENTS : 32

84.3% of total apartments receive at least 2 hours of sunlight between 9am - 3pm.

LVL1 : 12 APTS

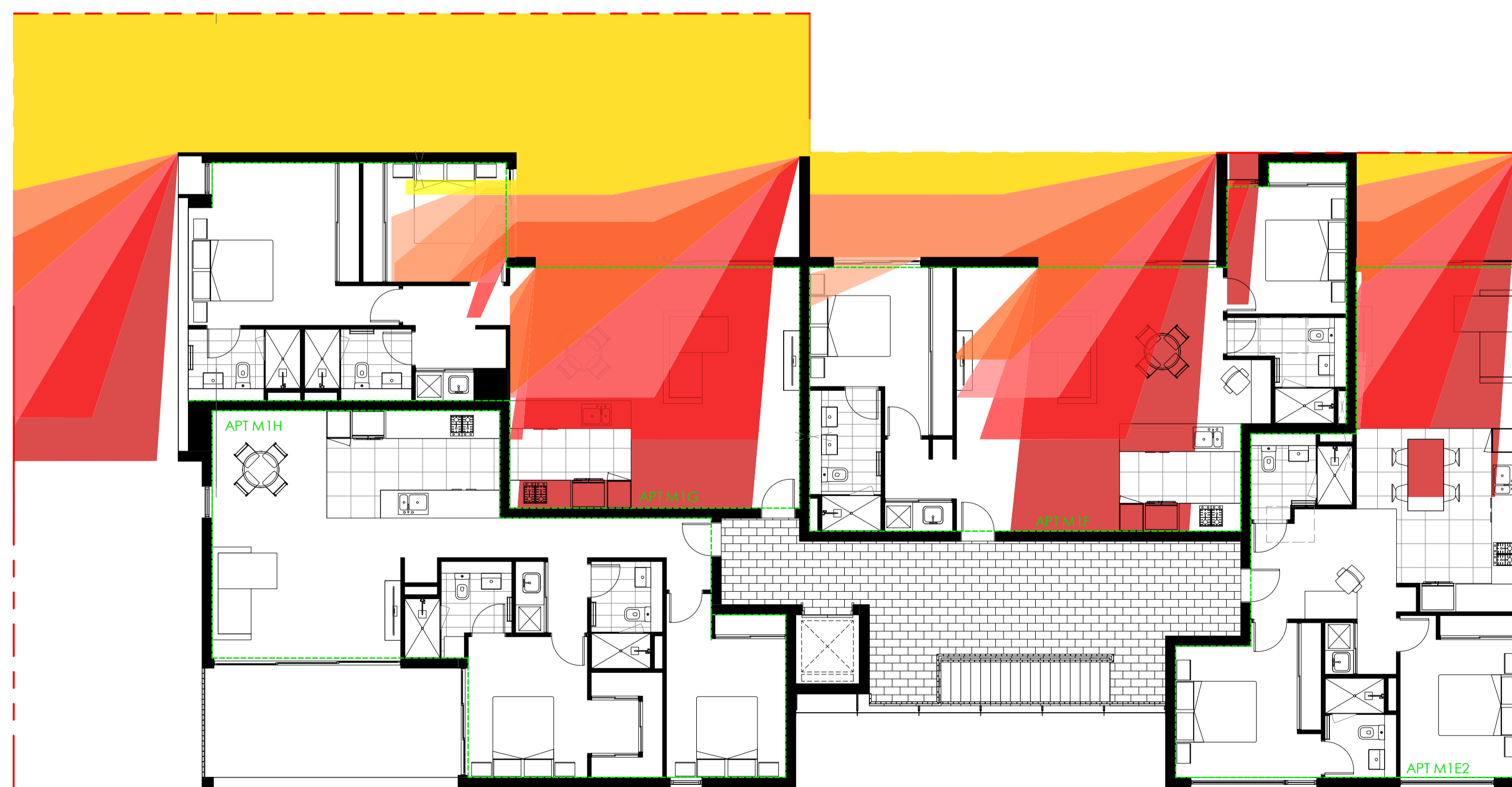
LVL2 : 12 APTS

LVL3 : 3 APTS

TOTAL: 27 APTS

15.6% of total apartments receive at least 2 hours of sunlight between 9am - 3pm.

TOTAL: 5 APTS



2 LVL3.M1 DAYLIGHT

1 : 100



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rev	date	title
1	15/10/2020	UPDATED DA
2	14/12/2020	UPDATED FOR PLANNING COMMENTS
3	15/01/2021	UPDATED FOR DA
4	15/05/2021	ISSUED FOR JAMP CONSIDERATION

DEVELOPMENT ASSESSMENT PANEL

APPROVED

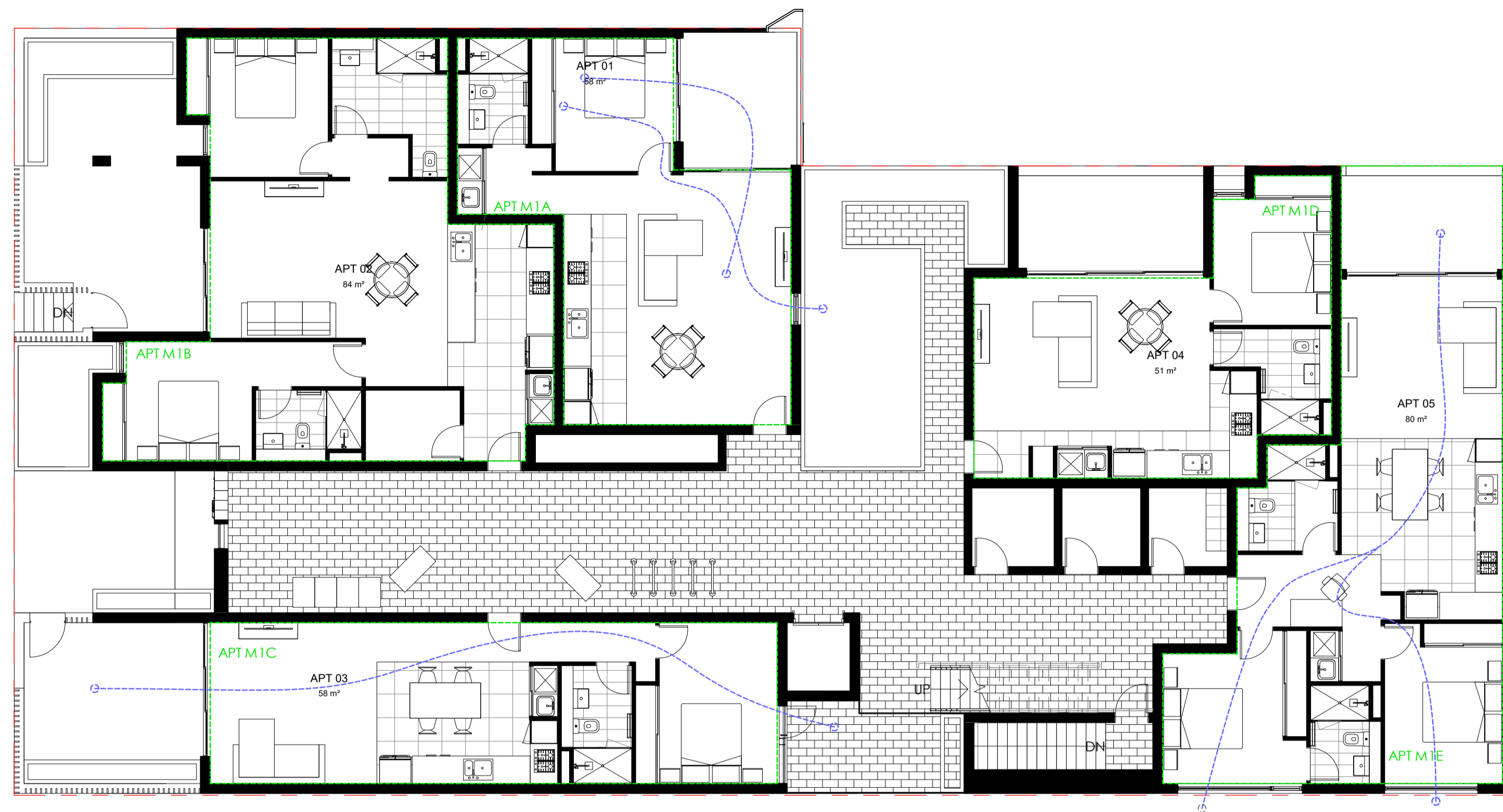
17-May-2021



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 w: www.mandsarchitecture.com.au

Project	HAMLEN- 384 EVP		
Client	HAMLEN		
Drawing Title	LOT 9 DAYLIGHT ANALYSIS		
designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	As indicated	DG1	4

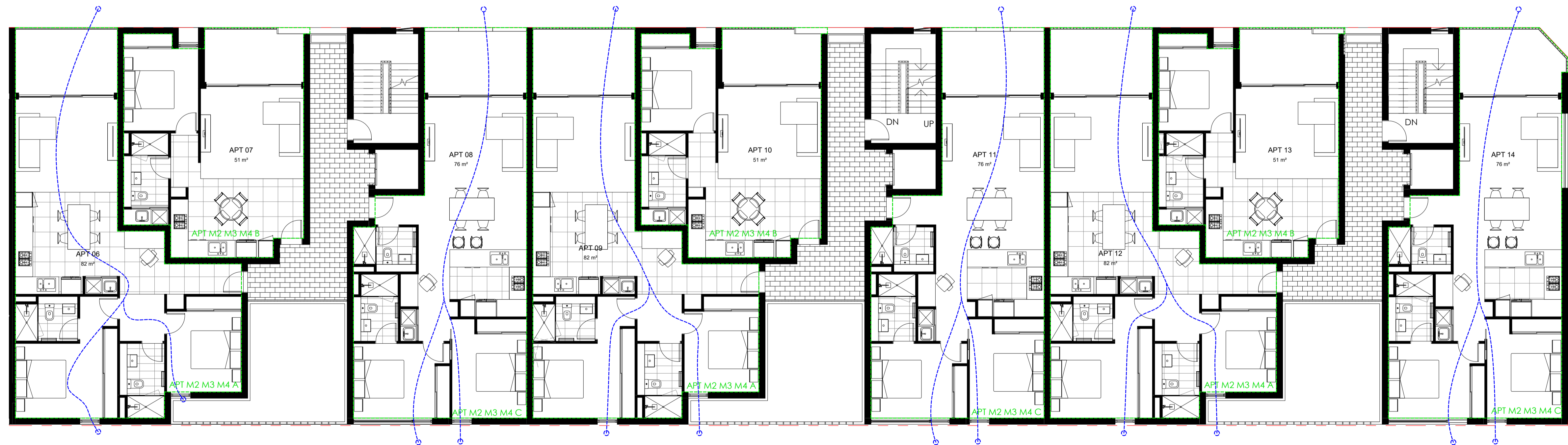
NON - NATURAL VENTILATION
NATURAL VENTILATION



APT TYPE	VENTILATION PER APARTMENT
APT M1A	[Solid Blue Box]
APT M1B & B2	[Hatched Box]
APT M1C & C2	[Solid Blue Box]
APT M1D	[Hatched Box]
APT M1E	[Solid Blue Box]
APT M1F	[Hatched Box]
APT M1G	[Solid Blue Box]
APT M1H	[Solid Blue Box]
APT M1,M2,M3 A	[Solid Blue Box]
APT M1,M2,M3 B	[Hatched Box]
APT M1,M2,M3 C	[Solid Blue Box]

1 LVL1.M1 VENTILATION
1 : 100

LOT 9 TOTAL APARTMENTS : 32
62.5% of total apartments receive natural ventilation
LVL1 : 9 APTS
LVL2 : 9 APTS
LVL3 : 3 APTS
TOTAL: 20 APTS



3 LVL1.M2, 3, 4 VENTILATION
1 : 100

DEVELOPMENT ASSESSMENT PANEL

APPROVED

17-May-2021

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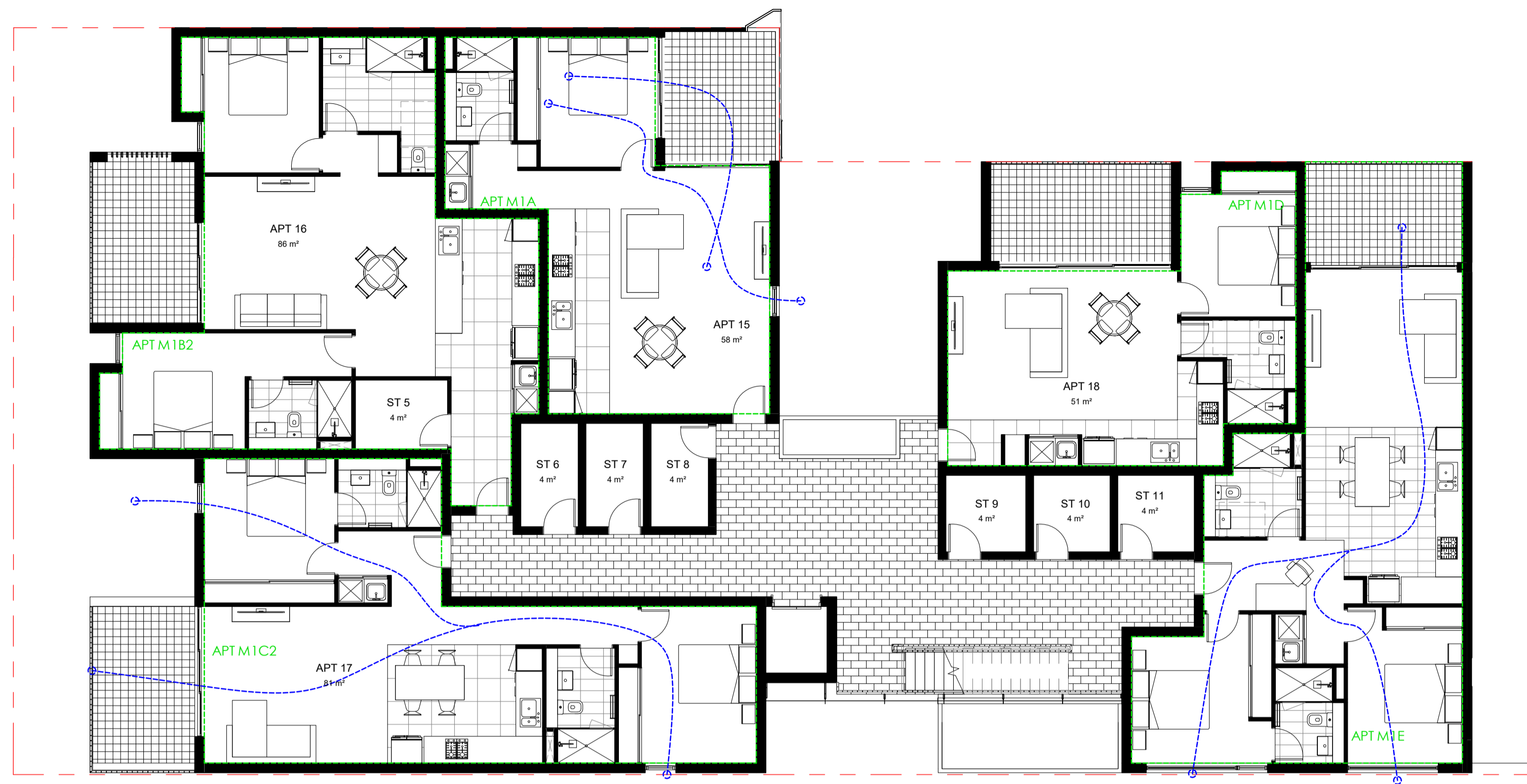
rev	date	title
1	15/10/2020	UPDATED DA
2	14/12/2020	UPDATED FOR PLANNING COMMENTS
3	15/01/2021	UPDATED FOR DA
4	05/05/2021	ISSUED FOR J&P CONSIDERATION

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MATTHEWS & SCAVALLI
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f: (08) 9316 0498
w: www.mandsarchitecture.com.au

Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**
Drawing Title: **LOT 9 - LEVEL 1 VENTILATION**
designed: **Designer**
date: **Author**
project no: **scale** drawing no: **rev**
2006 As indicated DG2 4

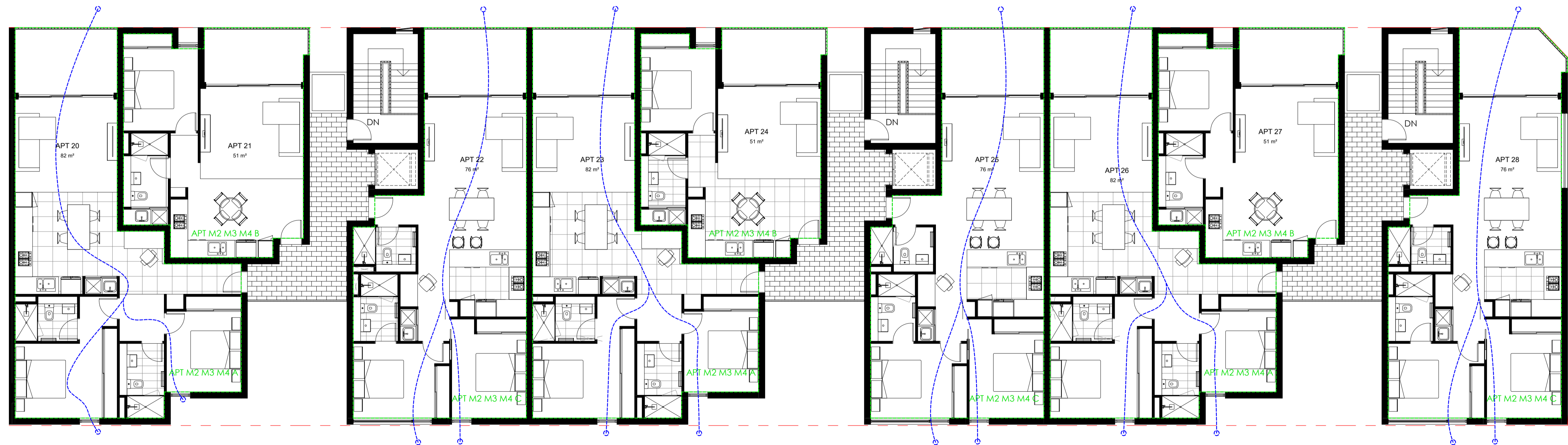
NON - NATURAL VENTILATION
NATURAL VENTILATION



APT TYPE	VENTILATION PER APARTMENT
APT M1A	[Solid Blue Box]
APT M1B & B2	[Hatched Box]
APT M1C & C2	[Solid Blue Box]
APT M1D	[Hatched Box]
APT M1E	[Solid Blue Box]
APT M1F	[Hatched Box]
APT M1G	[Solid Blue Box]
APT M1H	[Solid Blue Box]
APT M1,M2,M3 A	[Solid Blue Box]
APT M1,M2,M3 B	[Hatched Box]
APT M1,M2,M3 C	[Solid Blue Box]

LOT 9 TOTAL APARTMENTS : 32
62.5% of total apartments receive natural ventilation
LVL1 : 9 APTS
LVL2 : 9 APTS
LVL3 : 3 APTS
TOTAL: 20 APTS

1 LVL2.M1 VENTILATION
1 : 100



2 LVL2.M2, 3, 4 VENTILATION
1 : 100

DA

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0	14.12.2020	UPDATED FOR PLANNING COMMENTS
1	15.01.2021	UPDATED FOR DA
2	05.05.2021	ISSUED FOR JMAP CONSIDERATION

**DEVELOPMENT
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17-May-2021

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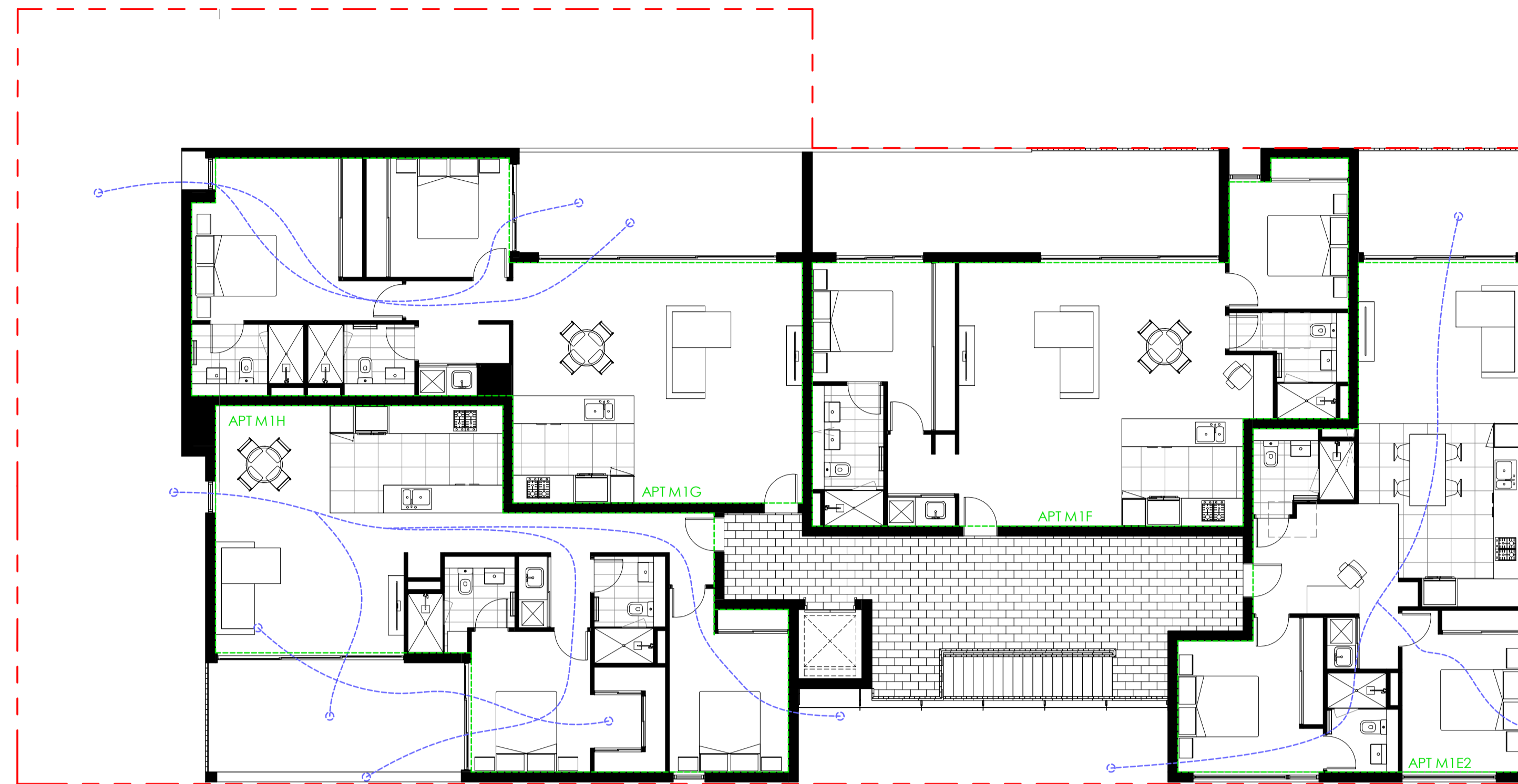
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p: PO Box 131 Applecross 6953 WA
t: (08) 9316 0531
f: (08) 9316 0498
w: www.mmandsarchitecture.com.au

Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title:
LOT 9 - LEVEL 2 VENTILATION

designed	Designer	date	Author	scale	drawing no	rev
2006	As indicated				DG3	2

NON - NATURAL VENTILATION
NATURAL VENTILATION



APT TYPE	VENTILATION PER APARTMENT
APT M1A	[Solid Blue Bar]
APT M1B & B2	[Hatched Bar]
APT M1C & C2	[Solid Blue Bar]
APT M1D	[Hatched Bar]
APT M1E	[Solid Blue Bar]
APT M1F	[Hatched Bar]
APT M1G	[Solid Blue Bar]
APT M1H	[Solid Blue Bar]
APT M1,M2,M3 A	[Solid Blue Bar]
APT M1,M2,M3 B	[Hatched Bar]
APT M1,M2,M3 C	[Solid Blue Bar]

1 LVL3.M1 VENTILATION
1 : 100

LOT 9 TOTAL APARTMENTS : 32
62.5% of total apartments receive natural ventilation
LVL1 : 9 APTS
LVL2 : 9 APTS
LVL3 : 3 APTS
TOTAL: 20 APTS

DA

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0	14.12.2020	UPDATED FOR PLANNING COMMENTS
1	15.01.2021	UPDATED FOR DA
2	05.05.2021	ISSUED FOR JMAP CONSIDERATION

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ASSESSMENT PANEL**

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17-May-2021

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f: (08) 9316 0488
w: www.mandsarchitecture.com.au

Project: **HAMLEN- 384 EVP**
Client: **HAMLEN**

Drawing Title:
LOT 9 - LEVEL 3 VENTILATION

designed	Designer		
drawn	Author		
project no	scale	drawing no	rev
20006	As indicated	DG4	2