

TOWN OF VICTORIA PARK
Received: 29/06/2026

LEGEND		POWER DOME
		POWER POLE
		PHONE PITS
		WATER CONN.
		TP=10.00 TOP WALL
		TR=10.00 TOP RETAINING
		TF=10.00 TOP FENCE
		TG=10.00 TOP GUTTER
		TW=10.00 TOP WALL
		TP=10.00 TOP WALL

CP3 MISCLOSE
0.000 m

LOT 2 MISCLOSE
0.000 m

LOT 1 MISCLOSE
0.000 m

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

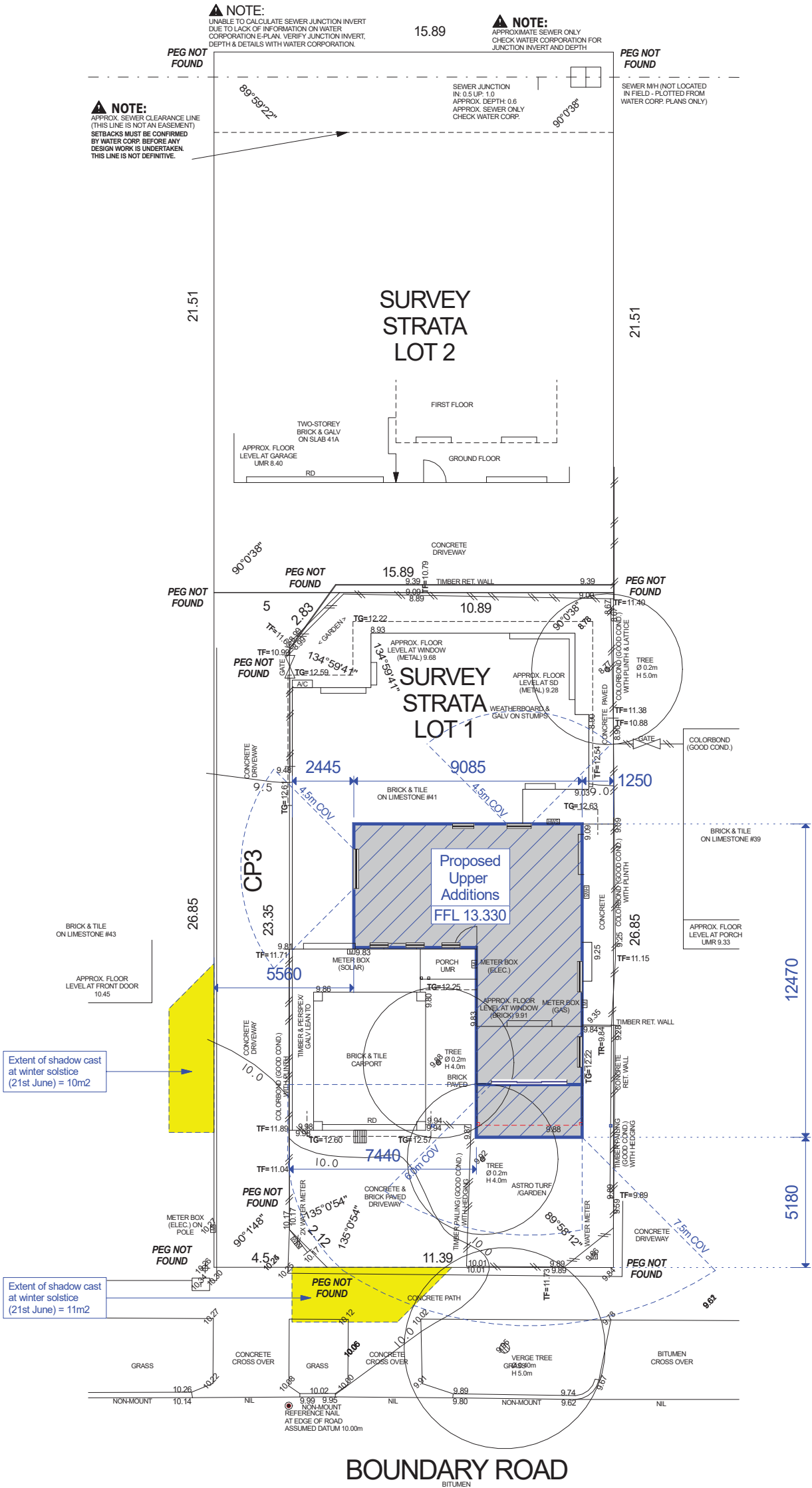
DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



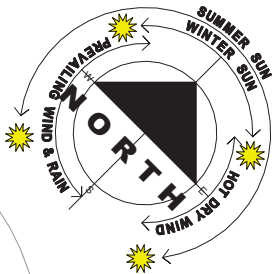
Site Plan
scale 1:100

Scale 1:200
0 2 4 6 8

EXISTING ELECTRICAL LEGEND			
	LIGHT BAYONET POINT		TV POINT 300 AFL (ONLY IN SEPARATE CONDUIT IF NOTED)
	DOWNLIGHT		FOXTEL TV POINT 300 AFL
	WALL LIGHT		SMOKE DETECTOR
	SENSOR		EXHAUST FAN FLUMED
	FLUORESCENT		EXHAUST FAN UNFLUMED
	GPO @ 300 AFL		EXHAUST FAN , HEATER , LIGHT
	GPO @ 1050 AFL		CEILING FAN
	GPO @ 1550 AFL		CEILING FAN / LIGHT
	GPO nominated		FUSE BOX
	GPO ceiling mount		COMBINED/ELECTRIC METERBOX
	waterproof GPO nominated		ALARM MAIN BOARD
	PHONE POINT NOMINATED HEIGHT AFL		ALARM CONTROL PANEL

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AREAS	
HOUSE	147.64m²
CARPORT	24.23m²
PORCH	2.71m²
TOTAL AREA	174.58m²
PERIM	60.03m



METER BOX
(ELEC.) ON
POLE

T

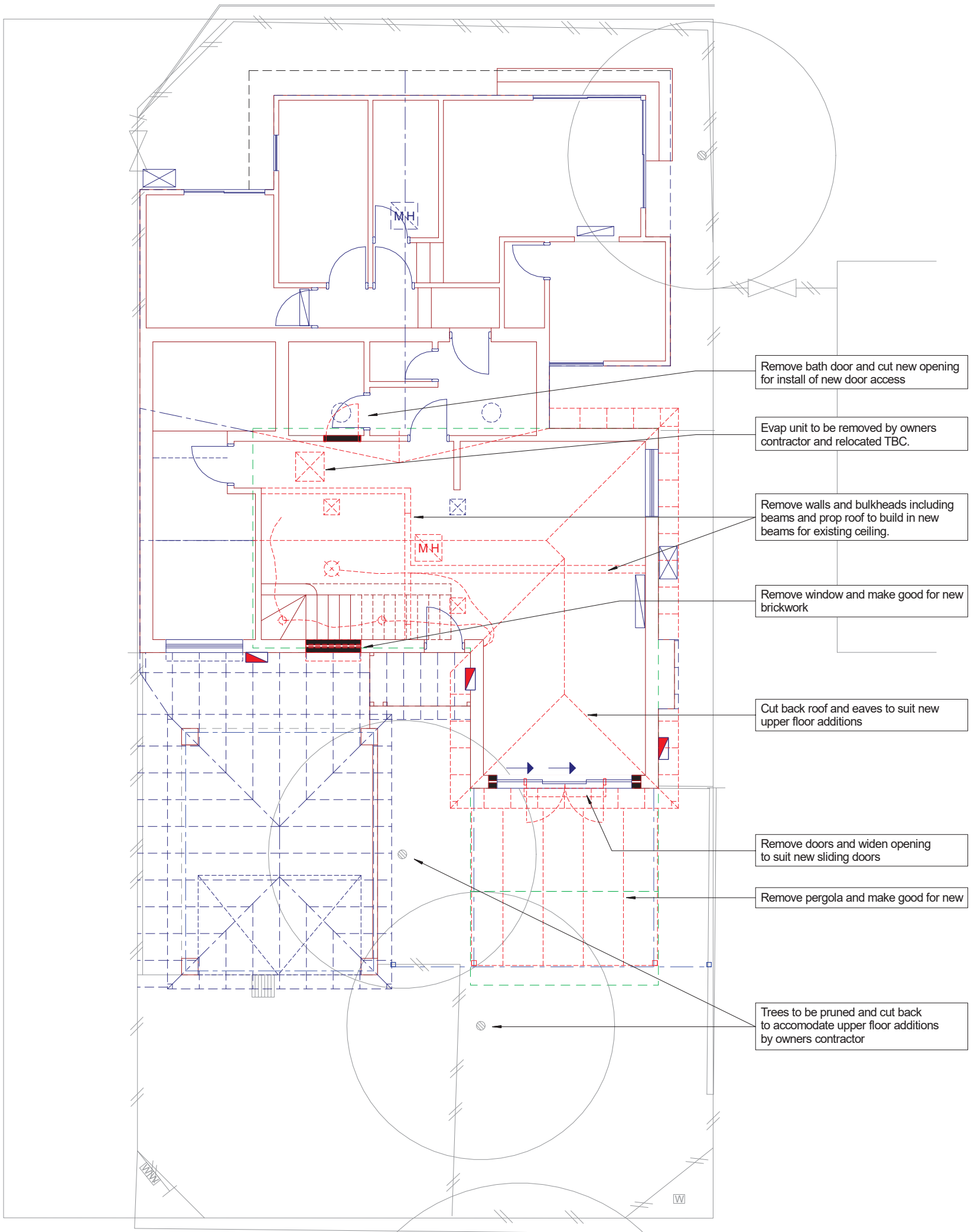
Existing Floor Plan

scale 1:100

Rev.	Date	Issue
A	16/11/2025	ISSUED FOR COMMENT
B	18/4/2026	ISSUED FOR PPA
C	22/6/2026	ISSUED FOR PLANNING

A.02
J/N:668

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Demolition Plan

scale 1:100

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A	16/11/2025	ISSUED FOR COMMENT
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SYMBOL LEGEND

- DENOTES EXISTING BRICKWORK
- DENOTES NEW 90mm BRICKWORK
- DENOTES NEW 110mm FACEBRICK
- DENOTES NEW 90mm STUDWORK
- DENOTES EXTENT OF NEW RENDER

- MH

MANHOLE FOR ROOF ACCESS
- sk

DENOTES SKYLIGHT
- a/c

DENOTES A/C VENT
- R A

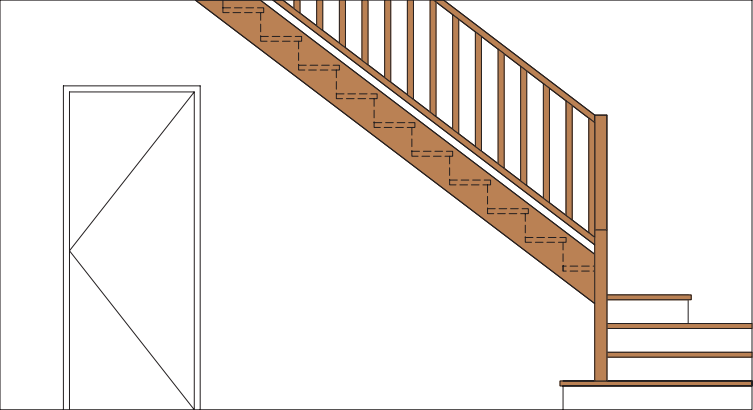
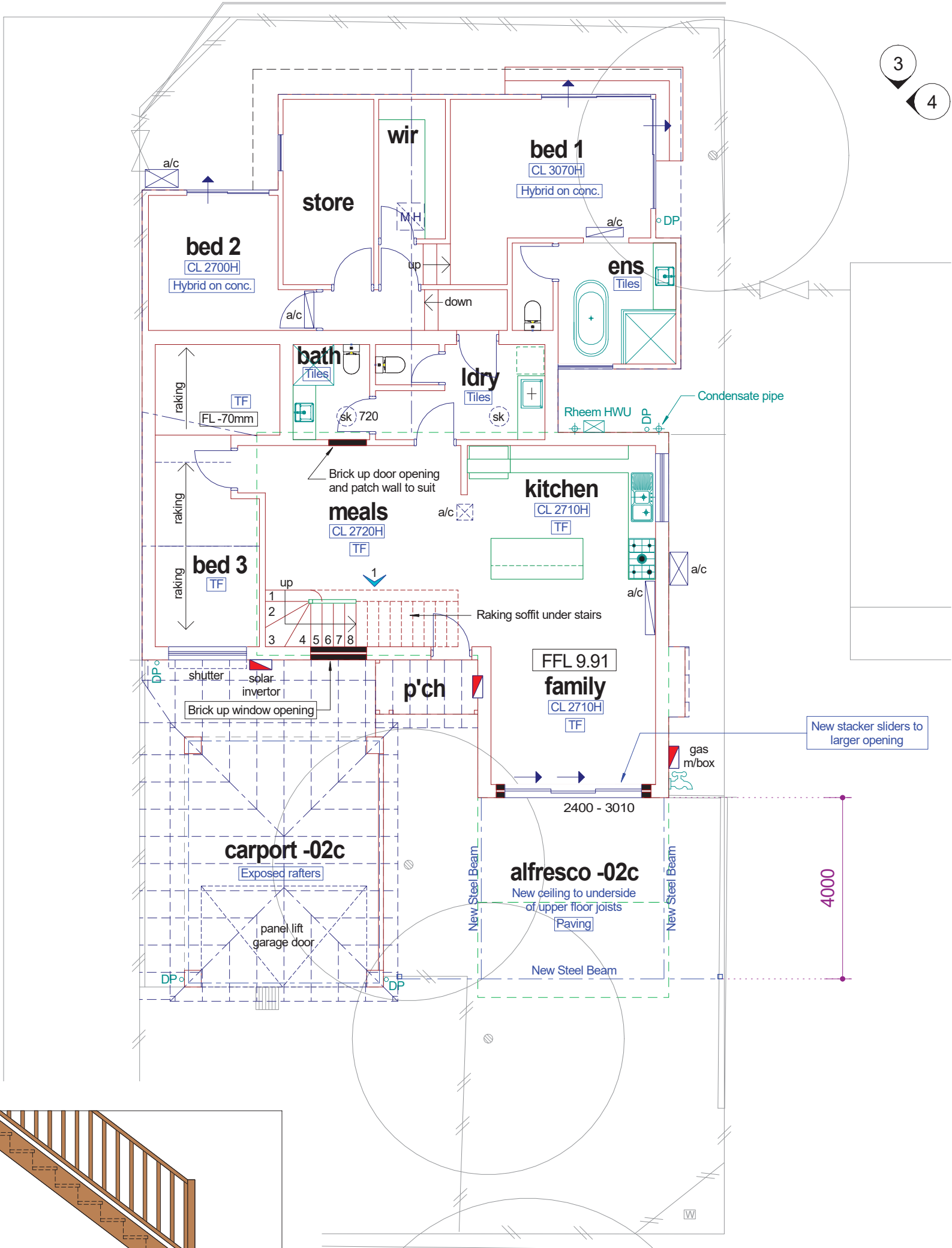
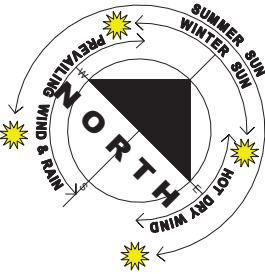
DENOTES RETURN AIR VENT

- DENOTES GARDEN TAP
- DENOTES GAS POINT
- DENOTES HOT WATER UNIT
- DENOTES METERBOX

AREAS

HOUSE	148.44m²
FIRST FLOOR	67.64m²
CARPORT	24.23m²
PORCH	2.71m²
BALCONY	8.84m²
TOTAL AREA	251.86m²
PERIM	60.41m
FF PERIM	38.91m

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Stair Elevation 1
scale 1:50

Proposed Ground Floor Plan
scale 1:100

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A	16/11/2025	ISSUED FOR COMMENT
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Stair Note:

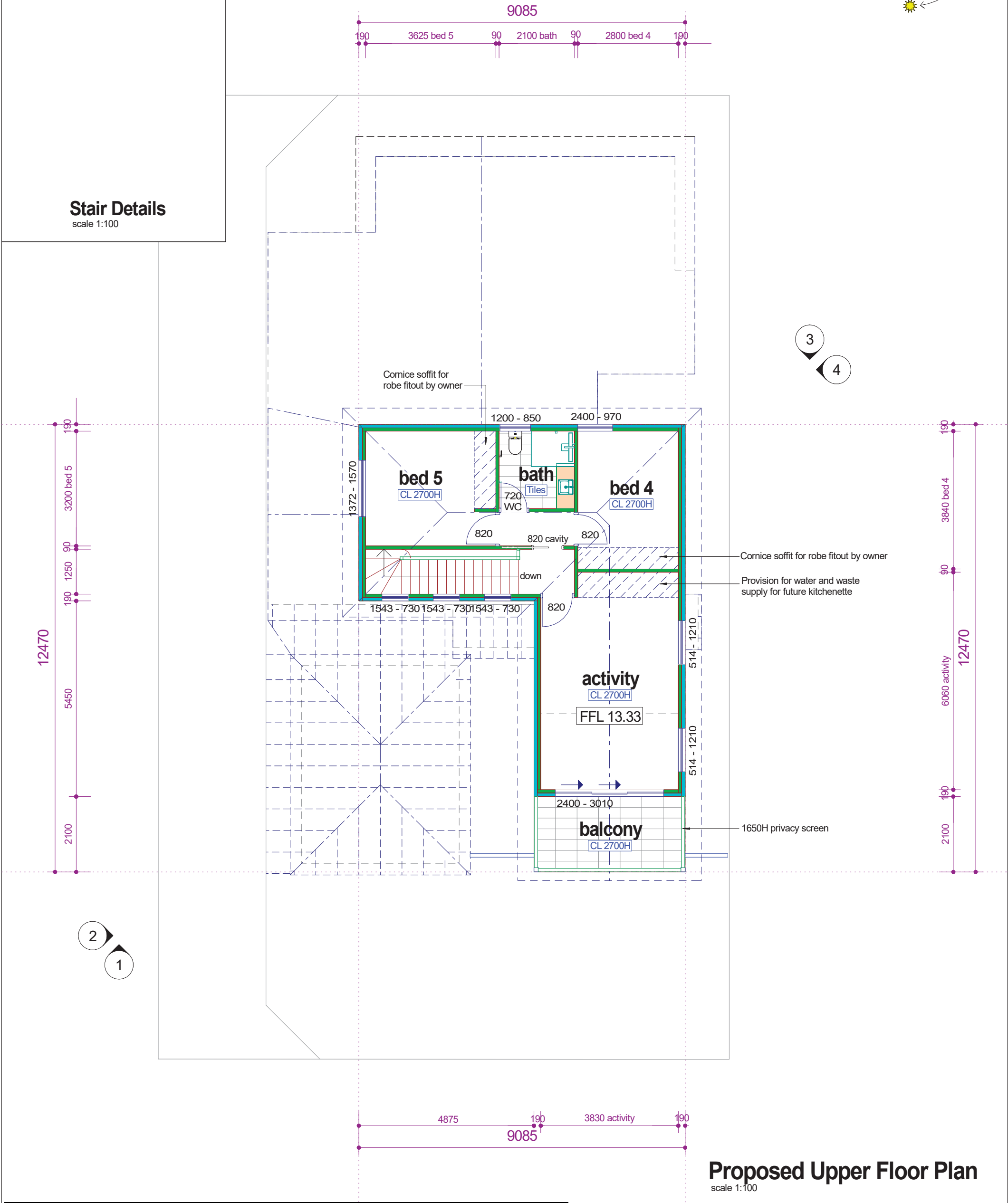
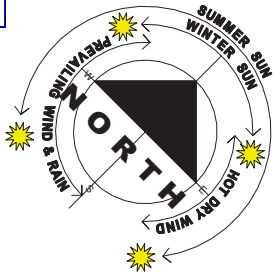
FULL JARRAH STAIRCASE AS FOLLOWS:
STRINGERS: 260x35 SOLID JARRAH
TREADS: 260x32 SOLID JARRAH
RISERS: 190x16 SOLID JARRAH
POSTS: 80x80 SOLID JARRAH.
INCLUDES 1 x COAT OF SEALER UPON INSTALL.

Treads = 250mm wide
Risers = 190mm high

Stair Details

scale 1:100

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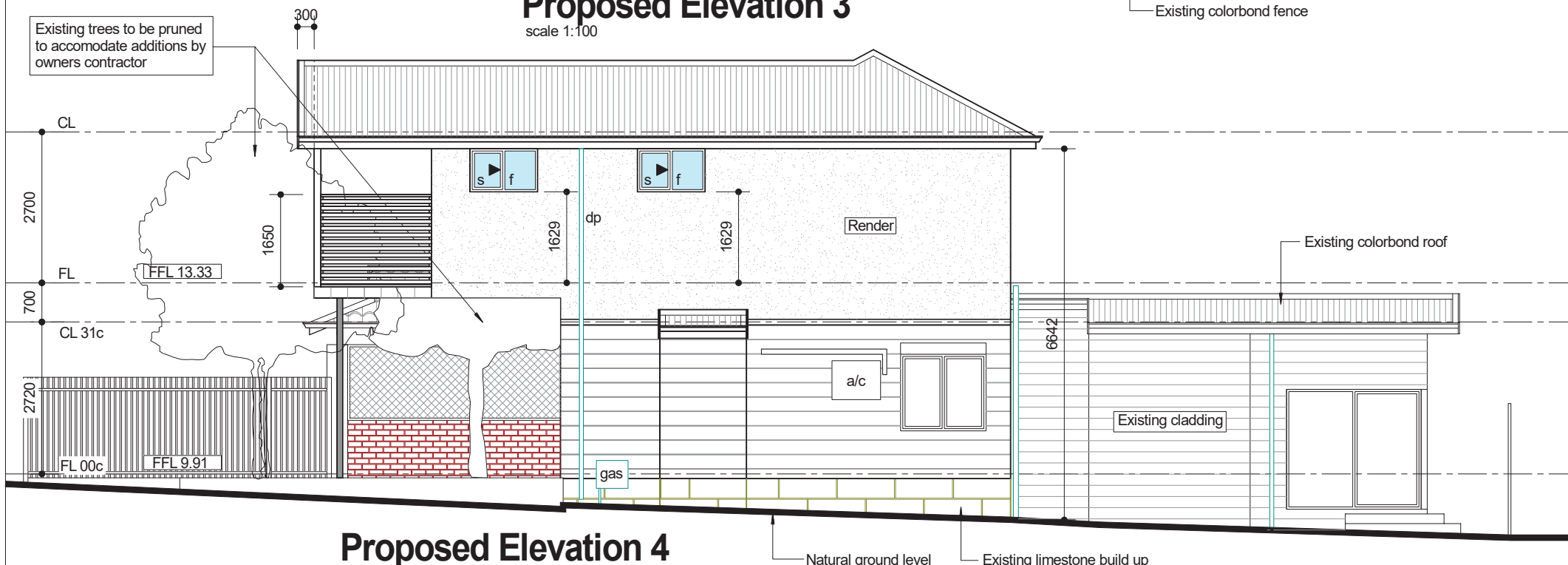
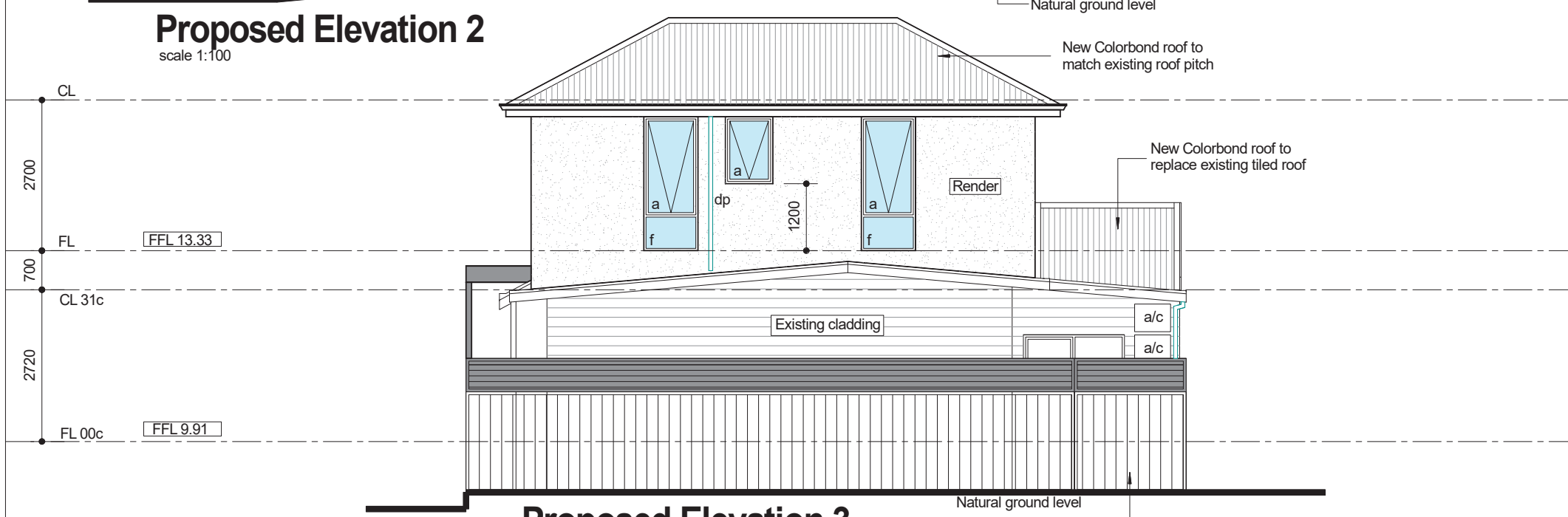
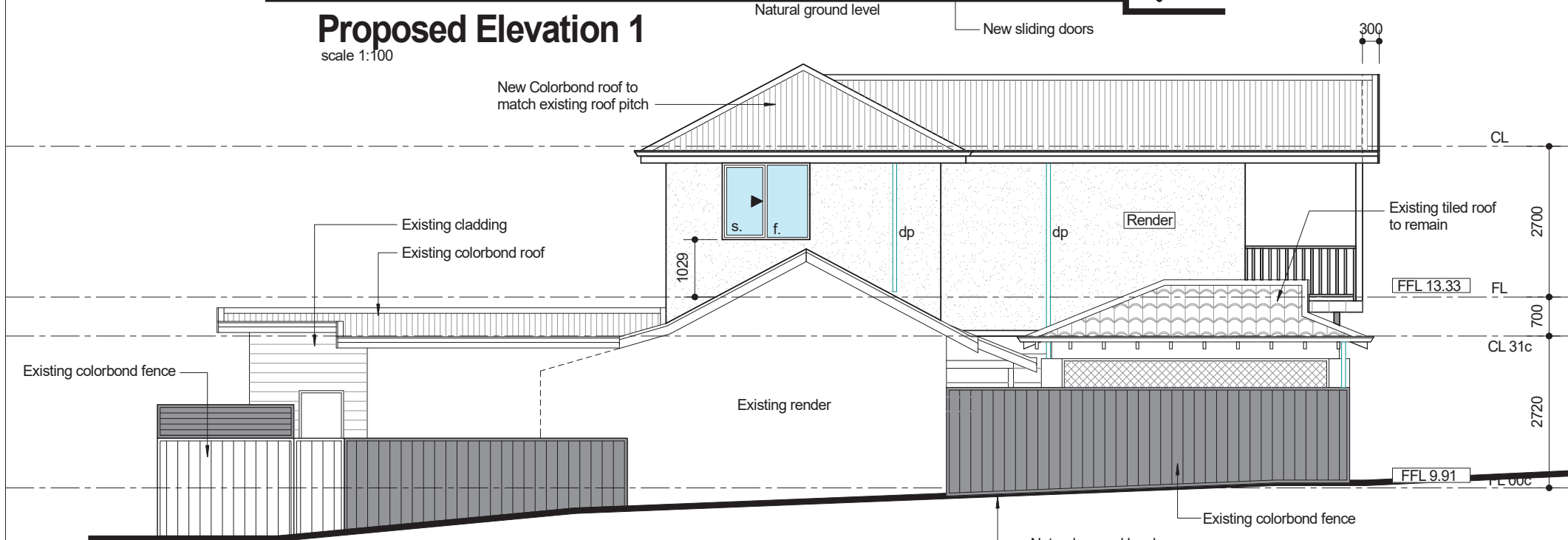


Proposed Upper Floor Plan
scale 1:100

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