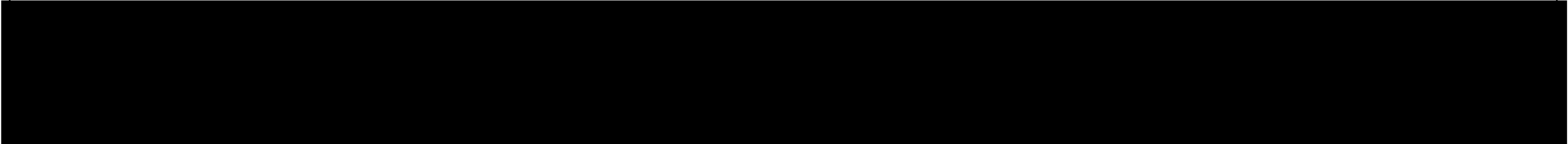


Sheet Index				
Layout ID	Layout Name	Issue Date	Revision	Remark
	COVER	6/10/2025 12:10 PM	D	
A 100	SITE PLAN	6/10/2025 12:10 PM	D	
A 101	SITE SURVEY	6/10/2025 12:10 PM	D	
A 200	EXISTING - GROUND FL	6/10/2025 12:10 PM	D	
A 201	EXISTING - UPPER FL	6/10/2025 12:10 PM	D	
A 202	DEMOLITION PLAN - GROUND FL	6/10/2025 12:10 PM	D	
A 203	DEMOLITION PLAN - UPPER FL	6/10/2025 12:10 PM	D	
A 204	PROPOSED - GROUND FL	6/10/2025 12:10 PM	D	
A 205	PROPOSED GROUND FOOR	6/10/2025 12:10 PM	D	
A 206	PROPOSED - UPPER FL	6/10/2025 12:10 PM	D	
A 300	ELEVATIONS	6/10/2025 12:10 PM	D	
A 301	ELEVATIONS	6/10/2025 12:10 PM	D	

RENOVATION/ADDITION
PLANNING APPROVAL
36a GEDDES STREET

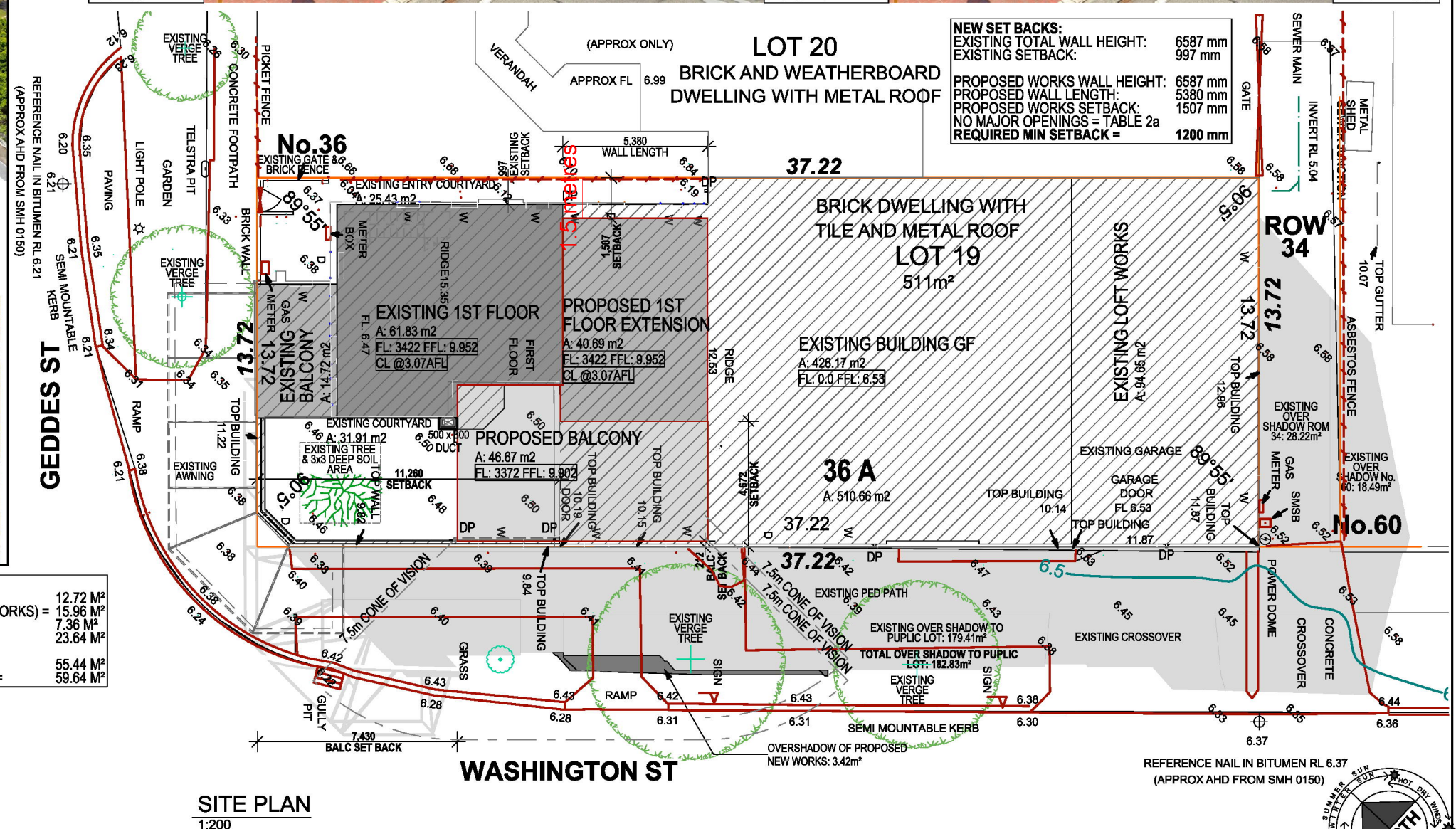


PHOTOS - EXISTING EXTERIOR

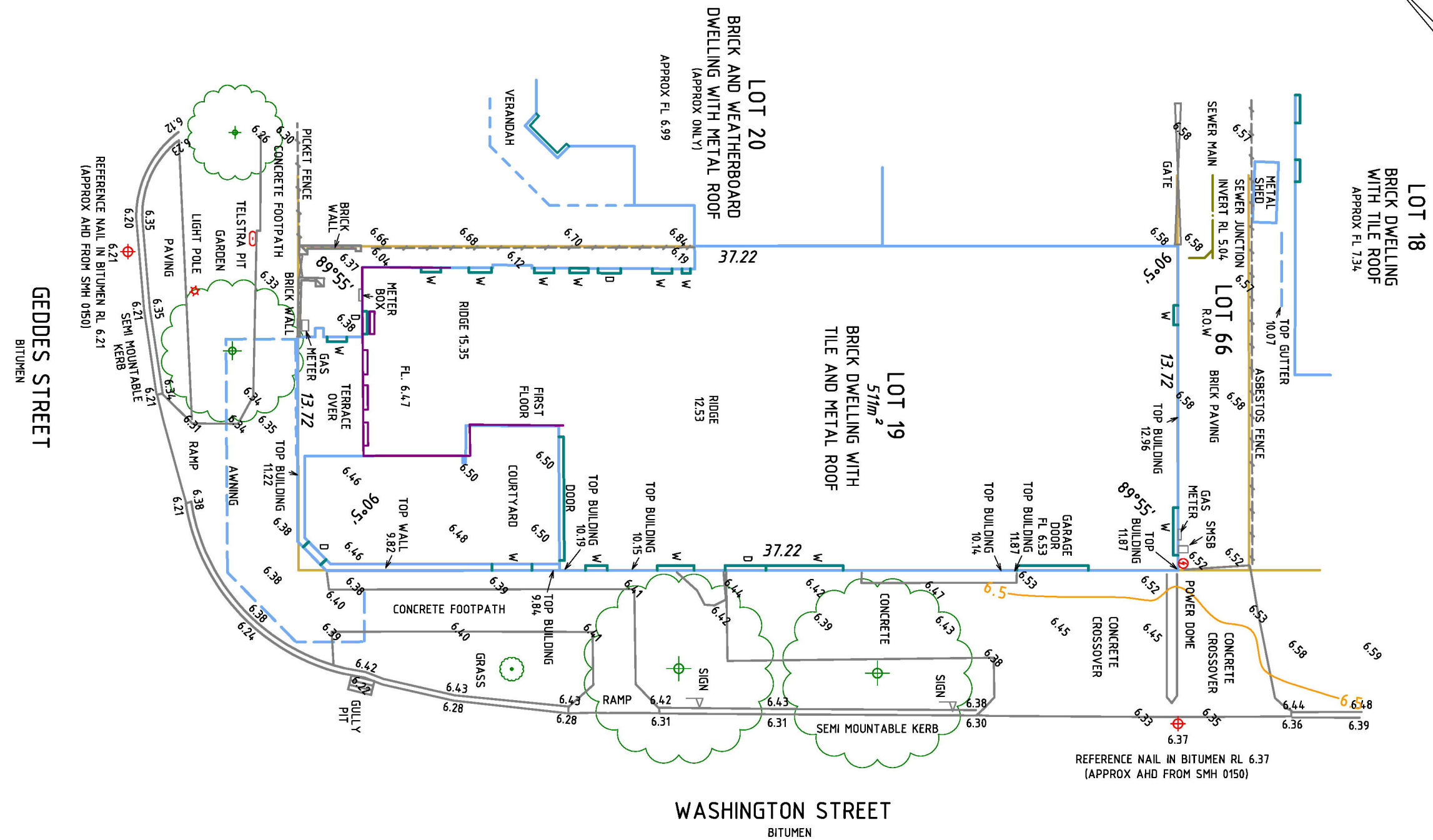
AREAS	
NAME	AREA M ²
36 A	255.33
EXISTING BUILDING GF	426.17
EXISTING COURTYARD	15.96
EXISTING ENTRY COURTYARD	12.72
EXISTING 1ST FLOOR	31.08
EXISTING BALCONY	7.36
EXISTING LOFT WORKS	94.65
PROPOSED 1ST FLOOR EXTENSION	20.34
PROPOSED BALCONY	23.33

NOTE:
NEW WORKS AND DOWNPIPES TO BE
CONNECTED TO EXISTING STORMWATER
SYSTEM - SUBJECT TO ON SITE ASSESSMENT

OPEN SPACE:	
EXISTING ENTRY COURTYARD:	12.72 M ²
EXISTING COURTYARD: 35.36 - 19.4 (UNDER NEW WORKS) =	15.06 M ²
EXISTING BALCONY:	7.38 M ²
PROPOSED BALCONY:	23.64 M ²
EXISTING OPEN SPACE: 35.36+12.72+7.36=	55.44 M ²
PROPOSED OPEN SPACE: 12.72+15.96+7.32+23.64=	59.64 M ²



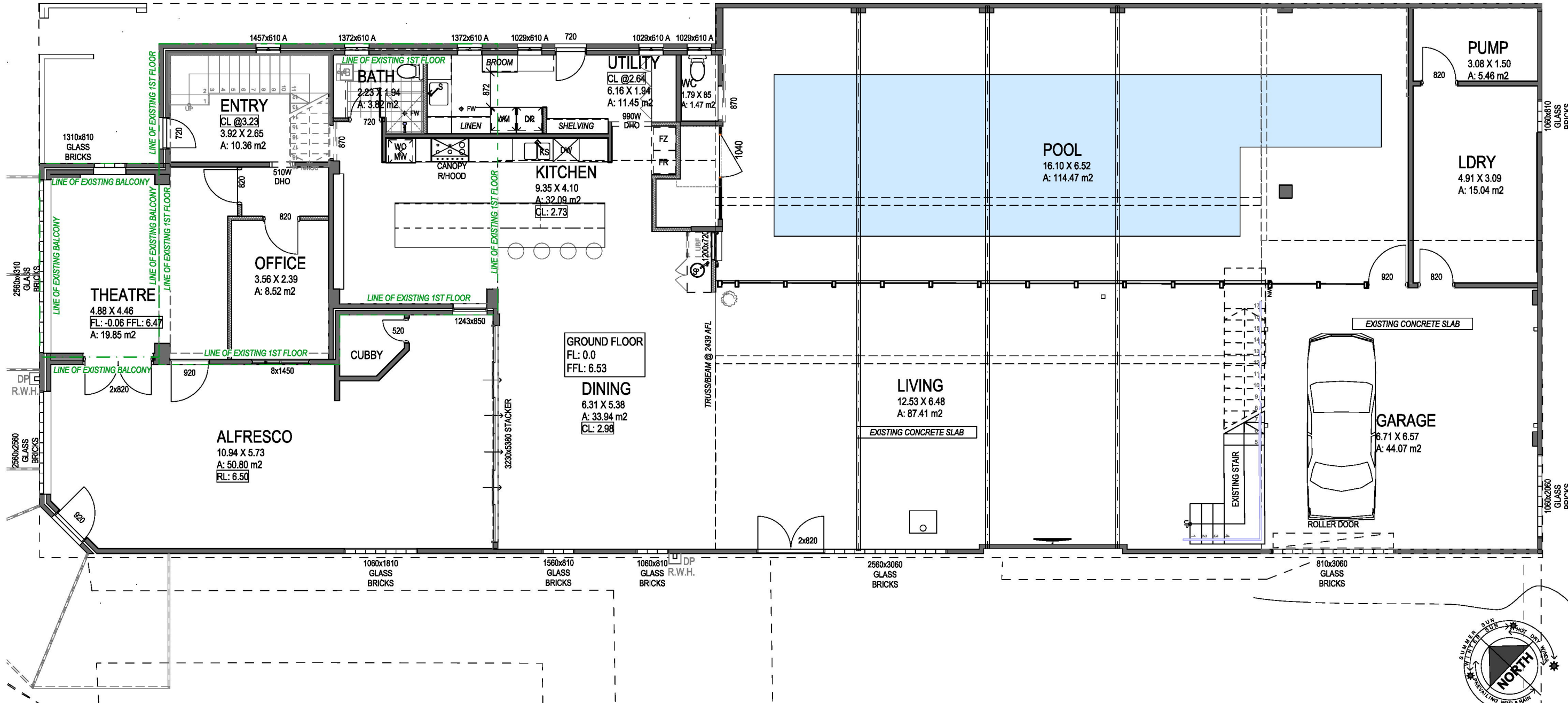
06-10-2025 - RE-ISSUED FOR PLANNING APPROVAL ONLY



DIAL 1100 BEFORE YOU DIG
POWER - UNDERGROUND
WATER - YES
SEWERAGE - YES
GAS - YES
TELSTRA - YES
HYDRANTS - REFER TO WATER CORP E-PLAN
DRAINAGE - GOOD
ROAD - BITUMEN
KERB - SEMI MOUNTABLE
FOOTPATH - LOCATED
VIEWS - PARK VIEWS
OVERHANGING TREES - LOCATED
SIGNIFICANT ENCROACHMENTS - NONE
BUSH FIRE PRONE AREA - NO

EXISTING MATERIALS

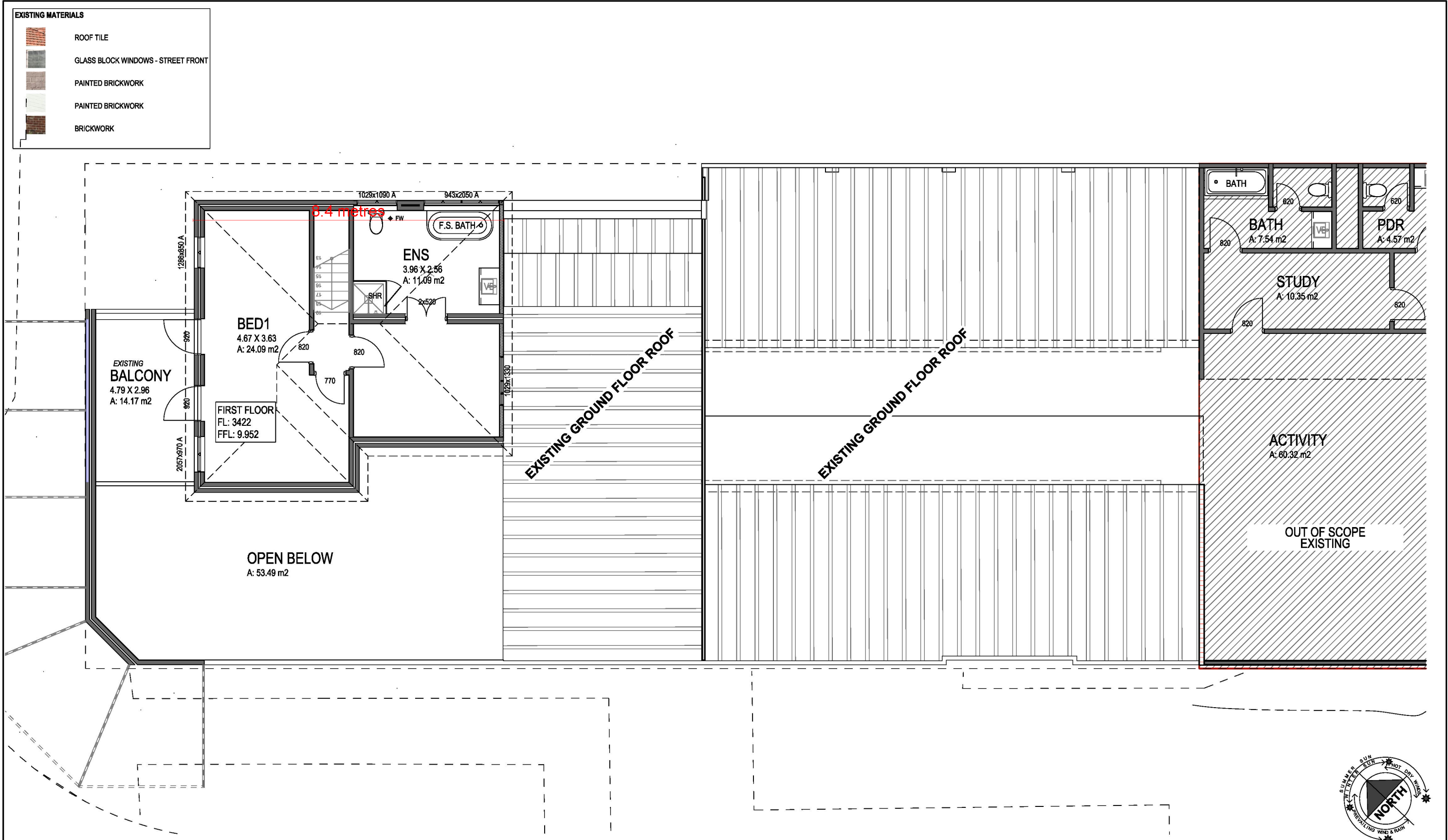
- ROOF TILE
- GLASS BLOCK WINDOWS - STREET FRONT
- PAINTED BRICKWORK
- PAINTED BRICKWORK
- BRICKWORK



EXISTING GROUND FLOOR PLAN
1:100

06-10-2025 - RE-ISSUED FOR PLANNING APPROVAL ONLY







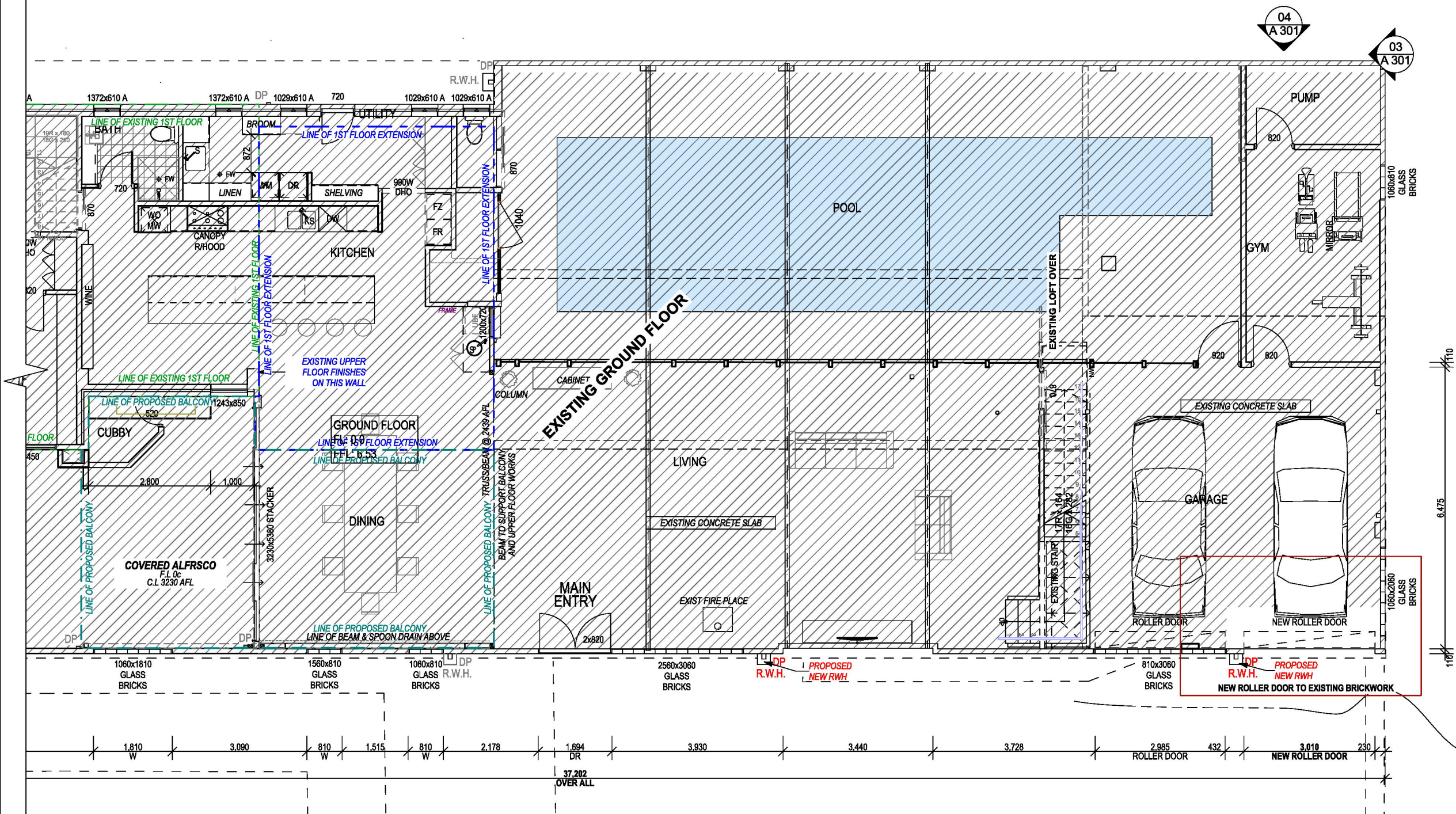
NOTE:
EXISTING STRUCTURE MAY BE UNSTABLE. ALL
NEW WORKS TO BE CARRIED OUT WITH RE-
INFORMENTS OF EXISTING STRUCTURAL
MEMBERS AND NEW STRUCTURAL MEMEBERS
TO ENGINEERS SPECIFICATIONS AND DETAILS.



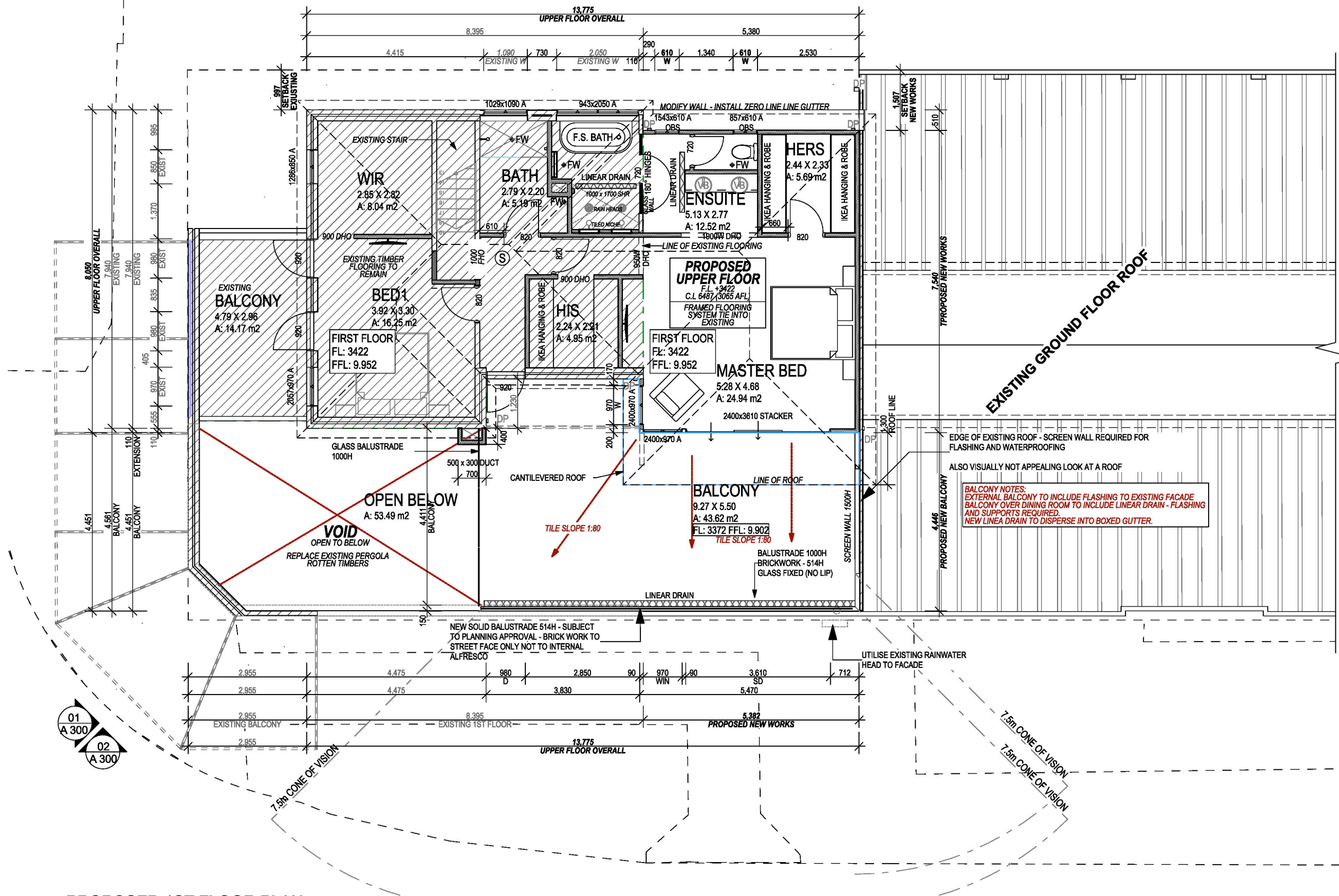
06-10-2025 - RE-ISSUED FOR PLANNING APPROVAL ONLY

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PROPOSED GROUND FLOOR PLAN



BRICKLAYER:
-Brickwork as indicated on floor plan
-Termite barrier to A.S 3660.

ROOF CARPENTER:
 -Roof pitch various. Refer to elevations
 -Roof timbers as per A.S. 1684
 -Hardiflex ceiling to garage and external areas unless noted otherwise

WINDOWS:

- Window restrictions and permanent screens to A.S.4220.2/ bedroom provisions.
- Restriction of opening to 125mm to openings above 865mm
- No restriction above 1700mm
- Climbable element below 865mm permanent screen

ROOF PLUMBER:
-Gutters compliant to 3.5.2 NCC
-Position of downpipes indicated only, final position to be determined by roof plumber on site

INSULATION:
 -Ceiling insulation as specified in Energy Efficiency report
 -Wall insulation as specified in Energy Efficiency report
 -In Floor insulation as specified in Energy Efficiency report

SANITARY COMPARTMENTS (W.C.):
-Lift of hinges as per NCC part 3.8.3.3 shall be provided as indicated on plans by 'WC' doors.

SMOKE DETECTORS:
-Hard wired & interconnected smoke detectors as noted to NCC 3.7.2 and A.S.3786

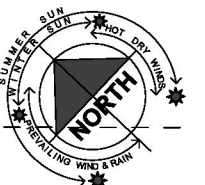
WET AREAS:
-Waterproofing to 3.8.1 NCC and relevant A.S 3740

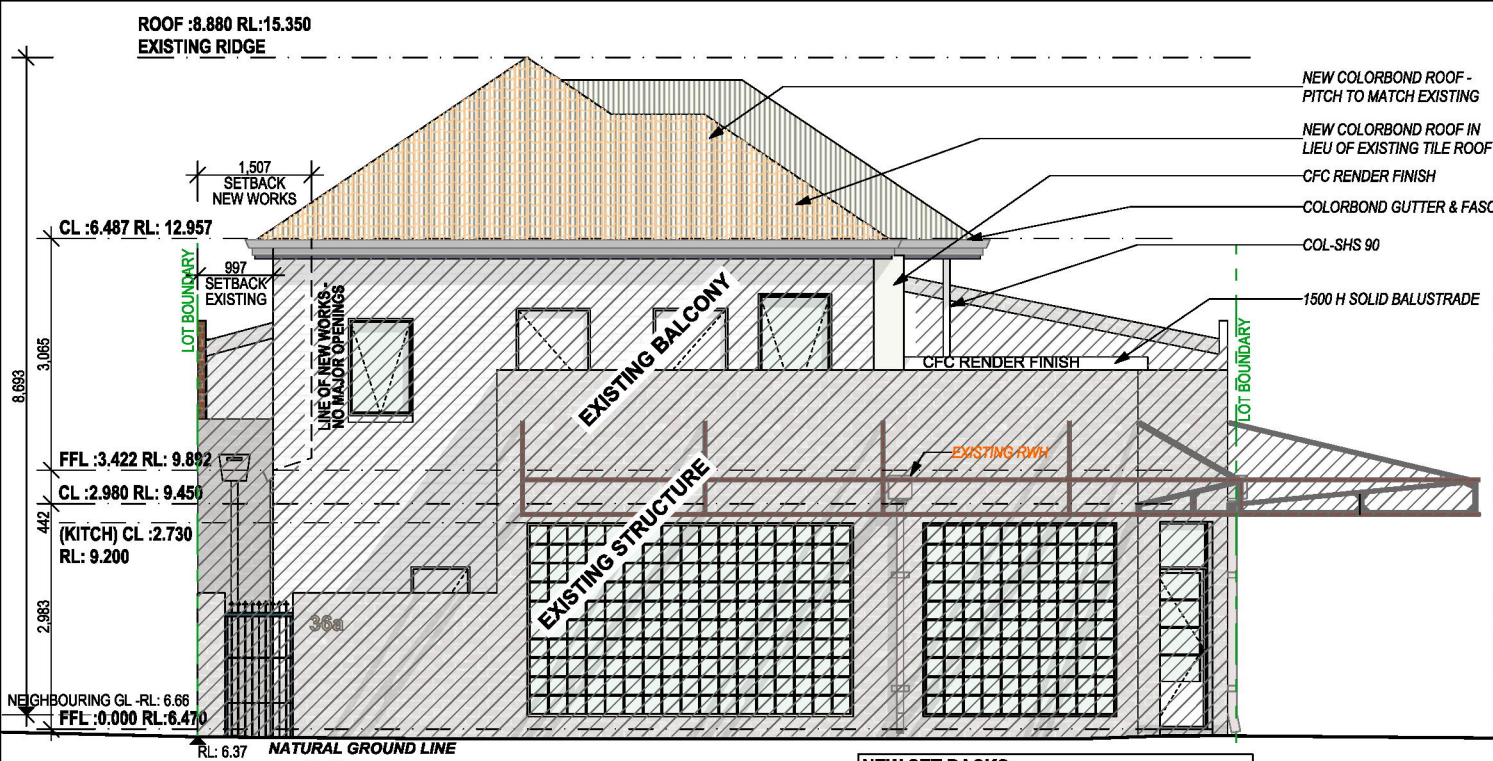
POOL BARRIERS:
-Pool security and barrier protection to A.S 1266.1 and A.S. 1288

BUILDERS NOTE:

- All drawings should be read in conjunction with engineers details & energy report
- In the case of parapet walls, relevant boundaries should be re pegged prior to commencement of the works
- It is the builders responsibility to gain necessary building permits including and not limited to the council & the water corporation prior to commencement of the works

NOTE:
EXISTING STRUCTURE MAY BE UNSTABLE. ALL
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TO ENGINEERS SPECIFICATIONS AND DETAILS.





01
A 204

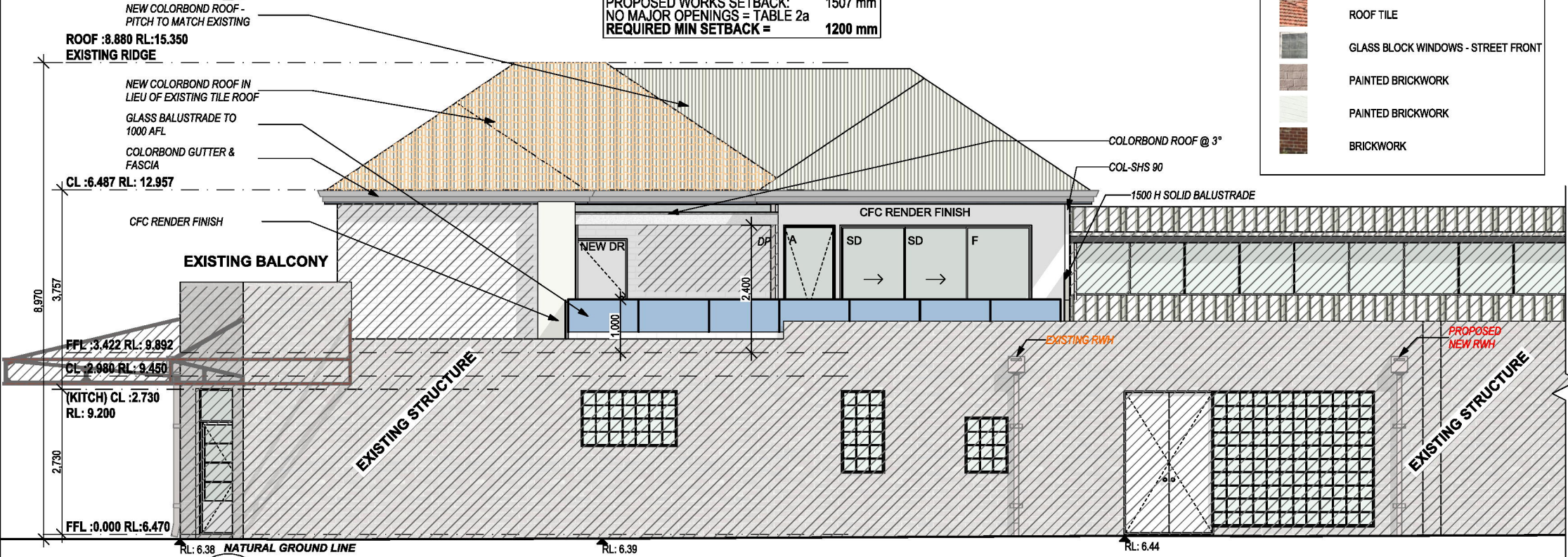
ELEVATION 01
Scale 1:100

NEW SET BACKS:
EXISTING TOTAL WALL HEIGHT: 6587 mm
EXISTING SETBACK: 997 mm
PROPOSED WORKS WALL HEIGHT: 6587 mm
PROPOSED WALL LENGTH: 5380 mm
PROPOSED WORKS SETBACK: 1507 mm
NO MAJOR OPENINGS = TABLE 2a
REQUIRED MIN SETBACK = 1200 mm



EXISTING MATERIALS	
	ROOF TILE
	GLASS BLOCK WINDOWS - STREET FRONT
	PAINTED BRICKWORK
	PAINTED BRICKWORK
	BRICKWORK

PROPOSED MATERIALS	
	COLORBOND ROOF - COLOUR TBC
	ALUMINIUM DOOR & WINDOW FRAMES - COLOUR TO MATCH EXISTING
	COMPRESSED FIBRE CEMENT - RENDER FINISH - COLOUR TBC



02

ELEVATION 02
Scale 1:100

