

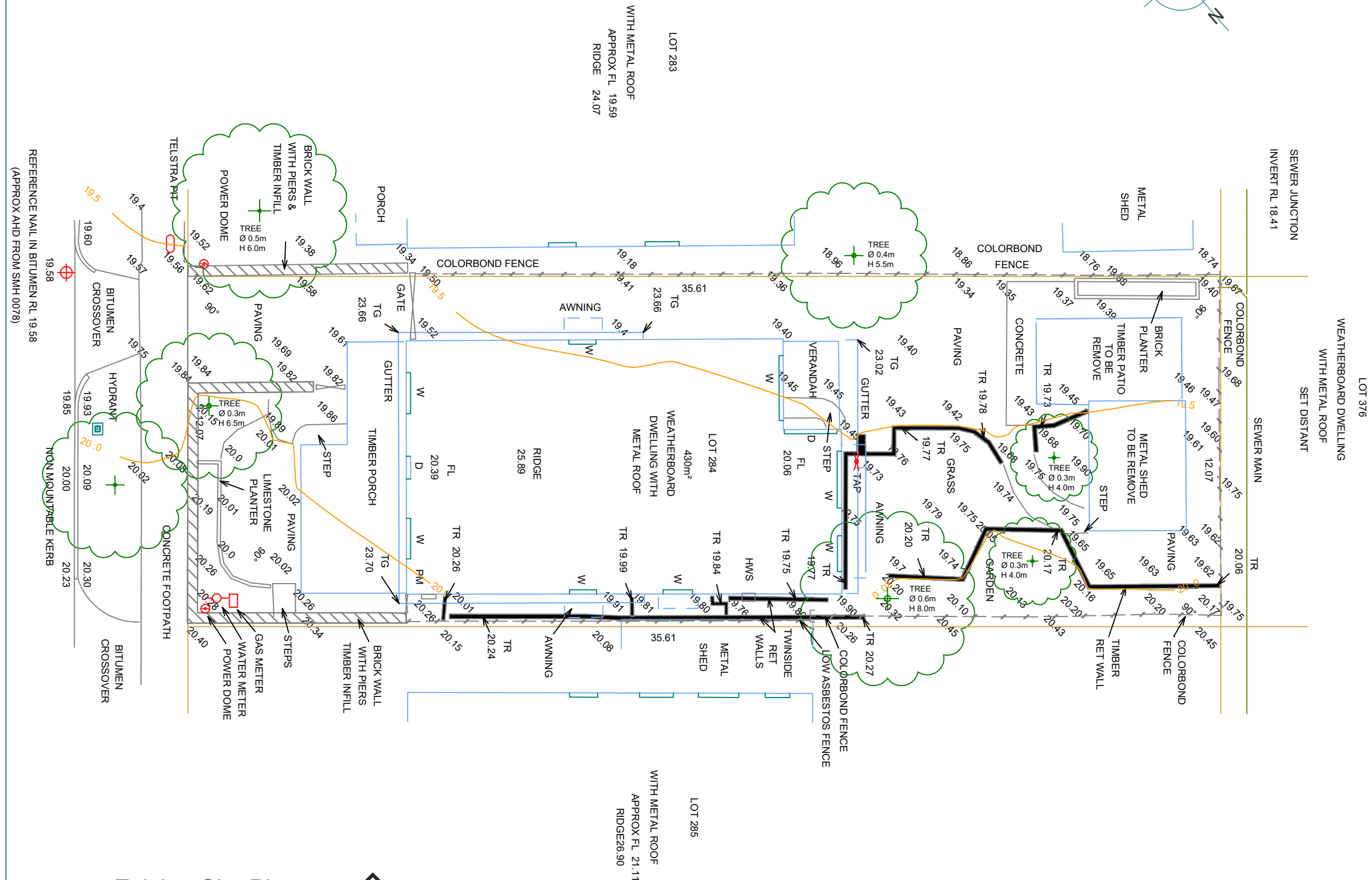
Real Property Description

Lot 284
 Plan P002042
 Site Area 430m²
 Local Authority Town of Victoria Park

Wind and Soil

Wind Classification N2
 Soil Classification CLASS A

SITE AREA	
Site Area(sqm)	430m ²



1 Existing Site Plan
 1 : 150

DIAL BEFORE YOU DIG:
 Contact 1100 before ANY excavation or demolition



No.	Description	Date	Name
1	Preliminary Drawings	11/2025	
Amendments			

28 Hampshire St, East Victoria Park
 WA 6101, Australia

Existing Site Plan
 Proposed Alfresco

Job Number		
Printed at A3	Number of Sheets 6	Sheet Number S01
Scale As Shown	Date 27/11/2025	

Real Property Description

Lot 284
 Plan P002042
 Site Area 430m²
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Wind and Soil

Wind Classification N2
 Soil Classification CLASS A

BUILDING PERMIT ISSUE ONLY

- THESE DRAWINGS ARE STRICTLY FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT ONLY. THEY ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS OR SHOP DRAWINGS IN ANY WAY, SHAPE, OR FORM. PATIO AND SHED APPROVALS PTY LTD ACCEPTS ABSOLUTELY NO LIABILITY IF THESE DRAWINGS ARE USED FOR CONSTRUCTION PURPOSES. THESE DRAWINGS ARE FOR COUNCIL BUILDING PERMIT APPLICATION ONLY. DETAILED CONSTRUCTION AND SHOP DRAWINGS MUST BE PREPARED BY THE BUILDER OR CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORKS.

DIMENSION NOTE

- DO NOT SCALE FROM DRAWINGS. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- CONTRACTORS SHALL CHECK ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION.
- ANY DISCREPANCIES TO BE REPORTED TO THE SITE SUPERVISOR.

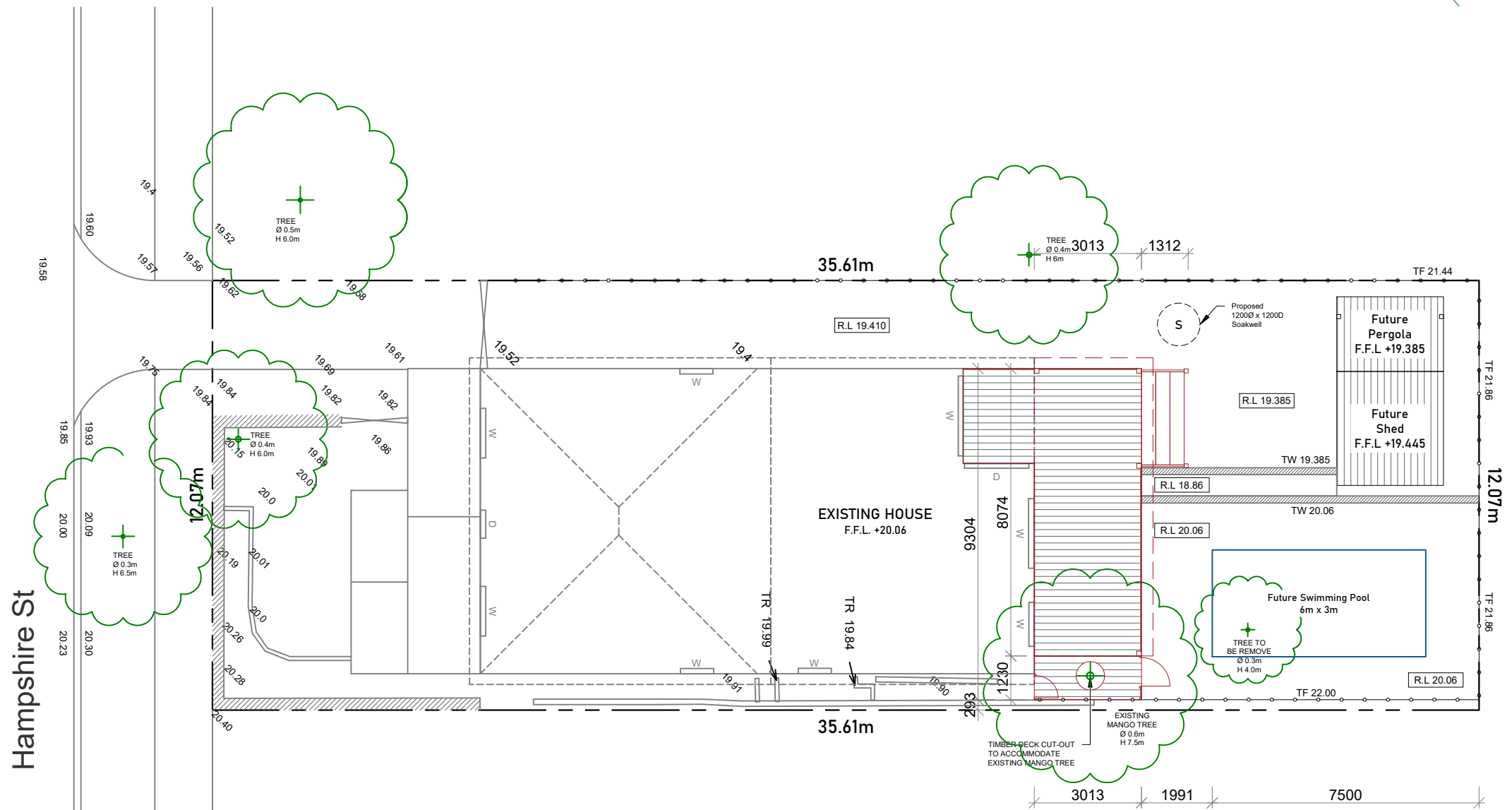
BUILDER NOTE

- BUILDER TO CONSTRUCT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODES NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS .
- THE BUILDER IS SOLELY RESPONSIBLE FOR CHECKING ALL PLANS, SITE DIMENSIONS, EXISTING SITE CONDITIONS, AND STRUCTURAL DETAILING PRIOR TO COMMENCING ANY WORKS.
- THE BUILDER MUST VERIFY ALL MEASUREMENTS ON SITE AND ENSURE ALIGNMENT WITH CURRENT ENGINEERING AND ARCHITECTURAL DOCUMENTATION. ANY DISCREPANCIES MUST BE CLARIFIED PRIOR TO THE COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS.

STORMWATER & SEWAGE

- SEWAGE AND STORMWATER LINE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION IN ACCORDANCE WITH LOCAL RECORDS.

SITE AREA	
Site Area(sqm)	430m ²
PROPOSED	
Timber Alfresco(sqm)	25.83m ²



NOTE:
 EXISTING MANGO TREE TO BE HEAVILY PRUNED TO MEET POOL FENCE REGULATIONS AS 1926.1-2012

1 Site Plan
 1 : 150

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Site Plan
 Proposed Alfresco

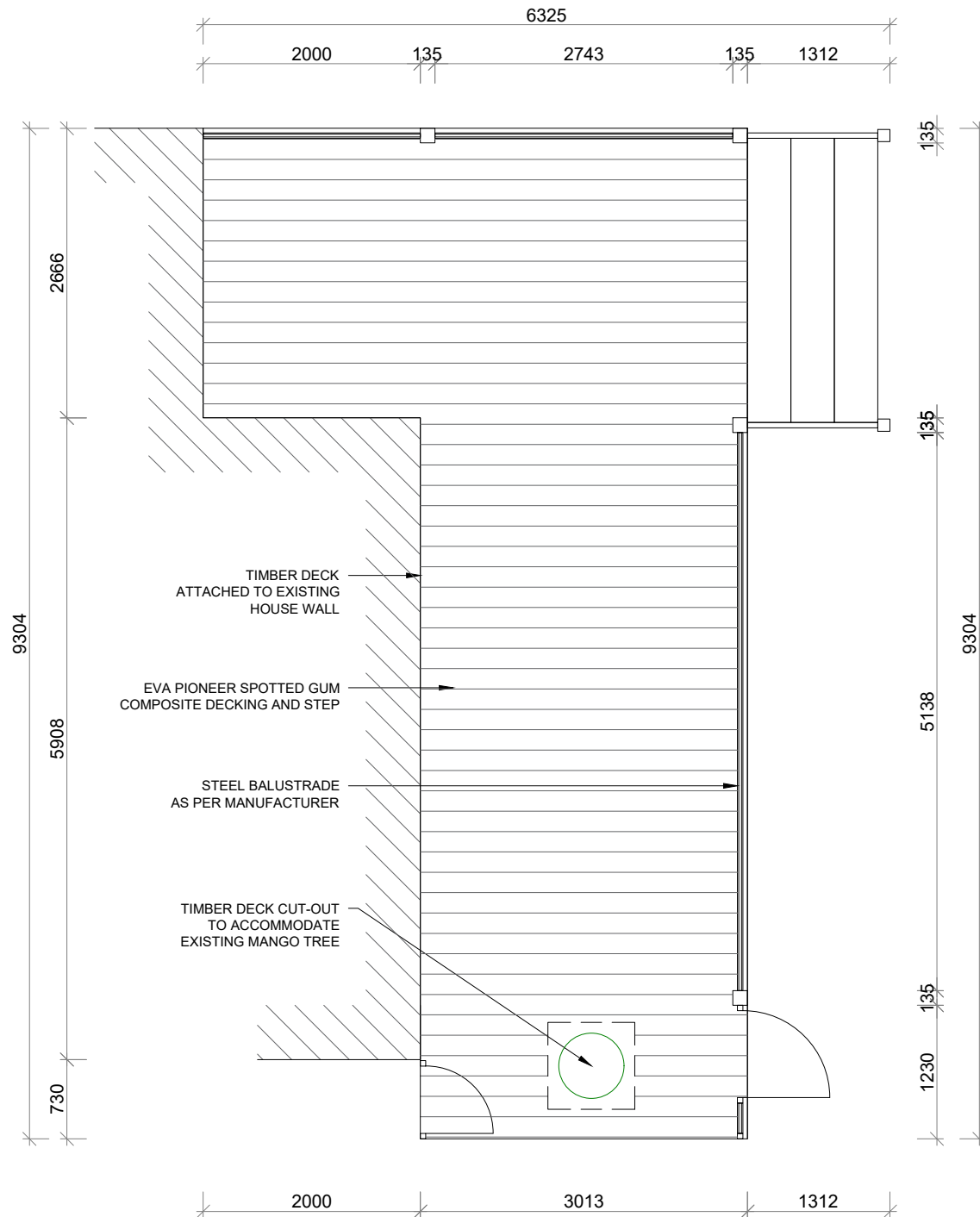
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Printed at A3	Number of Sheets 6	Sheet Number S02
Scale As Shown	Date 27/11/2025	

CONSTRUCTION NOTES

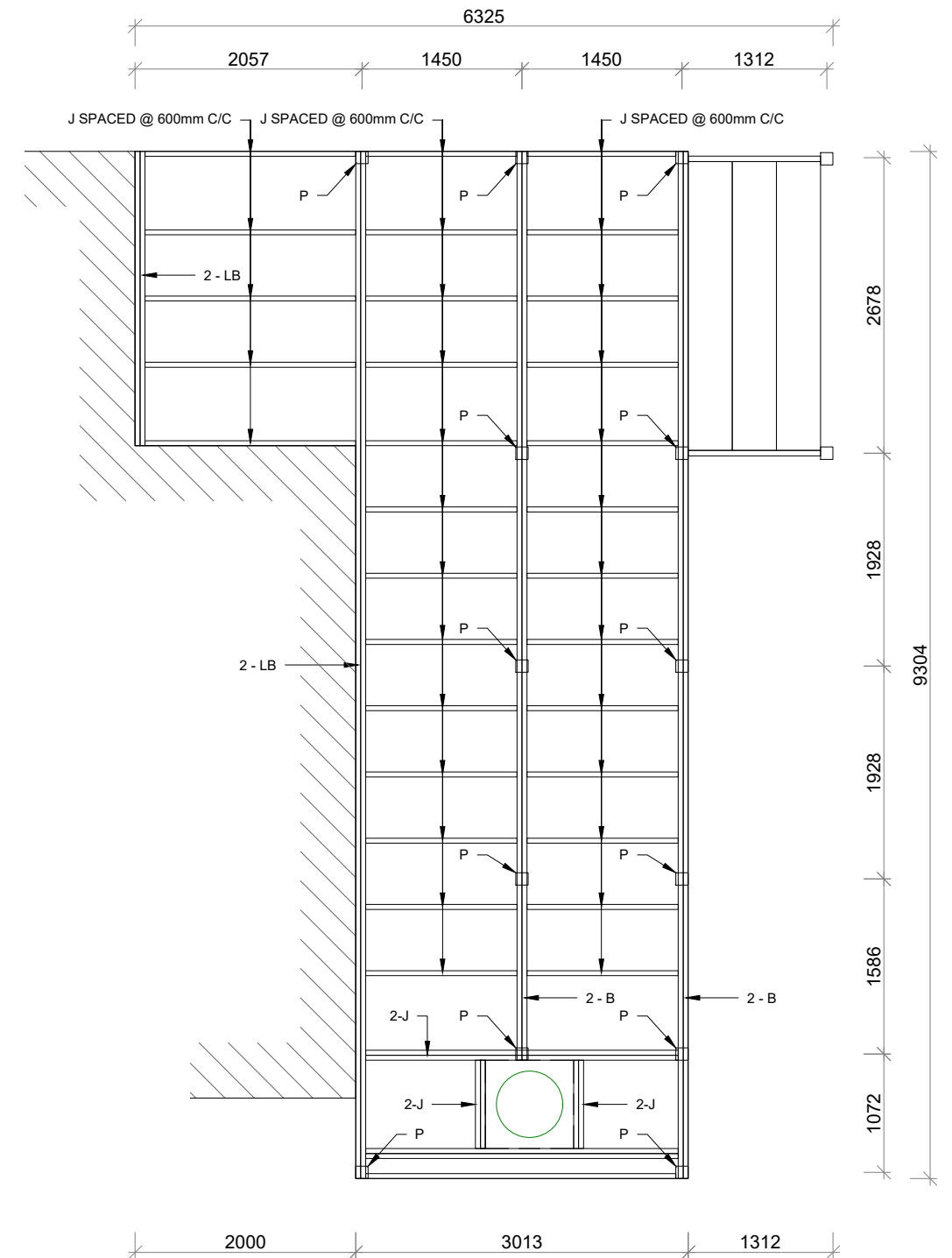
- ALL CONSTRUCTION METHODS TO BE IN ACCORDANCE WITH THE CURRENT NCC & RELEVANT AUSTRALIAN STANDARDS.
- ALL LEVELS & DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WRITTEN DIMENSIONS TO TAKE PRECEDENCE.
- DIMENSIONS ARE NOT TO BE SCALED.

TIMBER DECK MEMBER SIZE SCHEDULE

DESCRIPTION	MARK	SECTION
LEDGER BEAM	LB	190mm x 45mm H3
BEARER	B	190mm x 45mm H3
POST	P	112mm x 112mm H4
JOIST	J	140mm x 45mm H3



1 DECK PLAN
1 : 60



2 DECK FRAMING PLAN
1 : 60



No.	Description	Date	Name
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Amendments			

28 Hampshire St, East Victoria Park
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Deck Plan & Deck Framing Plan
Proposed Alfresco

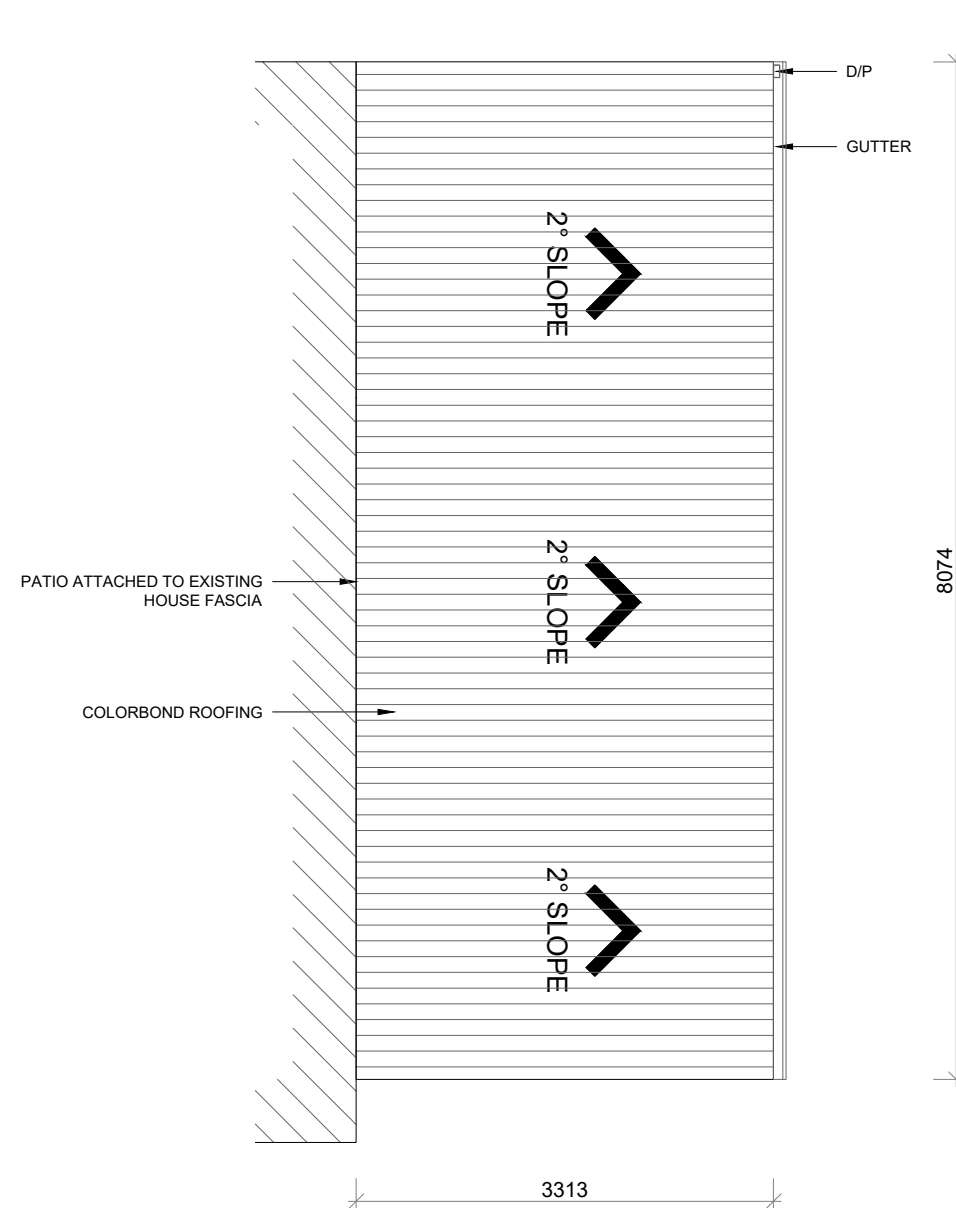
Job Number		
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Scale As Shown	Date 27/11/2025	

CONSTRUCTION NOTES

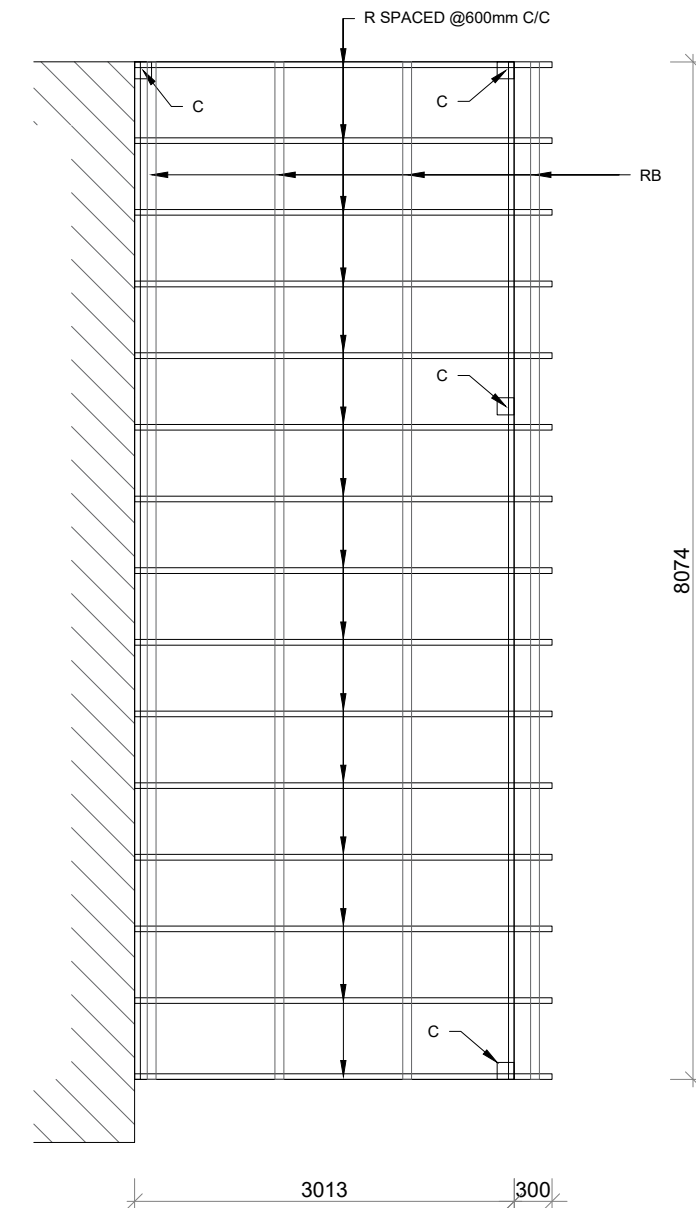
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TIMBER PATIO MEMBER SIZE SCHEDULE

DESCRIPTION	MARK	SECTION
COLUMN	C	135mm x 135mm H4
RAFTER	R	190mm x 45mm H3
BEAM	B	190mm x 45mm H3
FASCIA BEAM	FB	190mm x 45mm H3
ROOF BATTEN	RB	75mm x 35mm H3



1 REFLECTED CEILING PLAN
1 : 60



2 ROOF FRAMING PLAN
1 : 60

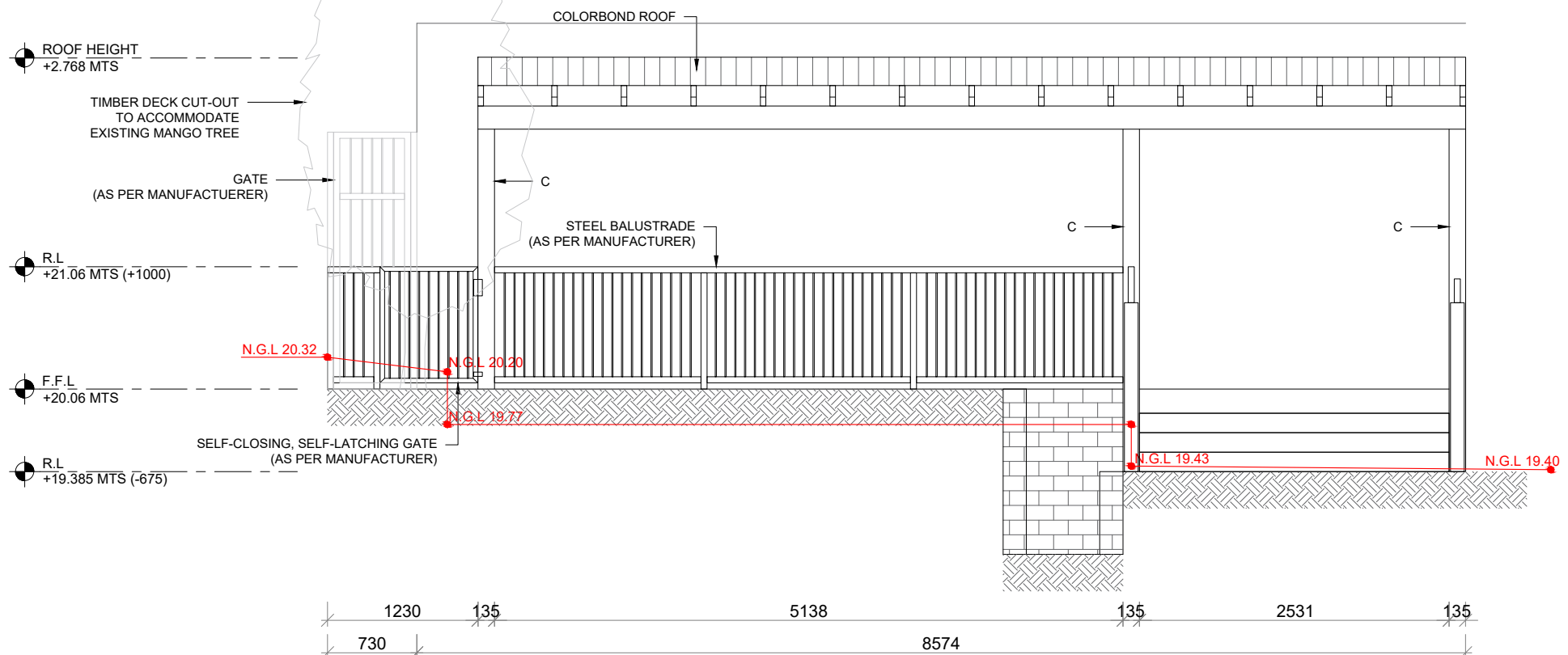


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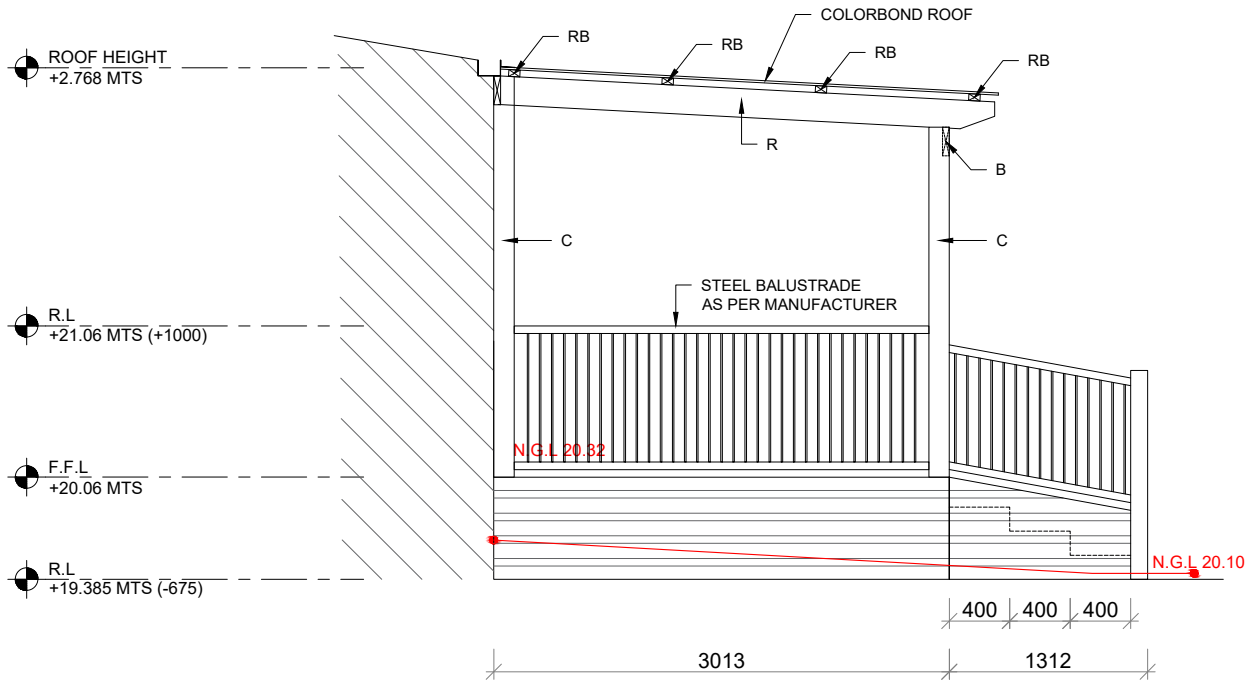
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Reflected Ceiling & Roof Plan
Proposed Alfresco

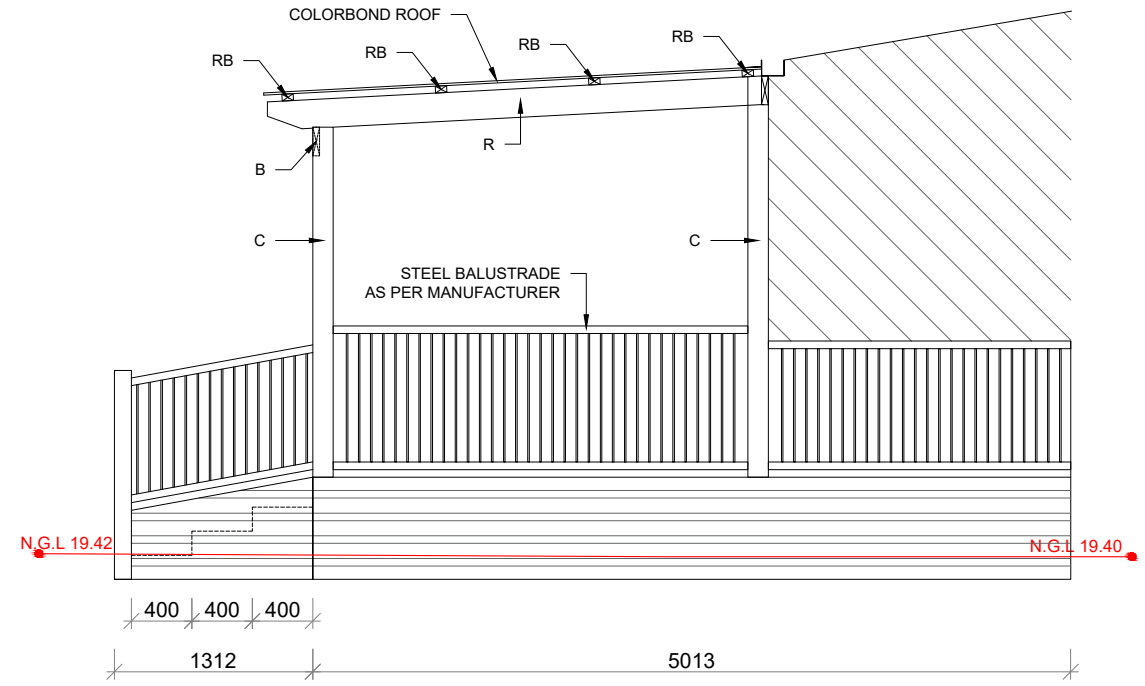
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ELEVATION 2
1 : 50



ELEVATION 1
1 : 50



ELEVATION 3
1 : 50



No.	Description	Date	Name
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28 Hampshire St, East Victoria Park
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Elevation
Proposed Alfresco

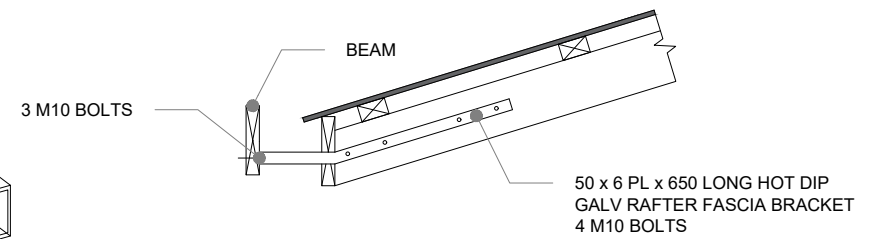
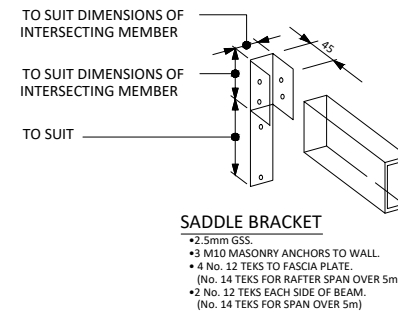
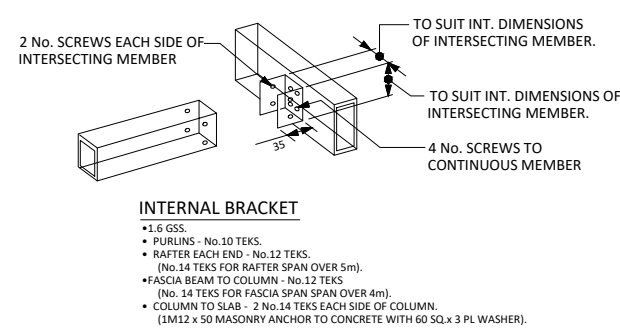
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Termite Treatment Notes (where applicable)

1. Installation of an appropriate termite management system is required where primary building elements are subject to termite attack.
2. All work shall be carried out in accordance with AS.3660.1 and complying with NCC Part 3.1.4.
3. Termi-mesh or alternative Building Certified approved termite barrier system applied to all slab penetrations & cold joints.
4. *Generally Termi-mesh termite barrier (or similar approved) installed between new & existing reinforced concrete slab cold joints. Verify with Building Certifier prior to construction.*
5. *Where applicable 80mm clear exposed slab edge to be visible above footings at all times.*
6. *All timber elements to be termite-resistant species or preservative-treated in accordance with AS.1604 and to appropriate hazard level.*
7. *Visual inspection to fish plates.*
8. *Where applicable the contractor shall supply two durable notices specifying the termite control system used, installed in the meter box and in the pantry, containing details as specified in the NCC Part 3.1.4.4.*
9. *Where applicable declaration by the owner acknowledging the Termite Control System used shall be submitted to the Building Authority prior to the issue of a Certificate of Occupancy.*
10. *Where applicable it shall be the responsibility of the owner to get a competent inspection for termites per the specified termite management plan. Keep the perimeter clean and free of debris.*
11. *All primary building elements to be termite resistant.*

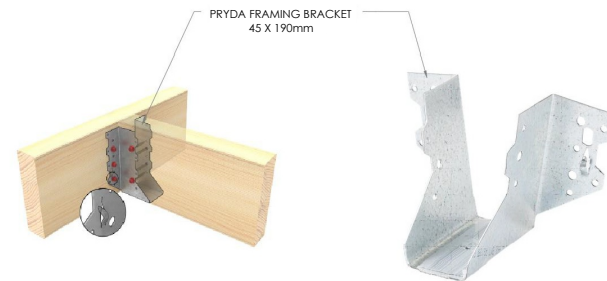
Drainage, Soil and Earthworks - Dwelling

1. Verify all services on site prior to construction.
2. Any new sewer & water waste drainage to Council sewer (or approved septic system) in accordance with Water Supply & Sewerage Act & Amendments.
3. Any new stormwater drainage to be in accordance with AS.3500 & Local Authority guidelines & NCC requirements. All drainage to comply with NCC Part 3.1.3 Drainage.
4. Drain all surface water away from residence and adjoining boundary during and after construction.
5. Fall finished ground @1:20 for min. 1m around perimeter of foundations. Alternative methods of surface water control to be approved by private Certifier prior to installation.
6. All earthworks to be in accordance with AS.3798 NCC Part 3.1 and Engineers specification. Remove topsoil, tree roots and other unsuitable material under slabs and footings, remove soft spots and replace with select fill all compacted in 150max. layers to 95% MMDD or 98% SRDD.
7. All levels, heights and dimensions to be confirmed prior to the start of any works.
8. Any new driveways & crossovers to be constructed in accordance with QDC NMP 1.1, AS.2890 and local authority requirements.

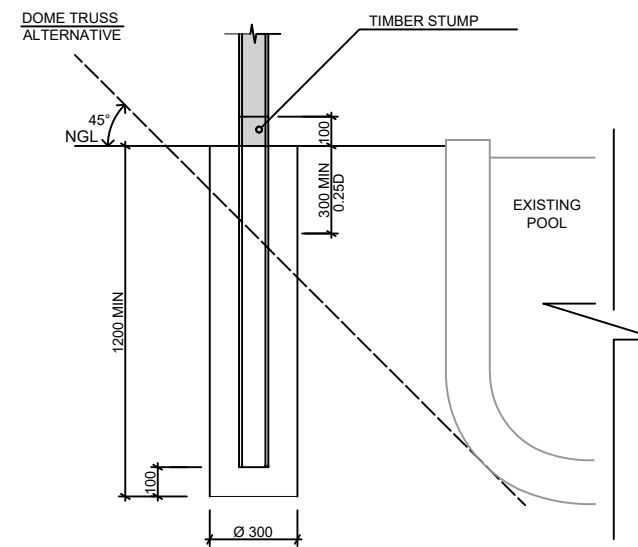
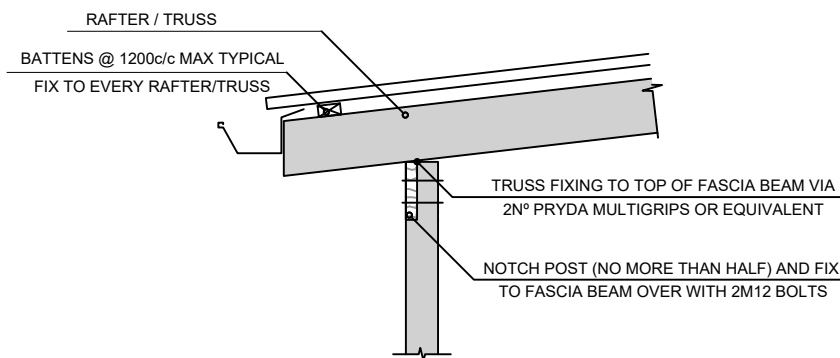


ROOF FIXING BRACKETS

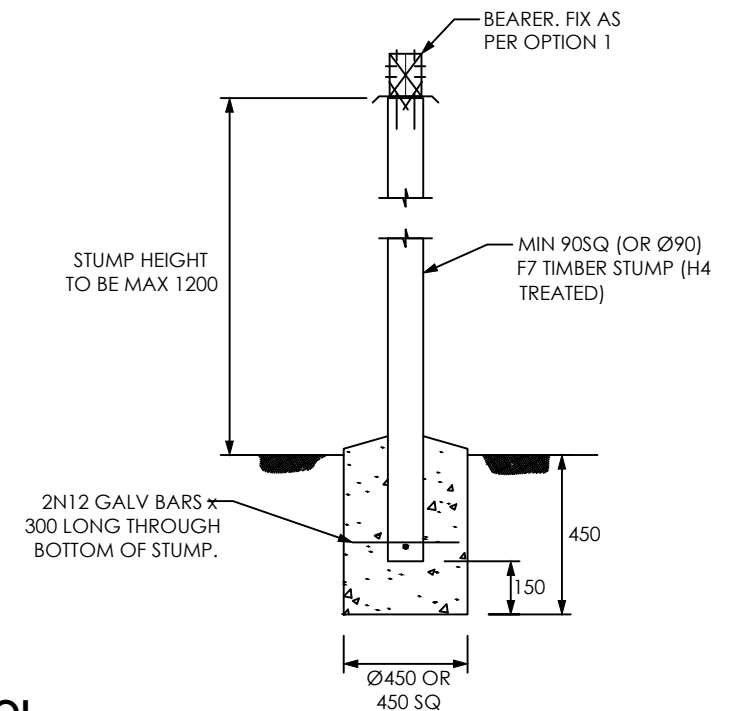
- FABRICATE FROM 1.6 GSS, U.N.O.
- BRACKET DIMENSIONS OTHERWISE TO SUIT MEMBERS BEING FIXED.



BEAM TO RAFTER / JOIST TO BEARER CONNECTION



NOTE: DROP FOOTING TO SUIT IF THE POOL IS UNDER THE 45° LINE. CONTACT ENGINEER FOR ADVICE IF NEEDED.



STUMP AND BEARER DETAIL

A HEAVY DUTY GALV STIRRUP (CAST INTO FOOTING AS PER MANUFACTURER'S SPECIFICATIONS) CAN BE USED AS AN ALTERNATIVE TO CASTING STUMP INTO CONCRETE FOOTING. PROVIDE 2M12 BOLTS TO STUMP. STUMP MAY BE H3 TREATED IN LIEU OF H4 IF STIRRUP IS USED.



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Typical Details
Proposed Alfresco

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Scale NTS	Date 27/11/2025	