

27th June 2025

Town of Victoria Park
Locked bag 437
VICTORIA PARK, WA 6979

Dear Sir/Madam,

Justification Statement for Proposed Works at 36A Geddes Street, Victoria Park
Character Retention Area – Raphael Residential Precinct

Please find attached the plans for the above-listed address. The following justifications, and building protection and safety items are addressed below in the following items:

1. *Design Intent and Introduction*
 2. *Architectural Character and Existing Built Form*
 3. *Response to Character objectives of LPP25 (Local Planning Policy 25)*
 4. *Structural Condition and Remedial Rationale*
 5. *Roofline and Massing*
 6. *Stormwater Management and Façade-Mounted Downpipes*
 7. *Façade Integrity and Streetscape Preservation*
 8. *Vehicle Access and Functionality*
 9. *Landscaping and Environmental Integration*
 10. *Summary and Planning Conclusion*
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1. Introduction

This justification supports a proposed residential addition and remedial works at 36A Geddes Street, located within the Raphael Residential Precinct of the Town of Victoria Park. While the subject site is not heritage-listed, it is situated within a **Character Retention Area** and is therefore subject to the provisions of **Local Planning Policy 25 (LPP 25)**. The design responds sensitively to the surrounding context, retaining the architectural language of the building while addressing urgent safety, structural and functional requirements.

The existing building reflects a blend of Art Deco and Federation Bungalow influences, with parapet walls, glass bricks, and fine brick detailing contributing to its distinct character. These features will be retained and celebrated through a carefully considered upper-floor addition, recessed behind the façade and constructed in lightweight materials to minimise structural stress.

The proposed works aim to respect the character of the precinct while adapting the home to suit contemporary family needs, all without negatively impacting the existing streetscape or the built form rhythm of either Geddes or Washington Street.



Image – aerial view Google Maps

2. Architectural Character and Existing Built Form

Constructed in the 1930s, the existing dwelling exhibits a transitional design typology that draws from both Art Deco and Federation styles. The parapet façade and rendered quoining speak to the Deco tradition, while the internal roof lines, ceiling heights and detailing lean more toward the Federation Bungalow model. This architectural duality forms a strong contribution to the eclectic streetscape that defines the Raphael precinct.

Notably, the dwelling presents a strong built form to both Geddes and Washington Streets, with parapet walls, metal awnings, and decorative glazing, giving it a striking street presence. The proposed works maintain this expression by ensuring that all additions are nestled behind the façade and do not dominate public viewpoints.



Image - Existing Façade – Geddes Street

Image – Existing Façade – Washington St



Image – Existing Façade – Geddes Street



Image – Existing Façade – Geddes St

3. Response to Character Objectives of LPP 25

LPP 25 emphasises the importance of preserving principal design elements and enhancing established streetscape character, without resorting to pastiche or mimicry. The proposed design aligns with these goals by preserving the original parapet walls and façades, avoiding any changes that would alter the street-facing architectural language.

The upper-floor extension is recessed and of a lesser scale when compared to the existing massing, ensuring that the visual dominance of the original building remains intact. Where new materials are introduced, they are selected to either match or sensitively complement the original palette, including the proposed use of light-coloured render to match existing brickwork and Colorbond roofing in a colour similar to the existing tiles.



Image- Proposed Views – Existing facade and New works imposed (Artist's Impression)

4. Structural Condition and Remedial Rationale

Following the acquisition, the current owners commissioned a comprehensive structural review of the property, which revealed several critical issues affecting the long-term integrity and safety of the building. These issues are largely the result of age, inadequate past alterations, and poor detailing in the original construction. The most pressing concerns identified include extensive cracking of the upper-level walls and ceilings, displacement of roof tiles, and corrosion of single-level roof sheeting. The latter is primarily due to the improper layering of sheet metal and insulation materials, which has compromised the roof's effectiveness and accelerated degradation.

Further investigation revealed water ingress originating from internal pipework, contributing to ceiling and wall damage, as well as significant biological intrusion. Vegetation roots have been found penetrating both the concrete slab and masonry walls along the front façade, undermining structural elements and leading to rising damp, slab deformation, and associated mould development. These combined failures now pose both structural and health risks to occupants.

The cumulative impact of these conditions is directly related to the excessive structural load imposed by the original tiled roof, compounded by an aging and inefficient drainage system. The combined loading, water retention, and organic intrusion exceed the building's original design tolerances, necessitating immediate intervention.

To resolve these issues and ensure a stable and healthy living environment, the following measures form part of the proposed works:

- Replacement of the tiled roof on the upper floor with **lightweight Colorbond cladding**, reducing overall load and preventing further structural stress.
- Construction of the upper floor extension in **light steel framing**, providing strength without burdening the existing masonry structure.
- **Removal and replacement of compromised floor slabs** within ground-floor living areas to eliminate root intrusion and rectify rising damp conditions.
- **Isolation of the new structural elements** from the original fabric wherever practical, allowing the existing building to perform independently and minimising risk of further cracking or displacement.
- Introduction of **weatherproofing upgrades** to the upper-level balcony to prevent further water penetration into the ceiling below, addressing both liveability and health concerns.

These remedial and structural upgrades are essential to the long-term viability of the dwelling and have been planned to complement the building's existing character, while protecting the safety, comfort, and well-being of its occupants.



Image – Plaster damage and mould to inside face of façade parapet wall



Image – Existing opening damaged by water



Image – Existing broken boxed gutter



Image – Existing slab evidence of cracking and inadequate patching due to be replaced



Image – Rising damp existing slab



Image – Existing roof corroded and broken



Image – Existing plaster cracking water and roots damage



Images – Existing Façade tarps in place over existing balcony to protect from further weather damage – Geddes Street

5. Roofline and Massing Compatibility

The existing residence currently includes two roof types: a 28-degree pitched tile roof over the original bedroom wing and a 12-degree Colorbond roof over the living and garage areas. The proposed addition extends the 28-degree roof form, replacing the tile with Colorbond to achieve a uniform appearance, reduce weight, and simplify for future maintenance.

The roof form retains traditional eave depths and open rafters where exposed, ensuring consistency with neighbouring properties and compliance with LPP 25 guidelines. A recessed balcony is included in the upper-level design but concealed behind the parapet, minimising visual impact from the street while allowing passive surveillance.



Image – Existing aerial view

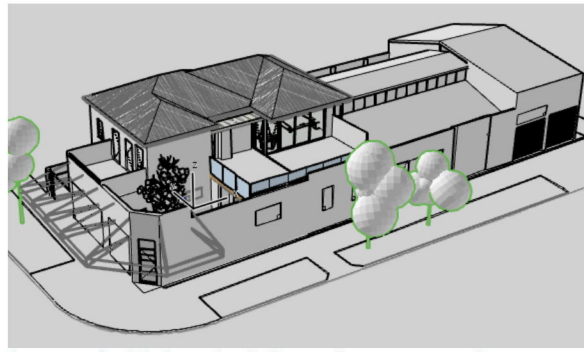


Image – Aerial view of existing and new proposed



Image – Perspective view of model

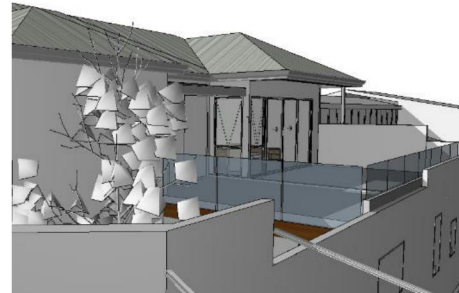


Image – view new balcony behind parapet wall

6. Stormwater Management and Façade-Mounted Downpipes

As part of the remedial works, a critical issue identified was the failure of the existing boxed gutters and internal stormwater pipes. These have led to substantial water ingress within the building, resulting in plaster damage, mould growth, and ceiling deterioration. The proposal addresses this through a pragmatic yet aesthetically sensitive solution: the use of **external façade-mounted downpipes**.

The existing downpipes, already located along the parapet façade, will be retained and supplemented with **additional downpipes** that match in material and profile to ensure cohesive integration. These visible stormwater elements will be finished in complementary tones and will respect the visual alignment of the existing parapet articulation.

By relocating all roof drainage to the exterior, the proposal:

- Improves access for maintenance
- Reduces the risk of future internal water damage
- Preserves internal ceiling and wall structures
- Enhances long-term occupant health and safety

This approach also aligns with LPP 25's allowances for building services, where they are appropriately screened or visually resolved within the architectural language of the building.



Images – Existing downpipes on the external Façade – Geddes Street and Washington St



Image – Existing Parapet wall and water damage



Image – view of front façade damage, internal, water and mould and plant root Existing Façade – Washington Street



Image– Existing boxed gutter
Broken gutter



Image– Existing glass blocks to façade
shows evidence of water damage boxed



Image– shows extent of damage



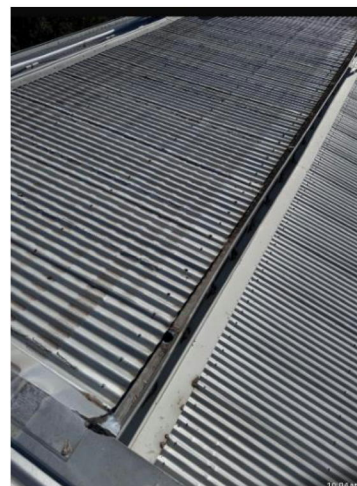
Image – Existing Façade – Washington St – water damage evident on existing wall



Image– Existing boxed gutter



Image– Existing boxed gutter



Image– Broken ridge roof line

7. Streetscape Preservation and Façade Integrity

The Geddes and Washington Street façades are retained in their entirety, including the defining parapet forms, quoining details, and glass brick elements. These details are considered essential to the contribution this dwelling makes to the character of the area, and no part of the new development compromises their visibility or form.

Any new works are kept behind the original façade line. The recessive form of the addition, coupled with its sympathetic scale and material use, ensures the building continues to contribute positively to the streetscape. The owner is seeking to re render the façade in a lighter tone to better reflect the white render of the existing upper floor – colours to be confirmed



*Image – Existing Street view –
Geddes Street and Washington st*



*Image – Proposed Façade –
Geddes Street and Washington St*

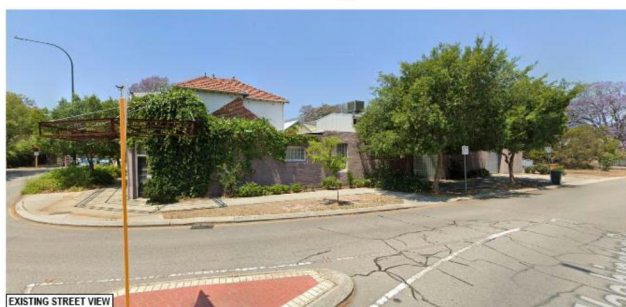


Image – Existing Façade – Washington St



Image – Proposed Façade – Proposed St

8. Vehicle Access and Functionality

The proposal includes the introduction of a new roller door to the existing garage structure facing Washington Street. This enhances the security and functionality of the dwelling without dominating the façade. The garage remains proportionate to the lot frontage and well within the 57% width threshold permitted by LPP 25.

Its design integrates fully with the existing wall and roof structure, using materials and colours consistent with the rest of the dwelling. Visibility between habitable rooms and the public realm is preserved, reinforcing passive surveillance and urban safety.



Image – Existing Façade – Washington Street

Image – Proposed Façade – Washington Street

9. Landscaping and Environmental Softening

Due to the existing parapet walls configuration on the site, there is limited opportunity for traditional front-yard landscaping. Nevertheless, the existing tree and deep soil area in the internal courtyard is to be retained, and a new pergola structure will replace degrading timber beams.

The upper-floor balcony introduces opportunities for vertical greening and potted planting, which will soften the interface of the new works and provide environmental relief to the otherwise hard material palette. Climbing vegetation along the internal walls will offer further layering of texture and seasonal variation without interrupting the façade's composition.



Image – View of existing landscaping tree in the centre of the courtyard to be protected and retained



Image – Existing Landscaping to be removed, and new landscaping to be provided to reduce further destruction of the structure

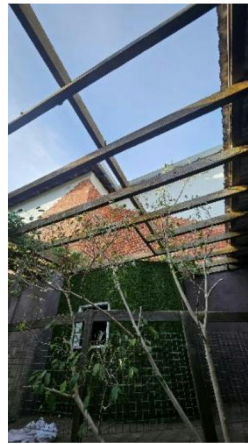


Image – Existing landscaping and patio

10. Conclusion

The proposed renovations at 36A Geddes Street represent a carefully considered and contextually appropriate response to the character expectations and planning controls of the Raphael Residential Precinct. It retains and enhances the defining architectural elements of the existing building while addressing critical structural, safety, and waterproofing issues present on-site. The design strikes a delicate balance between old and new, preserving the integrity of the streetscape while enhancing the functionality and longevity of the dwelling.

The restrained upper-floor addition, use of complementary materials, and considered approach to stormwater management reflect a strong alignment with the objectives and performance criteria of Local Planning Policy 25. Rather than detracting from the established character of the area, the proposed works seek to respectfully elevate the contribution of this residence within its urban setting.

Neighbours have been consulted regarding the proposed works, and neighbour consultation letters and signed plans are to follow.

We respectfully submit this proposal for the Council's consideration and welcome the opportunity to provide further information, drawings, or photographic documentation to support the assessment process.

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