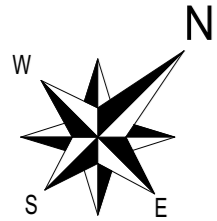


LOT 15 674.00m<sup>2</sup>



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+	POWER DOME
○	POWER POLE
□	PHONE PITS
□	WATER CONN.
TP= 10.00	TOP PILLAR/POST
TW= 10.00	TOP WALL
TR= 10.00	TOP RETAINING
TF= 10.00	TOP FENCE

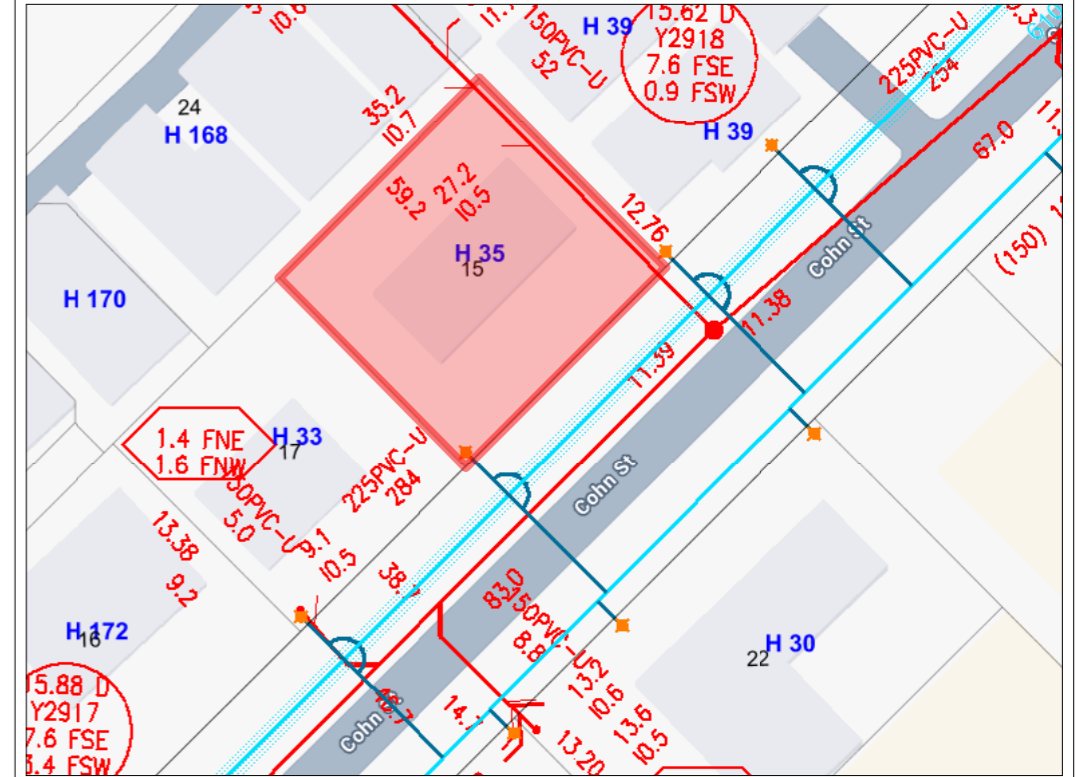


**! WARNING !**  
 PLAN NOT YET APPROVED BY TITLES OFFICE.  
 VERIFY LOT DIMENSIONS & ANGLES WITH TITLE.

**AMENDED PLAN** TOWN OF VICTORIA PARK  
 Received 21/05/2026

CONTOUR & FEATURE SURVEY

LOT Lot 15 (Diag. 36625)  
 ADDRESS #35 Cohn Street, Carlisle  
 LGA TOWN OF VICTORIA PARK  
 CLIENT [REDACTED]  
 ORDER # [REDACTED]  
 GPS Lat: -31.982627 Long: 115.924752  
 SSA No AREA 674m<sup>2</sup> VOL. 149 FOL. 136a



ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	No
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Semi-Mount / Nil	VEG.	Light Grass Cover



BUILDERS REGISTRATION N° 12049

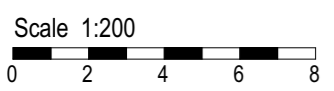
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THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

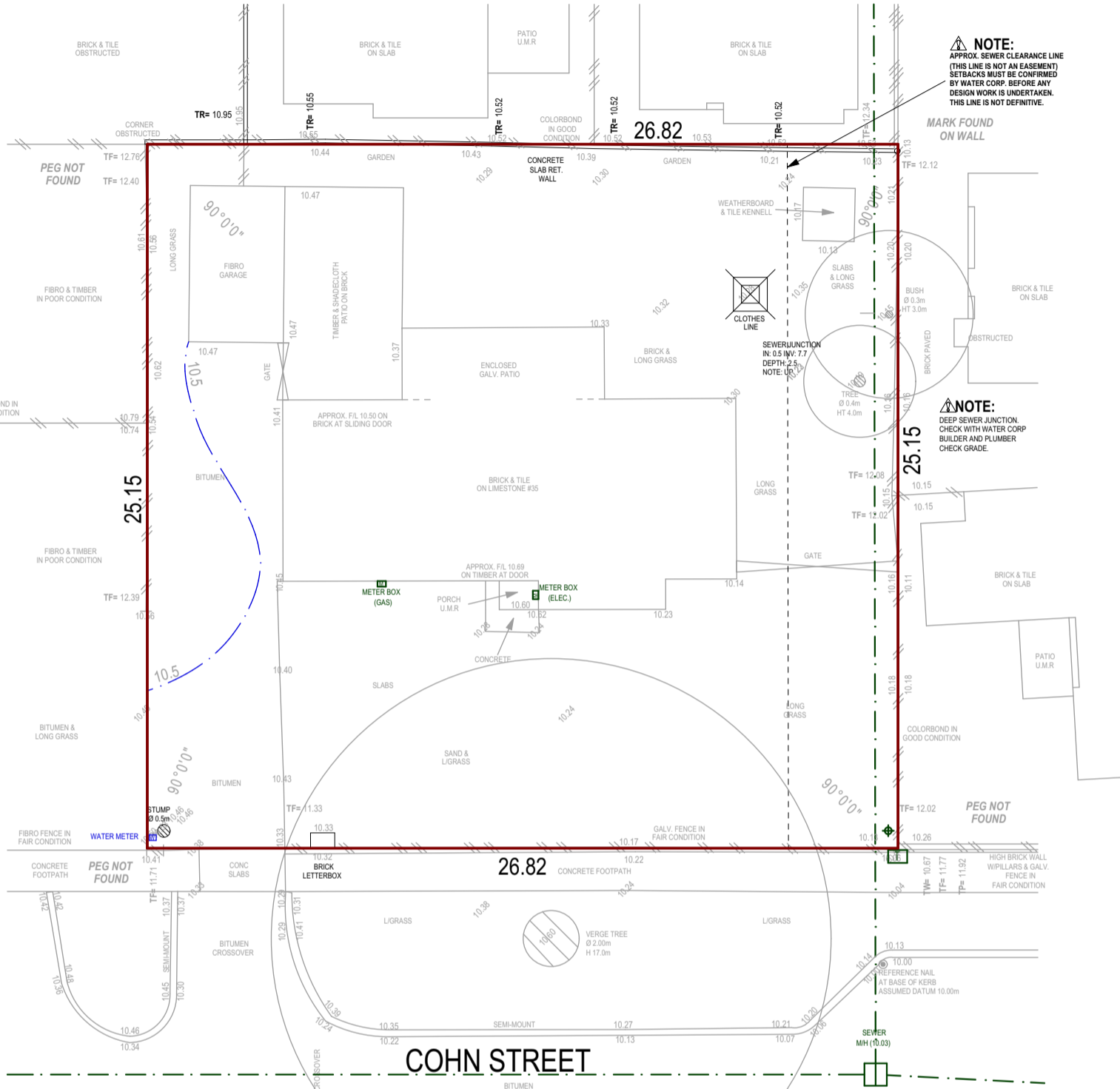
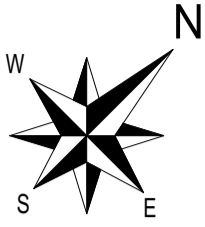
OWNER .....DATE.....  
 OWNER .....DATE.....  
 BUILDER .....DATE.....

REV:	DESCRIPTION:	INT:	CHK:	DATE:
'1'	CONTRACT + SCV + SV01	AEP	LC	03.02.26
'2'	ENERGY	LC	LC	16.02.26
'3'	PLANNING AMENDMENTS	--	LC	24.03.26
'4'	PLANNING AMENDMENTS	--	LC	15.04.26
'5'				
'6'				
'7'				
'8'				
'9'				

<b>THE ARISA</b>	
<b>SITE INFO</b>	
DATE: 4/05/2026	SHEET N°:
SCALE: 1:200	1 of 15
REVISION N°: 04	JOB N°: 2509026M



LOT 15 674.00m<sup>2</sup>



**NOTE:**  
APPROX. SEWER CLEARANCE LINE  
(THIS LINE IS NOT AN EASEMENT)  
SETBACKS MUST BE CONFIRMED  
BY WATER CORP. BEFORE ANY  
DESIGN WORK IS UNDERTAKEN.  
THIS LINE IS NOT DEFINITIVE.

**NOTE:**  
DEEP SEWER JUNCTION  
CHECK WITH WATER CORP  
BUILDER AND PLUMBER  
CHECK GRADE.

**LOT MISCLOSE**  
0.000m

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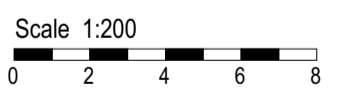
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⊕	POWER DOME
⊙	POWER POLE
⊠	PHONE PITS
⊡	WATER CONN.
⊢	TOP PILLAR/POST
⊣	TOP WALL
⊤	TOP RETAINING
⊥	TOP FENCE



JOB #	CLIENT	GPS	Lat: -31.982627 Long: 115.924752	ROADS	Bitumen	ELEC.	U/Ground
ORDER #	ADDRESS #35 Cohn Street	LOT	Lot 15 (Diag. 36625)	KERBS	Semi-Mount / Nil	COMMS.	Yes
SUBURB	Carlisle	AREA	674m <sup>2</sup>	FOOTPATH	Concrete	WATER	Yes
LGA	TOWN OF VICTORIA PARK	VOL.	149	SOIL	Sand	GAS	Check Alinta
DATE	30 Oct 25	FOL.	136a	DRAINAGE	Good	SEWER	Yes
SSA No	VEGETATION	Light Grass Cover	COASTAL	No	(Approximate Only Confirm With Shire)		

ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPROCK MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:

OWNER .....DATE.....

OWNER .....DATE.....

BUILDER .....DATE.....

VARIATIONS:

REV.	DESCRIPTION	DATE
'1'	CONTRACT + SCV + SV01	03.02.26
'2'	ENERGY	16.02.26
'3'	PLANNING AMENDMENTS	24.03.26
'4'	PLANNING AMENDMENTS	15.04.26
'5'		
'6'		
'7'		
'8'		
'9'		

CLIENT:

SITE ADDRESS:  
**PROPOSED SSL1,  
LOT 15 (#35), COHN STREET,  
CARLISLE WA 6101**

SALES: [REDACTED] DRAWN: [REDACTED]

**THE ARISA**

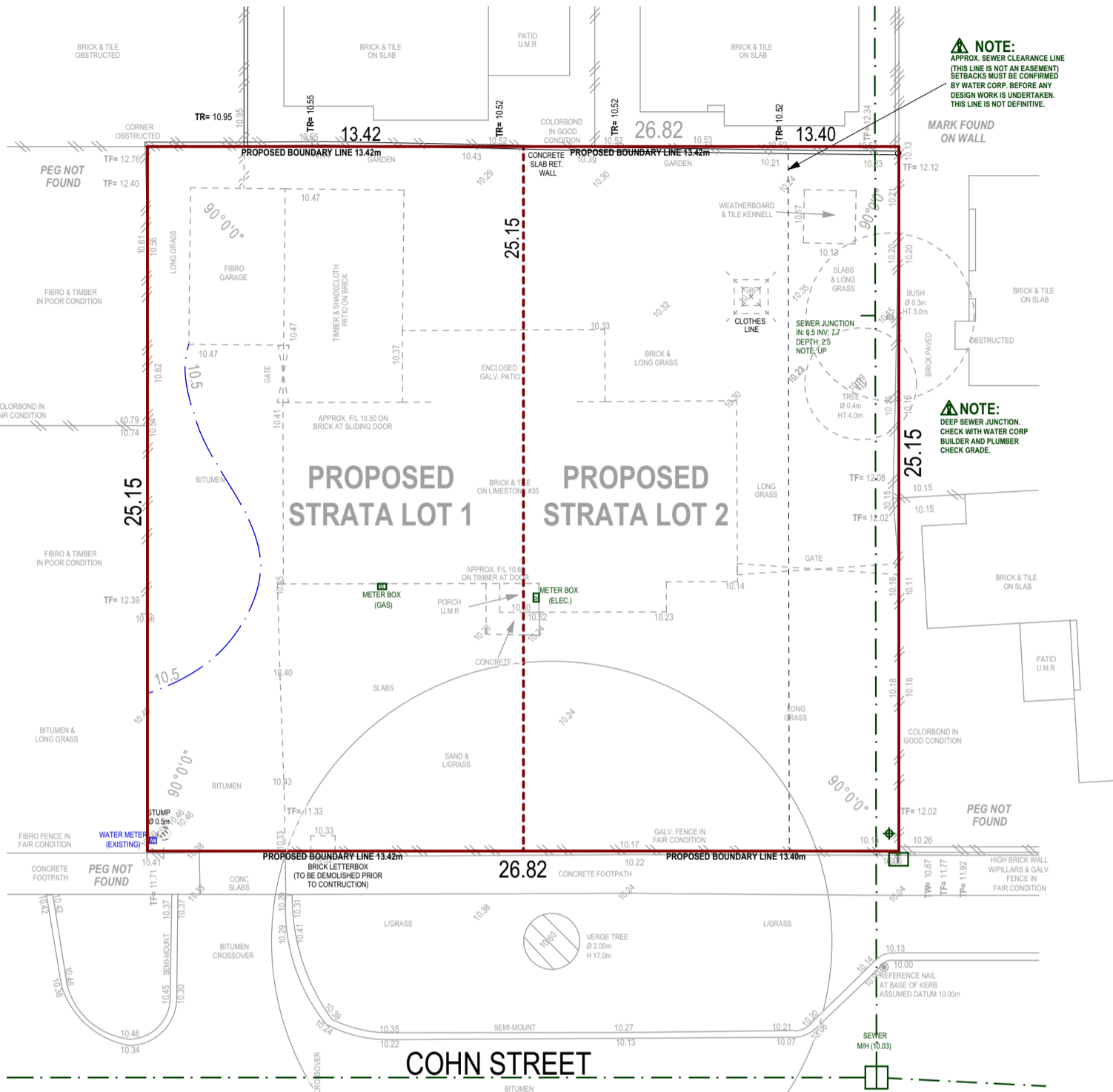
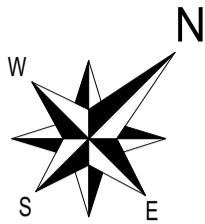
**EXISTING PLAN**

DATE: 4/05/2026 SHEET N°: 2 of 15

SCALE: 1:200

REVISION N°: 04 JOB N°: 2509026M

LOT 15 (PROPOSED S/L1) 337.51m<sup>2</sup>



**PROPOSED BOUNDARIES:**  
ALL LINES SHOWN RED  
DASHED DENOTED PROPOSED BOUNDARIES.

**LOT MISCLOSE**  
0.000m

**OWNER DEMOLITION NOTE:**  
ALL STRUCTURES SHOWN DASHED TO BE DEMOLISHED & REMOVED BY OWNER.  
TREES SHOWN DASHED TO BE REMOVED BY OWNER.

**POST DEMOLITION SURVEY NOTE:**  
NEW CONTOUR SURVEY WILL BE REQUIRED ONCE DEMOLITION HAS BEEN COMPLETED. OWNER TO ADVISE BUILDER WHEN DEMO IS COMPLETE.

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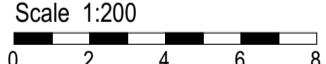
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⊙	POWER POLE
⊠	PHONE PITS
⊡	WATER CONN.
⊢	TOP PILLAR/POST
⊣	TOP WALL
⊤	TOP RETAINING
⊥	TOP FENCE



JOB #	CLIENT	GPS	Lat: -31.982627 Long: 115.924752	ROADS	Bitumen	ELEC.	U/Ground
ORDER #	ADDRESS #35 Cohn Street	LOT	Lot 15 (Diag. 36625)	KERBS	Semi-Mount / Nil	COMMS.	Yes
SUBURB	Carlisle	AREA	674m <sup>2</sup>	FOOTPATH	Concrete	WATER	Yes
LGA	TOWN OF VICTORIA PARK	VOL.	149	SOIL	Sand	GAS	Check Alinta
DATE	30 Oct 25	FOL.	136a	DRAINAGE	Good	SEWER	Yes
SSA No		VEGETATION	Light Grass Cover	COASTAL	No		

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OWNER .....DATE.....

OWNER .....DATE.....

BUILDER .....DATE.....

VARIATIONS:

REV.	DESCRIPTION:	DATE:
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'2'	ENERGY	16.02.26
'3'	PLANNING AMENDMENTS	24.03.26
'4'	PLANNING AMENDMENTS	15.04.26
'5'		
'6'		
'7'		
'8'		
'9'		

CLIENT:

SITE ADDRESS:  
**PROPOSED SSL1,  
LOT 15 (#35), COHN STREET,  
CARLISLE WA 6101**

SALES:

DRAWN:

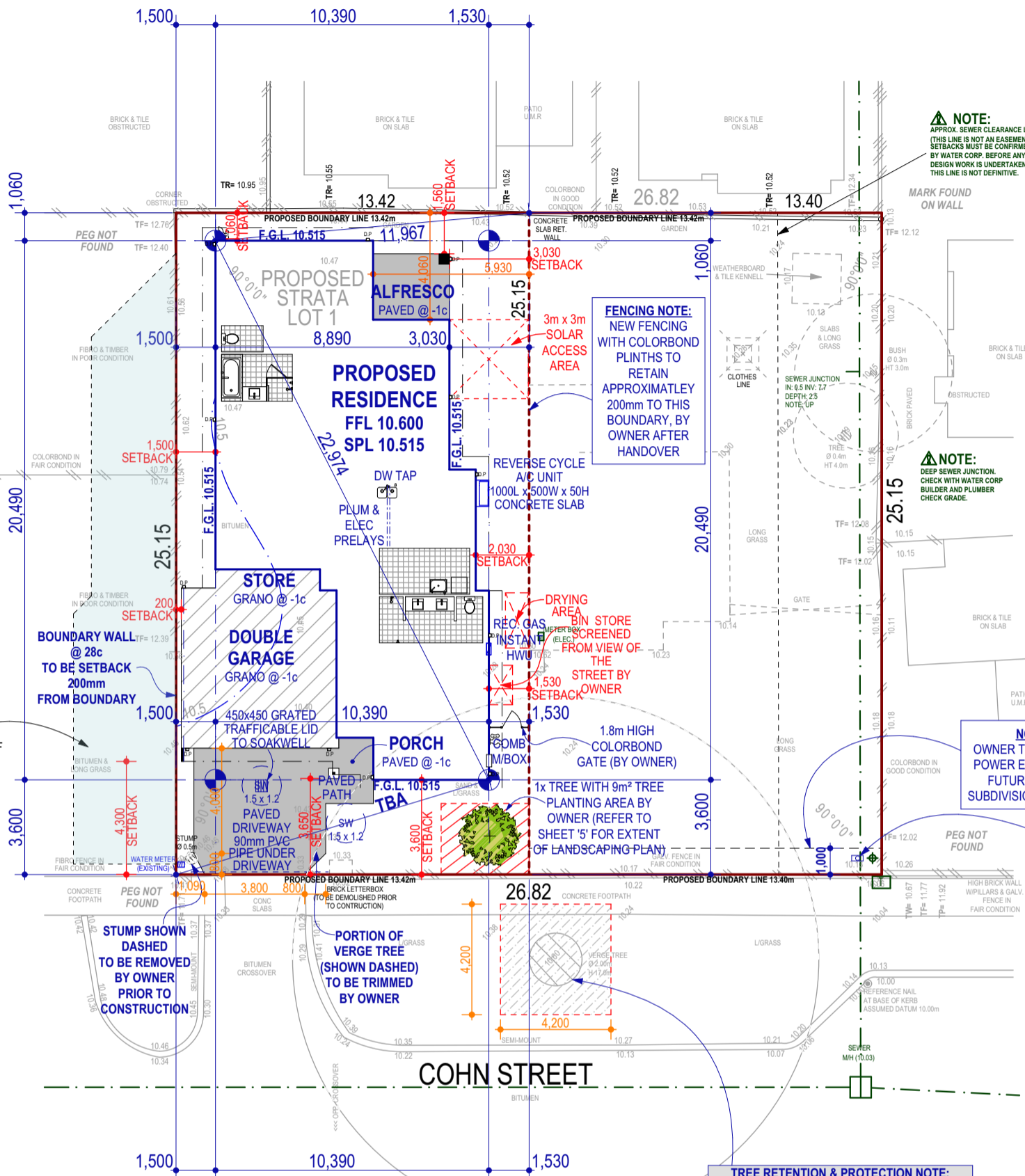
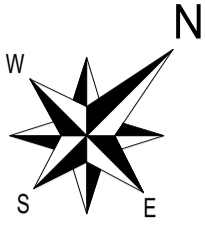
**THE ARISA**

**DEMOLITION PLAN**

DATE: 4/05/2026  
SCALE: 1:200  
REVISION N°: 04

SHEET N°: 3 of 15  
JOB N°: 2509026M

LOT 15 (PROPOSED S/L1) 337.51m<sup>2</sup>



OVERSHADOWING  
@ MIDDAY 21st JUNE  
76.29m<sup>2</sup> = 13.72% OF  
#33 (LOT 17)

LOT MISCLOSE  
0.000m

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SITE CLASSIFICATION : A  
FOOTING DETAIL : A85  
WIND CATEGORY : N1  
COASTAL CONDITIONS : R1

**LOT INFORMATION**  
ZONING: R30  
SITE AREA: 337.51m<sup>2</sup>  
ALLOWED COVER: 55% (185.630m<sup>2</sup>)  
ACTUAL COVER: 56.69% (191.36m<sup>2</sup>)

PLANNING: YES  
PLANNING NOTES:  
- GROUPED DWELLING  
- STREET SETBACK  
- SITE COVER / OPEN SPACE  
- LPP25 (STREETSCAPE POLICY)  
- SETBACK TO BOUNDARY WALL

APPROVAL OF ABOVE VARIATIONS ARE AT SHIRES DISCRETION.

**PRELAY NOTE:**  
ELECTRICAL PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

**STORMWATER NOTE:**  
STORMWATER DISPOSAL VIA SOAKWELLS TO COUNCIL REQUIREMENTS

**CONCRETE NOTE:**  
SET SHOWER RECESSES DOWN 50mm & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

**SITE ANALYSIS**  
ZONING: R30  
MINIMUM LOT SIZE REQUIRED = 300m<sup>2</sup>  
AVERAGE LOT SIZE REQUIRED = 350m<sup>2</sup>  
MAXIMUM BUILDING SITE COVERAGE = 55%

**SITE AREA ALLOCATION (SA):**  
LOT 1 (U1) EXCLUSIVE AREA = 337.51m<sup>2</sup>

**HOUSE AREA (HA)**  
LOT 1 (HA1) = 191.36  
**SITE COVERAGE NO COMMON AREA:**  
LOT 1 = HA1 ÷ U1 x 100 = 191.36 ÷ 337.51 x 100 = 56.69%

**TREE RETENTION & PROTECTION NOTE:**  
EXISTING VERGE TREE TO REMAIN. TREE TO BE PROTECTED AS PER AS4970, INCLUDING 1.8m HIGH FENCING AROUND THE TREE. PROTECTION ZONE TO THE TREE MUST REMAIN IN PLACE DURING ALL SITE & CONSTRUCTION WORKS, AS PER SHIRE REQUIREMENTS. NO VEHICLES, MATERIALS OR EQUIPMENT IS TO BE STORED OR WASHED DOWN WITHIN THIS ZONE.  
(EXTENT OF PROTECTION ZONE TO BE CONFIRMED BY SHIRE).

**LANDSCAPING NOTE:**  
MIN 50% OF STREET SETBACK AREA TO BE PERVIOUS AREA (SOFTSCAPED) BY OWNER AFTER HANDOVER.

**STANDARD NCC NOTE:**  
- DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH NCC & A.S.  
- SMOKE ALARMS INTERCONNECTED & HARDWIRED AS PER AS3786-2014  
- STORMWATER AND SURFACE WATER DRAINAGE TO COMPLY WITH NCC AND LOCAL AUTHORITY REQUIREMENTS.

**SEWER NOTE:**  
PLUMBER TO PROVIDE NEW CONNECTION FOR PROPOSED RESIDENCE (LOCATION TBC).

**OWNER DEMOLITION NOTE:** REFER TO DEMOLITION PLAN

**POST DEMOLITION SURVEY NOTE:**  
NEW CONTOUR SURVEY WILL BE REQUIRED ONCE DEMOLITION HAS BEEN COMPLETED. OWNER TO ADVISE BUILDER WHEN DEMO IS COMPLETE.

Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m <sup>3</sup>
Total Capacity		4.2 m <sup>3</sup>
Roof Area GF		226.3 m <sup>2</sup>
Paved Area		22.9 m <sup>2</sup>
Total Area		249.2 m <sup>2</sup>
Capacity Required (Area x 0.0150)		3.7 m <sup>3</sup>
Extra Capacity Provided		0.5 m <sup>3</sup>

**NOTE:** ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

Scale 1:200

JOB #	GPS	Lat: -31.982627 Long: 115.924752	ROADS	Bitumen	ELEC.	U/Ground
CLIENT	ORDER #	2509026M	KERBS	Semi-Mount / Nil	COMMS.	Yes
ADDRESS	LOT	Lot 15 (Diag. 36625)	FOOTPATH	Concrete	WATER	Yes
SUBURB		Carlisle	SOIL	Sand	GAS	Check Alinta
LGA	AREA	TOWN OF VICTORIA PARK 674m <sup>2</sup>	DRAINAGE	Good	SEWER	Yes
DRAWN	DATE	30 Oct 25	VEGETATION	Light Grass Cover	COASTAL	No
						(Approximate Only Confirm With Shire)

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**redink**  
H O M E S

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OWNER ..... DATE .....

OWNER ..... DATE .....

BUILDER ..... DATE .....

© Copyright 2006 Ref. 12,423  
STANDARD UPDATE = v18 17/06/11

VARIATIONS:

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'1'	CONTRACT + SCV + SV01	03.02.26
'2'	ENERGY	16.02.26
'3'	PLANNING AMENDMENTS	24.03.26
'4'	PLANNING AMENDMENTS	15.04.26
'5'		
'6'		
'7'		
'8'		
'9'		

CLIENT:

SITE ADDRESS:  
**PROPOSED SSL1,  
LOT 15 (#35), COHN STREET,  
CARLISLE WA 6101**

SALES: ..... DRAWN: .....

**THE ARISA**

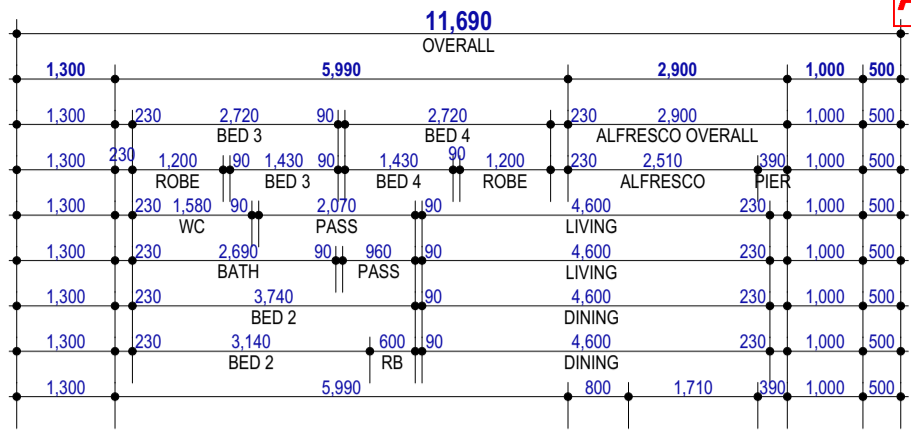
**SITE PLAN**

DATE: 4/05/2026  
SCALE: 1:200  
REVISION N°: 04

SHEET N°: 4 of 15  
JOB N°: 2509026M

**NOTES:**  
EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.  
DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.  
CEILING INSULATION TO HOUSE & GARAGE TO NCC REQUIREMENTS AS PER ADDENDA.  
28c CEILINGS UNLESS OTHERWISE NOTED.

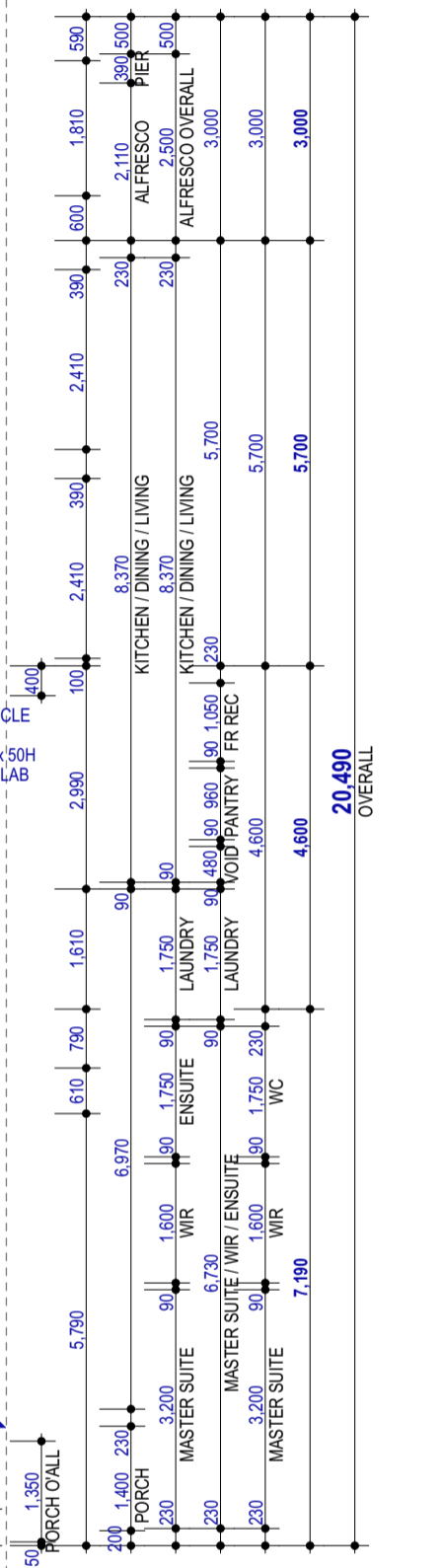
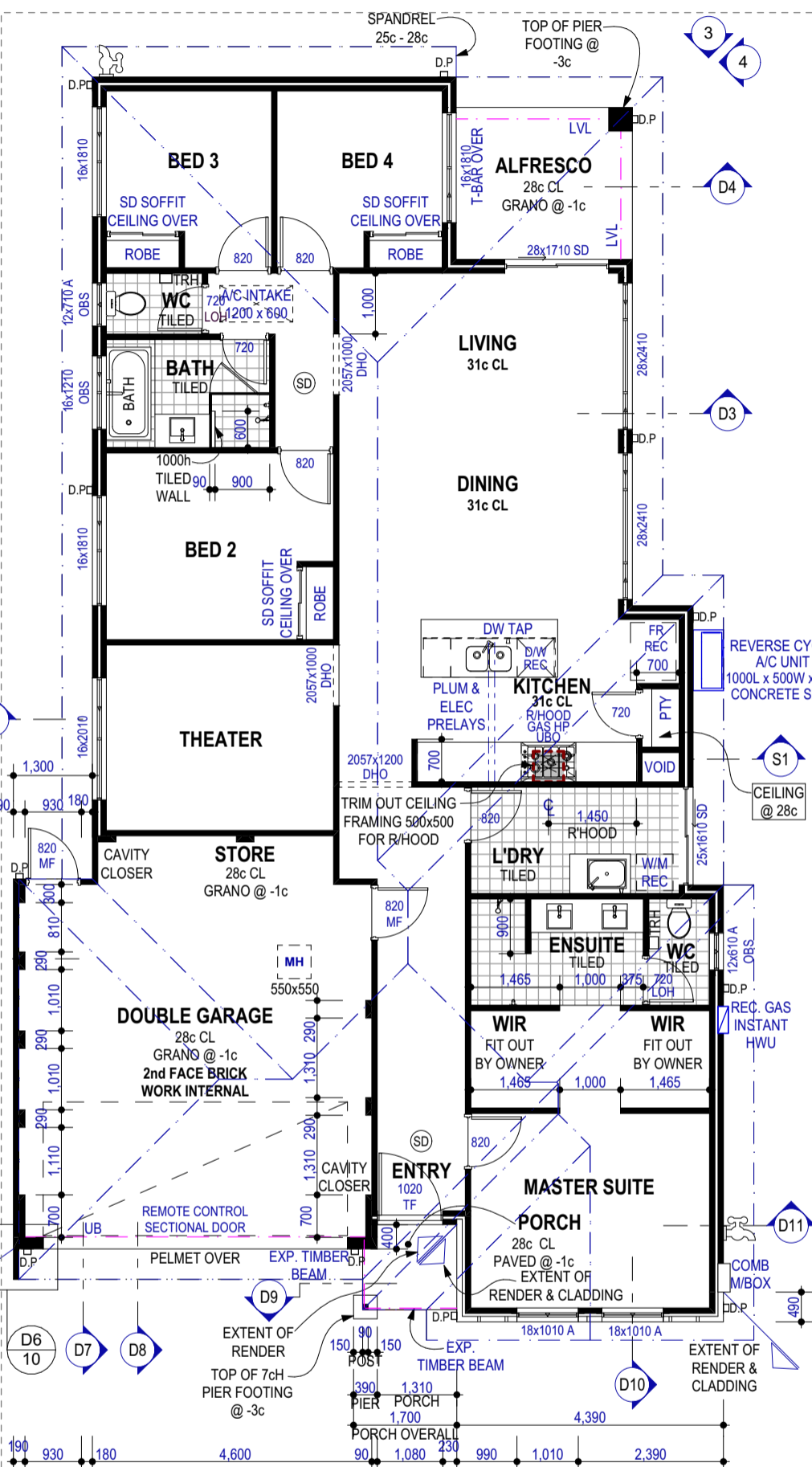
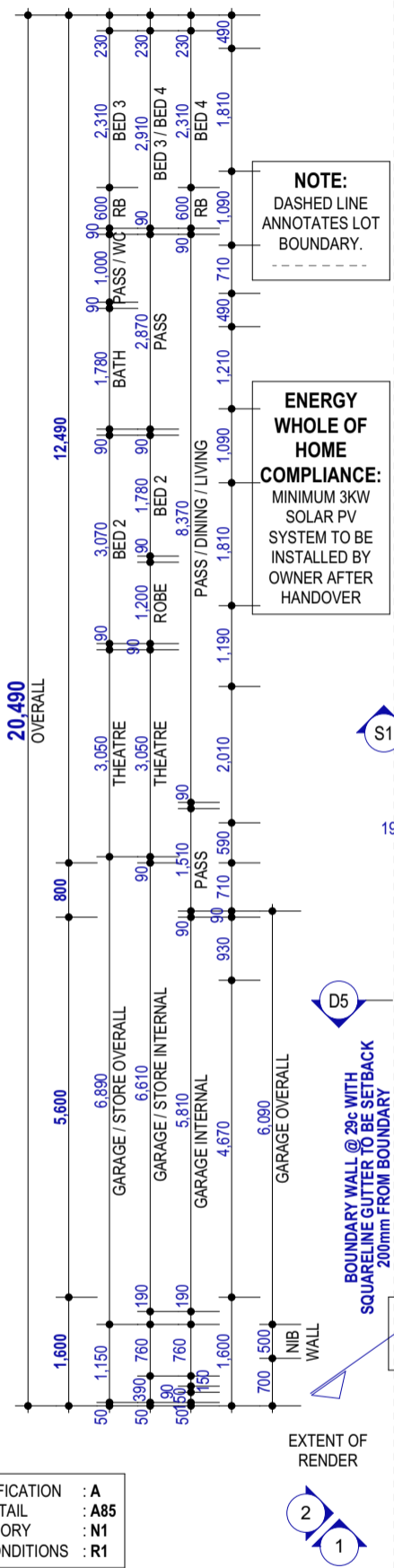
**INTERNAL WALL NOTE:**  
INTERNAL WALLS TO BE PAINTED DRY LINED THROUGHOUT UNLESS NOTED OTHERWISE.



**FIXING CARPENTER NOTE:**  
ROBES:  
1x 450d SHELF & RAIL @ 1750  
PANTRY:  
4x 450 SHELVES @400 CTS  
TOP SHELF @1750  
**NOTE:** UPRIGHT SUPPORT PANELS REQUIRED FOR SHELVING EXCEEDING 1800mm. EXACT LOCATIONS DETERMINED ON SITE AT FIXING CARPENTERS DISCRETION

**FULL CAVITY INSULATION:**  
FULL CAVITY INSULATION TO ALL CAVITY WALLS THROUGHOUT.

**ROOF PLUMBER NOTES:**  
DOWNPIPES & GUTTERS TO COMPLY WITH AS3500.3 & HOUSING PROVISIONS PART 7.4 (INCL. WA ADDITIONS)



SITE CLASSIFICATION : A  
FOOTING DETAIL : A85  
WIND CATEGORY : N1  
COASTAL CONDITIONS : R1

**FLOOR COVERING NOTE:**  
REFER TO ADDENDA FOR FLOOR COVERING SPECS.

AREAS		
Name	Area	Perimeter
ALFRESCO	7.250	10.800
GARAGE	35.553	24.160
HOUSE	150.305	61.760
PORCH	2.074	5.900
STORE	3.176	9.540
	198.358 m <sup>2</sup>	

**ENGINEERS NOTE:**  
ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

**FLASHING NOTE:**  
ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHING AS PER A.S.

**PLUMBER NOTE:**  
PLUMBER TO INSTALL FLOOR WASTES WHERE REQUIRED IN ACCORDANCE WITH THE HEALTH ACT & NCC.

**BRICK LAYER NOTE:**  
RENDER TO FRONT ELEVATION: EXTENT OF ACRYLIC RENDER TO ENTIRE FRONT ELEVATION & RETURN ONLY. 2c MOULDINGS AND NOMINATED WEATHERBOARD CLADDING TO MASTER SUITE WALLS AS PER ADDENDA.

**BRICKLAYER NOTE:**  
EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)

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OWNER .....DATE.....  
BUILDER .....DATE.....

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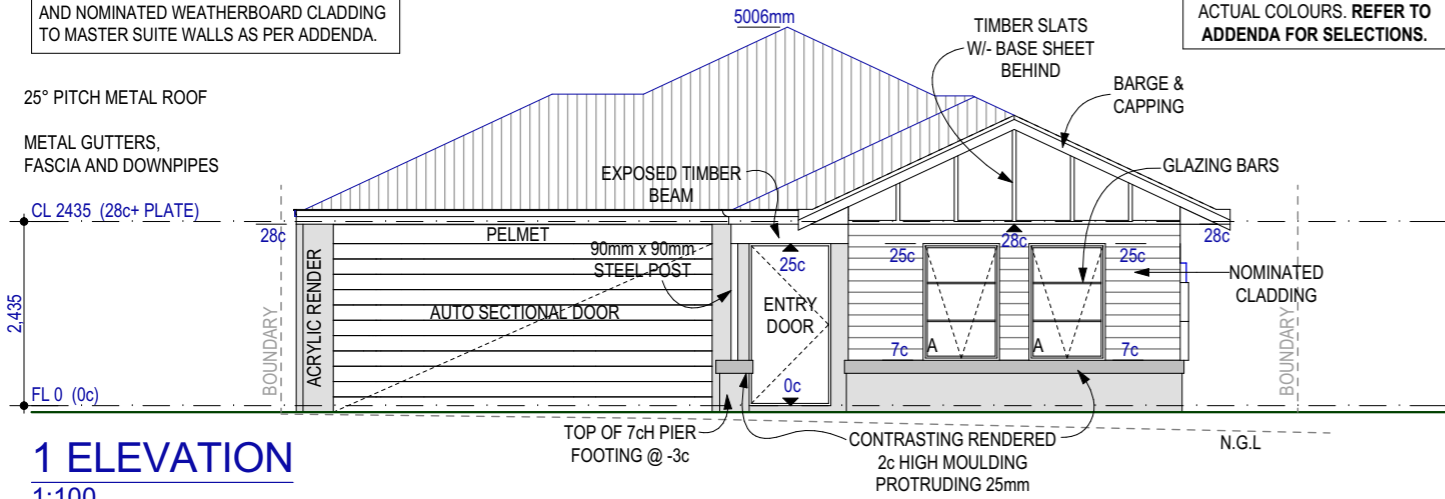
CLIENT: [REDACTED]  
SITE ADDRESS:  
**PROPOSED SSL1,  
LOT 15 (#35), COHN STREET,  
CARLISLE WA 6101**  
SALES: [REDACTED] DRAWN: [REDACTED]

**THE ARISA**  
**FLOOR PLAN**  
DATE: 4/05/2026 SHEET N°:  
SCALE: 1:100 7 of 15  
REVISION N°: 04 JOB N°: 2509026M

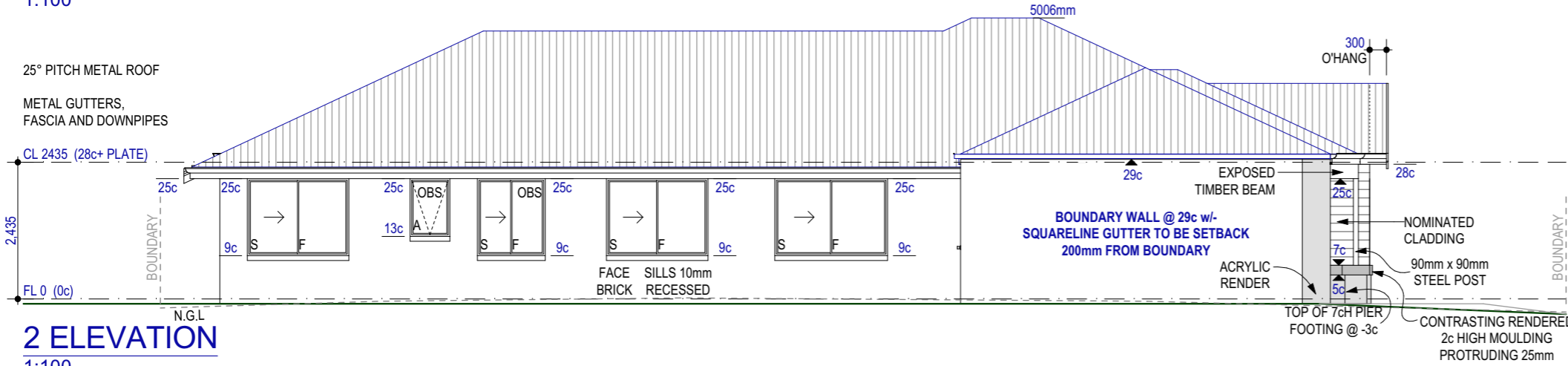
RENDER TO FRONT ELEVATION: EXTENT OF ACRYLIC RENDER TO ENTIRE FRONT ELEVATION & RETURN ONLY. 2c MOULDINGS AND NOMINATED WEATHERBOARD CLADDING TO MASTER SUITE WALLS AS PER ADDENDA.

RENDER COLOUR NOTE: SHADING DENOTES EXTENT OF CONTRASTING RENDER NOT ACTUAL COLOURS. REFER TO ADDENDA FOR SELECTIONS.

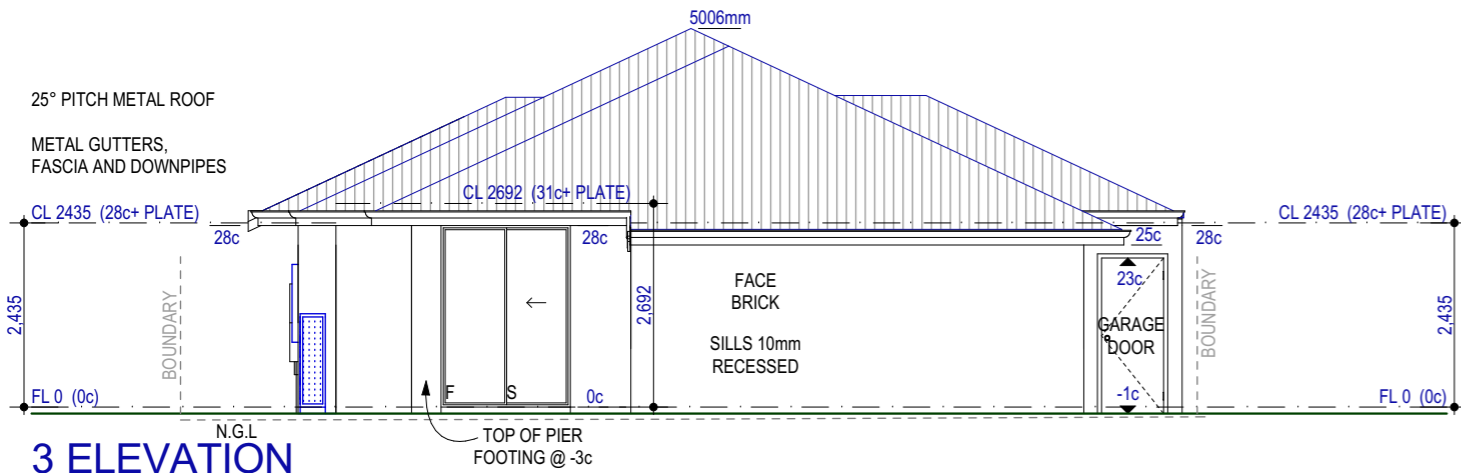
TOWN OF VICTORIA PARK  
Received: 21/05/2026  
**AMENDED PLAN**



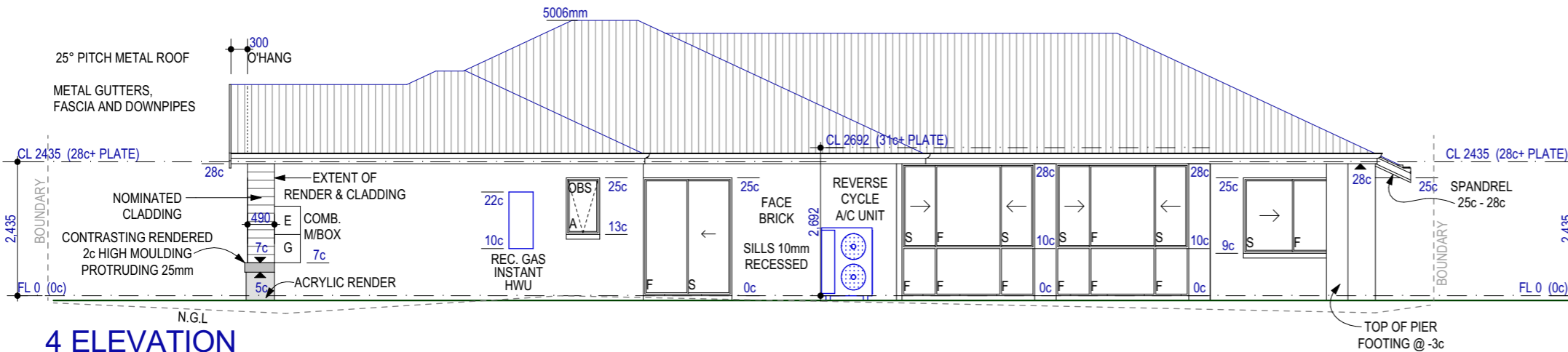
**1 ELEVATION**  
1:100



**2 ELEVATION**  
1:100



**3 ELEVATION**  
1:100



**4 ELEVATION**  
1:100

ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPSUM MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING

<b>THE ARISA ELEVATIONS</b>	
DATE: 03.02.26	REVISION N°: 04
REV: '1' 16.02.26	JOB N°: 2509026M
REV: '2' ENERGY	DATE: 4/05/2026
REV: '3' PLANNING AMENDMENTS	SCALE: 1:100
REV: '4' PLANNING AMENDMENTS	SHEET N°: 8 of 15
REV: '5' PLANNING AMENDMENTS	DATE: 24.03.26
REV: '6' PLANNING AMENDMENTS	DATE: 15.04.26
REV: '7' PLANNING AMENDMENTS	DATE: 15.04.26
REV: '8' PLANNING AMENDMENTS	DATE: 15.04.26
REV: '9' PLANNING AMENDMENTS	DATE: 15.04.26

CLIENT: [REDACTED]

SITE ADDRESS: **PROPOSED SSL1, LOT 15 (#35), COHN STREET, CARLISLE WA 6101**

SALES: [REDACTED] DRAWN: [REDACTED]

DESCRIPTION: CONTRACT + SCV + S/O1

DESCRIPTION: ENERGY

DESCRIPTION: PLANNING AMENDMENTS

DESCRIPTION: PLANNING AMENDMENTS

OWNER: ..... DATE: .....

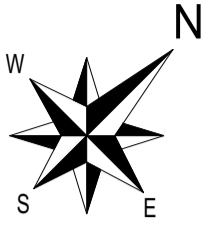
OWNER: ..... DATE: .....

BUILDER: ..... DATE: .....

**redink**

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LOT 15 (PROPOSED S/L1) 337.51m<sup>2</sup>



**LANDSCAPE LEGEND**  
(LANDSCAPING NOT PART OF REDINK HOMES CONTRACT)

- Grass
- Paving
- Mulch (min. 100mm thick layer)
- Screening shrubs (pot size 5 litres)  
Adenanthos "Albany woolly Bush"  
Supplier: Guildford Garden Center (QTY:28)
- Plants (pot size 70 litres)  
Myrtaceae "Lemon-scented Myrtle"  
Supplier: Guildford Garden Center (QTY:22)
- Small Tree (pot size 50 litres)  
Eucalyptus Tallerack (QTY: 1)  
Supplier: Muchea Tree Farm

**SOFT LANDSCAPING TO DEVELOPMENT**

REQUIRED: 15% (50.62m<sup>2</sup>)  
ACHIEVED: 15.71% (53.04m<sup>2</sup>)

**SOFT LANDSCAPING TO PRIMARY STREET SETBACK**

REQUIRED: 30% (24.13m<sup>2</sup>)  
ACHIEVED: 32.52% (26.17m<sup>2</sup>)



**TREE RETENTION & PROTECTION NOTE:**  
EXISTING VERGE TREE TO REMAIN. TREE TO BE PROTECTED AS PER AS4970, INCLUDING 1.8m HIGH FENCING AROUND THE TREE. PROTECTION ZONE TO THE TREE MUST REMAIN IN PLACE DURING ALL SITE & CONSTRUCTION WORKS, AS PER SHIRE REQUIREMENTS. NO VEHICLES, MATERIALS OR EQUIPMENT IS TO BE STORED OR WASHED DOWN WITHIN THIS ZONE.  
  
(EXTENT OF PROTECTION ZONE TO BE CONFIRMED BY SHIRE).

ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPROCK MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNER .....DATE.....  
OWNER .....DATE.....  
BUILDER .....DATE.....

VARIATIONS:  
REV: DESCRIPTION:  
'1' CONTRACT + SCV + SV01  
'2' ENERGY  
'3' PLANNING AMENDMENTS  
'4' PLANNING AMENDMENTS  
'5'  
'6'  
'7'  
'8'  
'9'

DATE:  
03.02.26  
16.02.26  
24.03.26  
15.04.26

CLIENT:  
SITE ADDRESS:  
**PROPOSED SSL1,  
LOT 15 (#35), COHN STREET,  
CARLISLE WA 6101**  
SALES: DRAWN:

**THE ARISA  
LANDSCAPE PLAN**

DATE: 4/05/2026  
SCALE: 1:200  
REVISION N°: 04  
SHEET N°: 5 of 15  
JOB N°: 2509026M