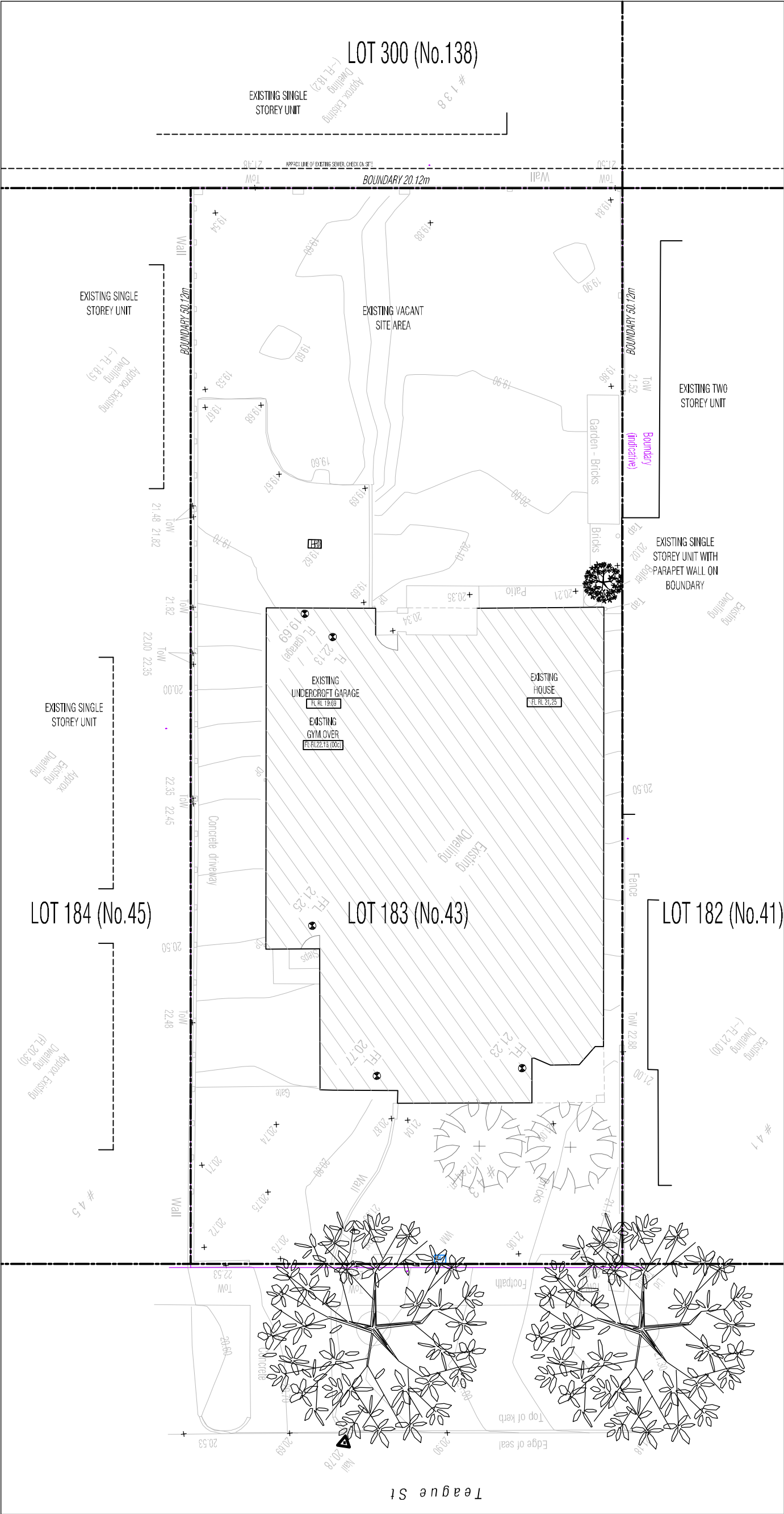


CHECK ALL DIMENSIONS ON SITE

NOTES:  
\* ENGAGE LICENCED SURVEYOR TO RE-ESTABLISH ALL BOUNDARIES AND CHECK ALL DIMENSIONS ON SITE AND PRIOR TO COMMENCING ANY WORKS. REPORT ANY DISCREPENCY IMMEDIATELY FOR DIRECTION.  
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SITE PLAN - EXISTING



PROJECT:  
PROPOSED DEVELOPMENT  
43 TEAGUE STREET, VICTORIA PARK

SHEET TITLE:  
SITE PLAN - EXISTING

REVISION:	DATE:	DESCRIPTION:
P4	18/06/2025	PRELIMINARY ISSUE
0	25/06/2025	ISSUE FOR DEVELOPMENT APPROVAL
1	03/07/2025	REVISED ISSUE FOR DA

NOTE: NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED AS SUCH

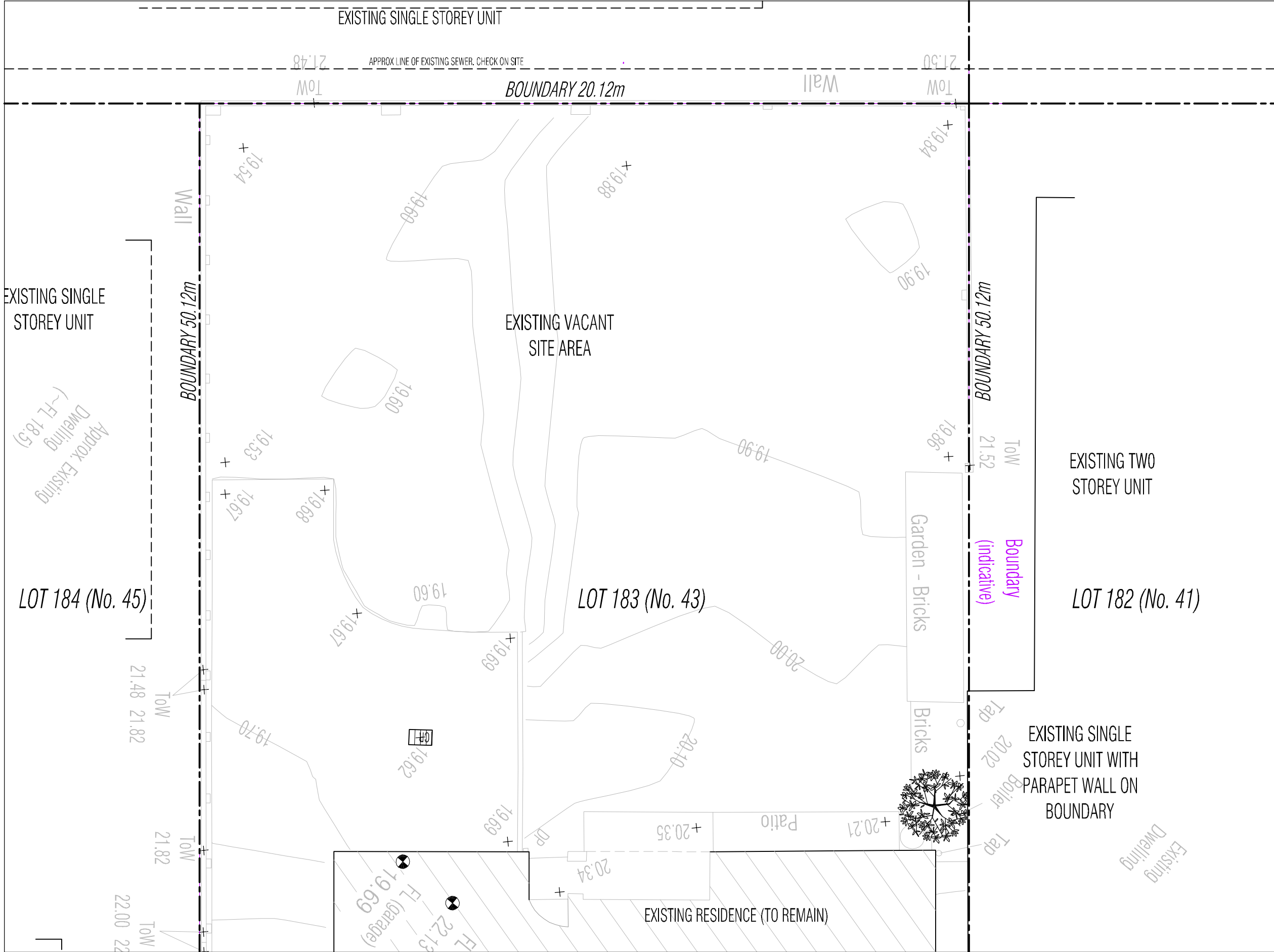
A101  
REV: 1

SCALE: 1:200 (A3)  
JOB NO.: 25009  
DRAWN: sma

steven mueller architect

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TOWN OF VICTORIA PARK

Received: 19/12/2025

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A201

REV: 0

SCALE: 1:100 (A3)  
JOB NO.: 25009  
DRAWN: sma

REVISION:	DATE:	DESCRIPTION:
P1	18/06/2025	PRELIMINARY ISSUE
0	25/06/2025	ISSUE FOR DEVELOPMENT APPROVAL

NOTE: NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED AS SUCH

DEVELOPMENT DATA

AREAS (UNDERCROFT):	
EXISTING (RETAINED):	330.1m2
NEW STORES:	12.8m2
COMMON ACTIVITY/ AMENITIES:	51.7m2
NEW STAIRS + LIFT:	25.7m2
EXISTING VERANDAHS:	6.8m2
NEW U/C PARKING AREA:	98.4m2
NEW COMMON TERRACE:	41.1m2
OTHER AREAS UNDER MAIN SLAB:	25.3m2
LOT 10	
APPLICABLE R CODE:	R40
SITE AREA:	1012m2

AREAS (MAIN LEVEL):	
EXISTING (RETAINED):	330.1m2
NEW UNIT 1:	81.4m2
NEW UNIT 2:	83.5m2
NEW STAIRS + LIFT + LOBBY:	29.4m2
EXISTING VERANDAHS:	6.8m2
NEW UNIT 1 TERRACE:	12.4m2
NEW UNIT 2 TERRACE/ BALCONY:	8.3m2
NEW LINK TERRACE:	21.3m2

CHECK ALL DIMENSIONS ON SITE

NOTES:  
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steven mueller architect

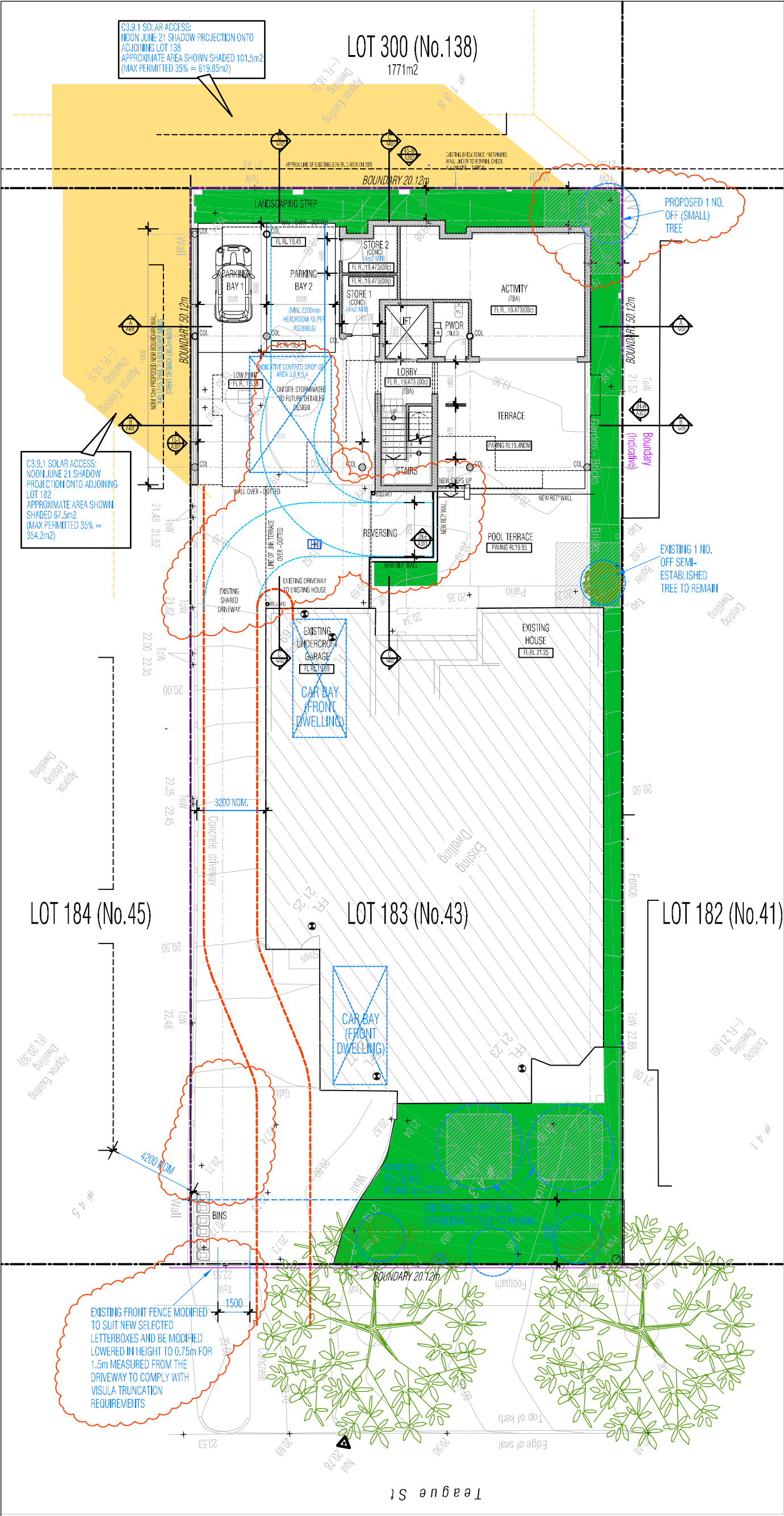
ABN 56 660 446 083  
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A102

REV: 3

SCALE: 1:200 (A3)  
JOB NO.: 25009  
DRAWN: sma



SITE PLAN - PROPOSED

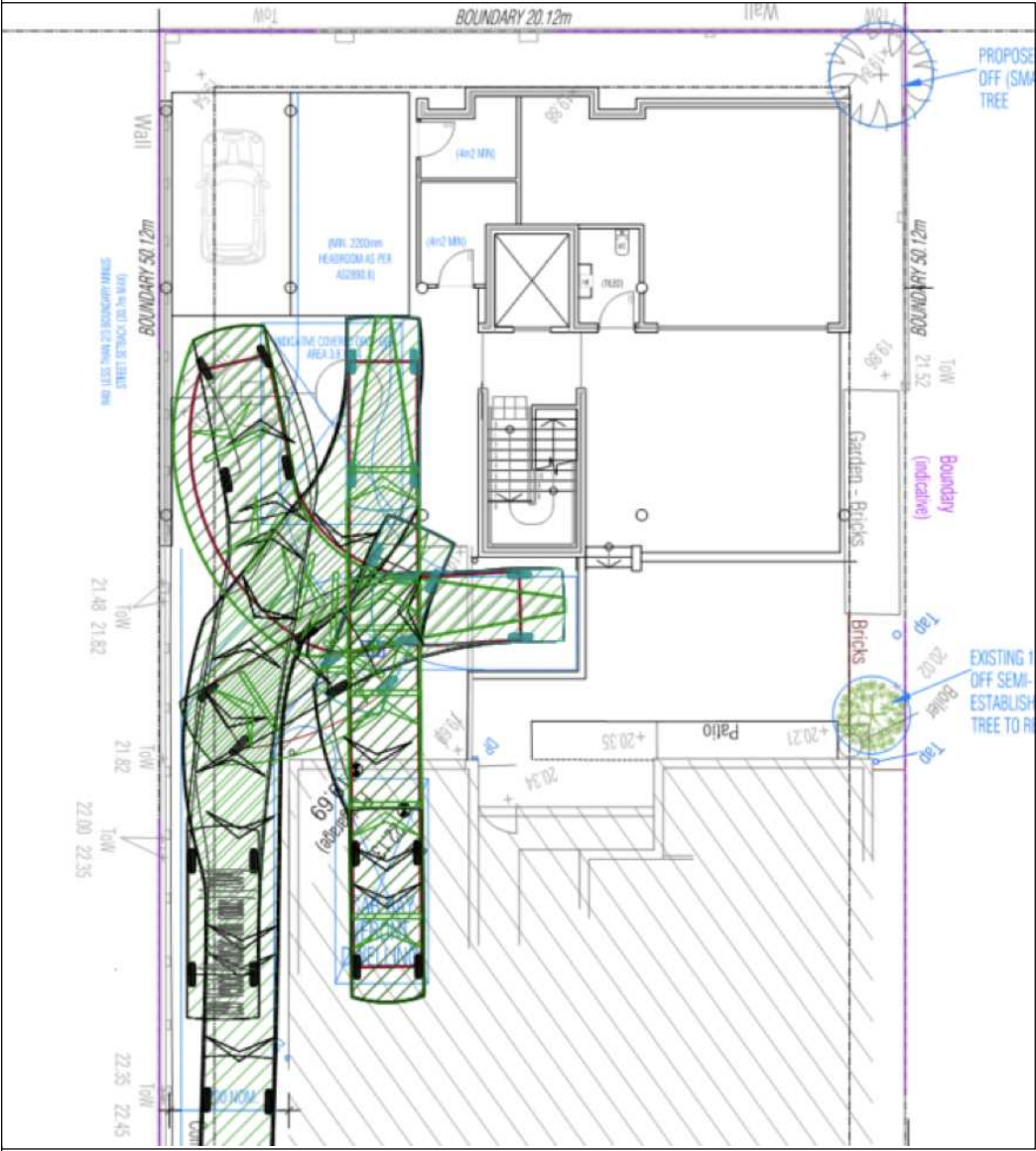
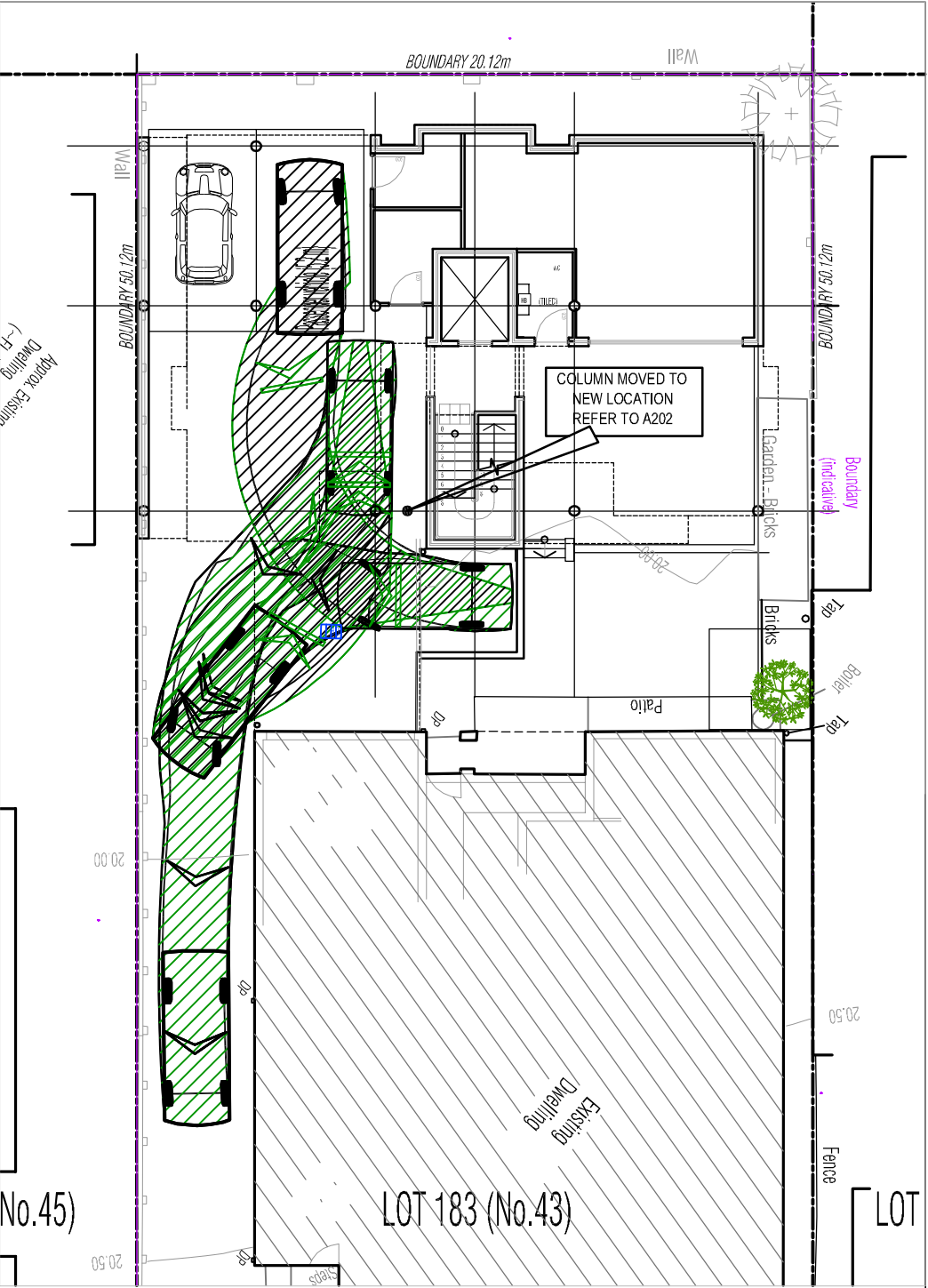
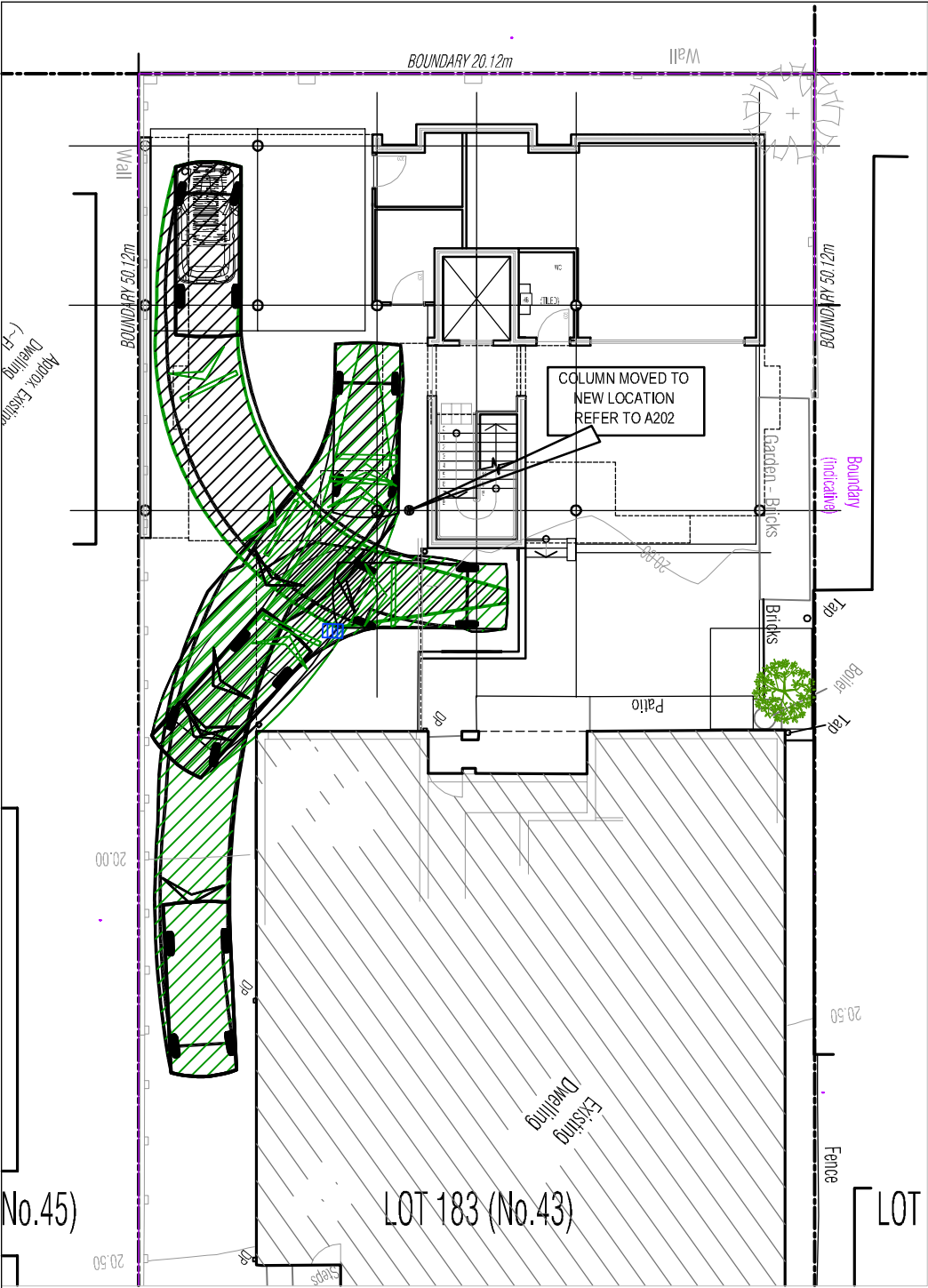


PROJECT:  
PROPOSED DEVELOPMENT  
43 TEAGUE STREET, VICTORIA PARK

SHEET TITLE:  
SITE PLAN - PROPOSED

REVISION:	DATE:	DESCRIPTION:
P4	18/06/2025	PRELIMINARY ISSUE
0	25/06/2025	ISSUE FOR DEVELOPMENT APPROVAL
1	03/07/2025	REVISED ISSUE FOR DA
2	15/12/2025	REVISED ISSUE FOR DA
3	19/12/2025	REVISED ISSUE FOR DA

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CHECK ALL DIMENSIONS ON SITE  
NOTES:  
\* VEHICLE SWEEP PATHS PROVIDED BY FORTH CONSULTING

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PART SITE PLANS - PROPOSED WITH VEHICLE SWEEP PATHS



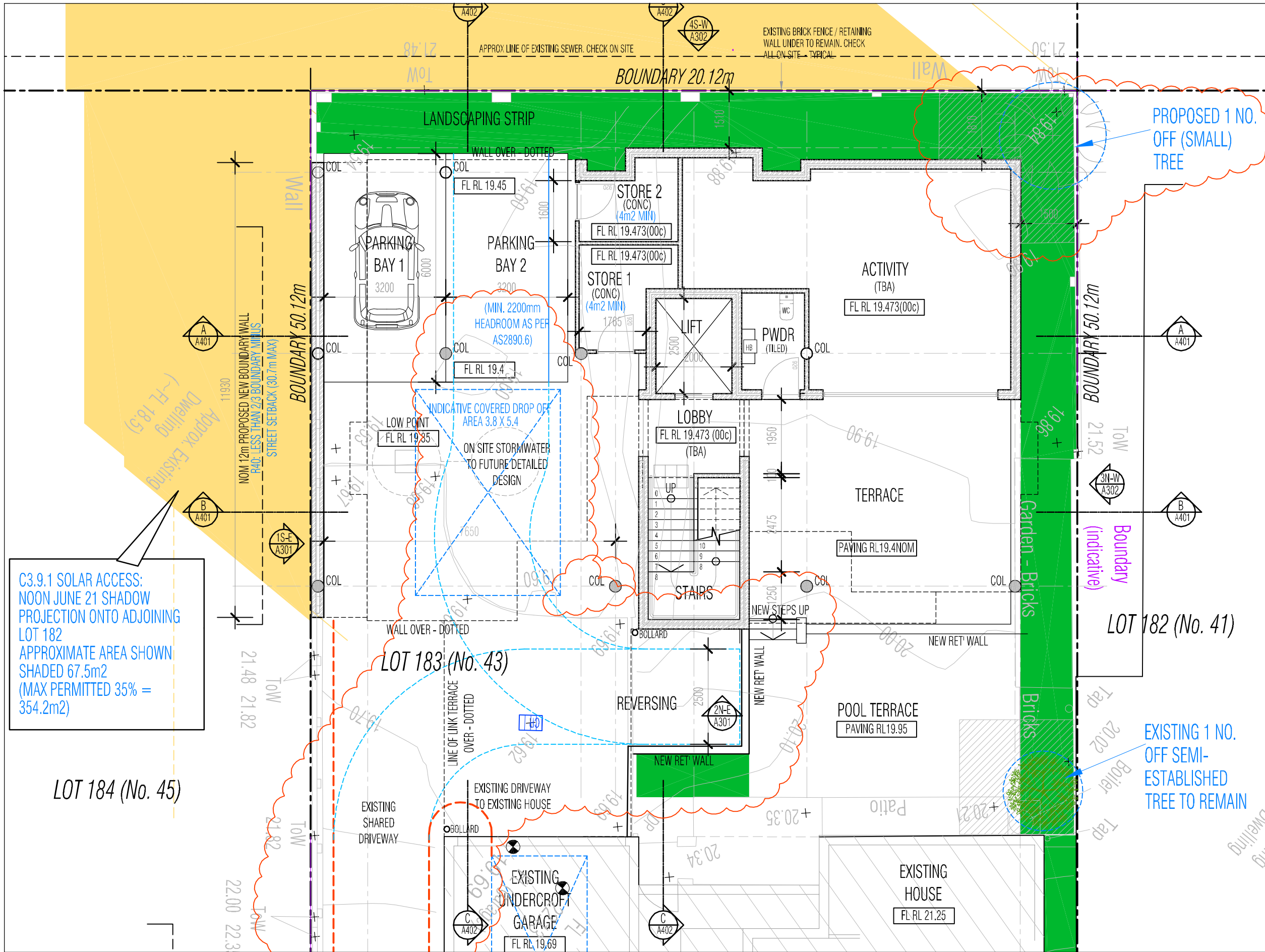
PROJECT:  
PROPOSED DEVELOPMENT  
43 TEAGUE STREET, VICTORIA PARK  
SHEET TITLE:  
PART SITE PLANS - VEHICLE SWEEP PATHS

REVISION:	DATE:	DESCRIPTION:
1	19/12/2025	ISSUE WITH DA APPLICATION

A103  
REV: 1

SCALE: 1:200 (A3)  
JOB NO.: 25009  
DRAWN: sma

NOTE: NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED AS SUCH



### CHECK ALL DIMENSIONS ON SITE

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  - REINFORCED CONCRETE SUSPENDED FLOOR SLAB AND STAIRS
  - SELECTED CAVITY BRICK AND STEEL FRAMED WITH SELECTED EXTERNAL CLADDING WALLS
  - STEEL OR TIMBER FRMAED ROOF WITH SELECTED COLORBOND ROOF SHEETING, GUTTER AND DOWNPIPES
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ALL SUBJECT TO DETAIL DESIGN AND ENGINEERING AND AS SUCH ARE SUBJECT TO CHANGE.

**TOWN OF VICTORIA PARK**  
Received: 19/12/2025

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Australian  
Institute of  
Architects

**A202**  
REV: 3

SCALE: 1:100 (A3)  
JOB NO.: 25009  
DRAWN: sma

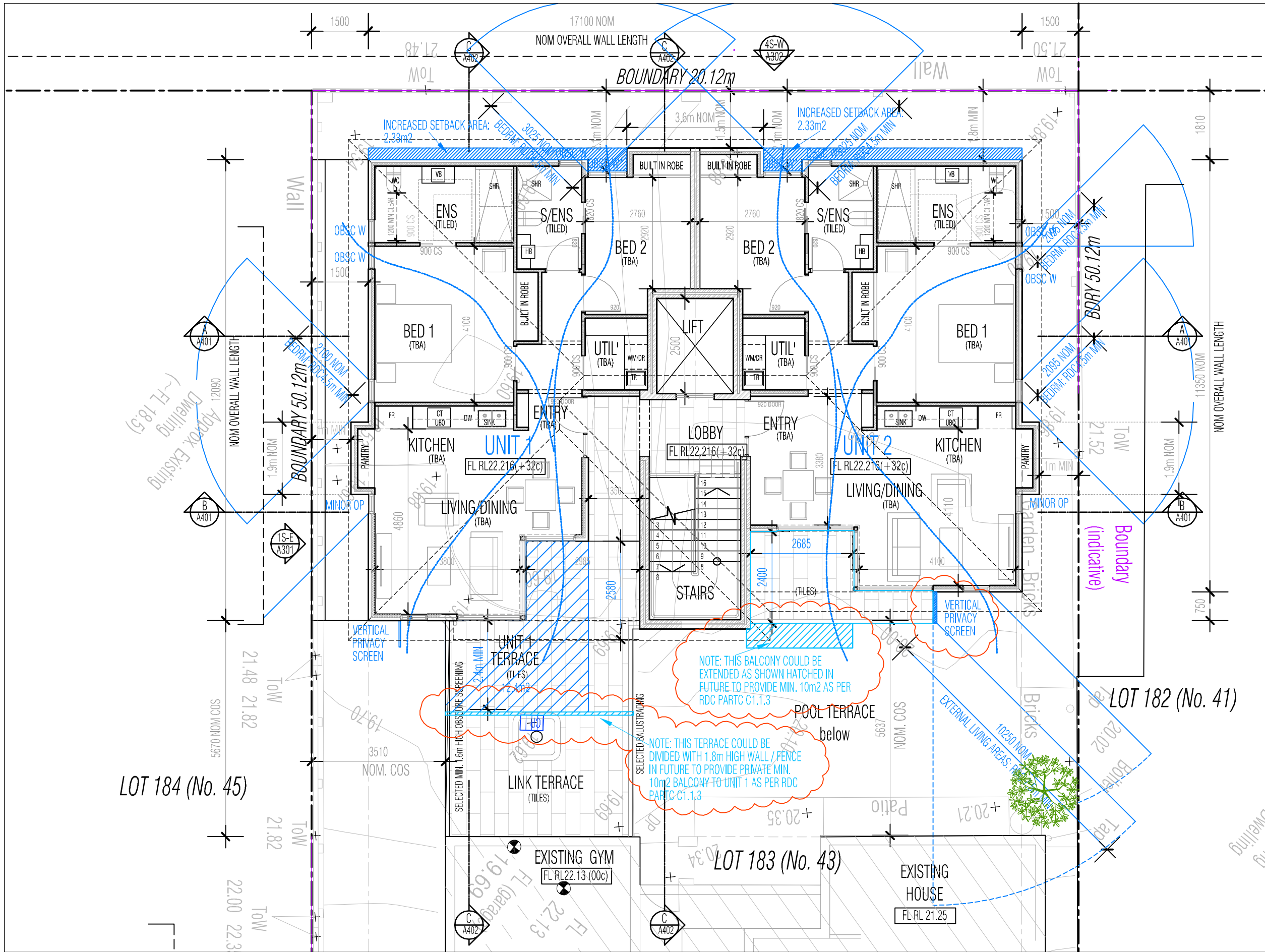
**PART SITE & UNDERCROFT PLAN - PROPOSED**

PROJECT:  
**PROPOSED DEVELOPMENT  
43 TEAGUE STREET, VICTORIA PARK**

SHEET TITLE:  
**PART SITE & UNDERCROFT PLAN - PROPOSED**

REVISION:	DATE:	DESCRIPTION:
P6	18/06/2025	PRELIMINARY ISSUE
0	25/06/2025	ISSUE FOR DEVELOPMENT APPROVAL
1	03/07/2025	REVISED ISSUE FOR DA
2	15/12/2025	REVISED ISSUE FOR DA
3	15/12/2025	REVISED ISSUE FOR DA

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**TOWN OF VICTORIA PARK**  
Received: 19/12/2025

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 **PART SITE & UNIT FLOOR PLAN - PROPOSED**

PROJECT:  
**PROPOSED DEVELOPMENT**  
**43 TEAGUE STREET, VICTORIA PARK**

SHEET TITLE:  
**PART SITE & UNIT FLOOR PLAN - PROPOSED**

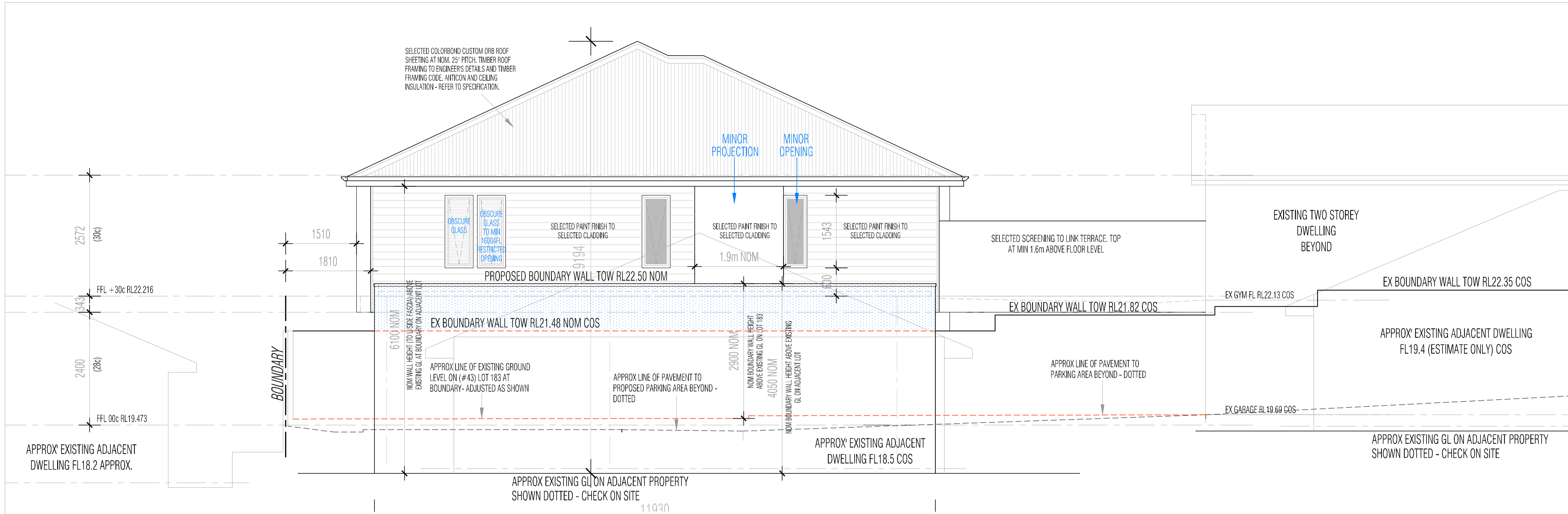
REVISION:	DATE:	DESCRIPTION:
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1	03/07/2025	ISSUE FOR DEVELOPMENT APPROVAL
2	15/12/2025	REVISED ISSUE FOR DA

A203

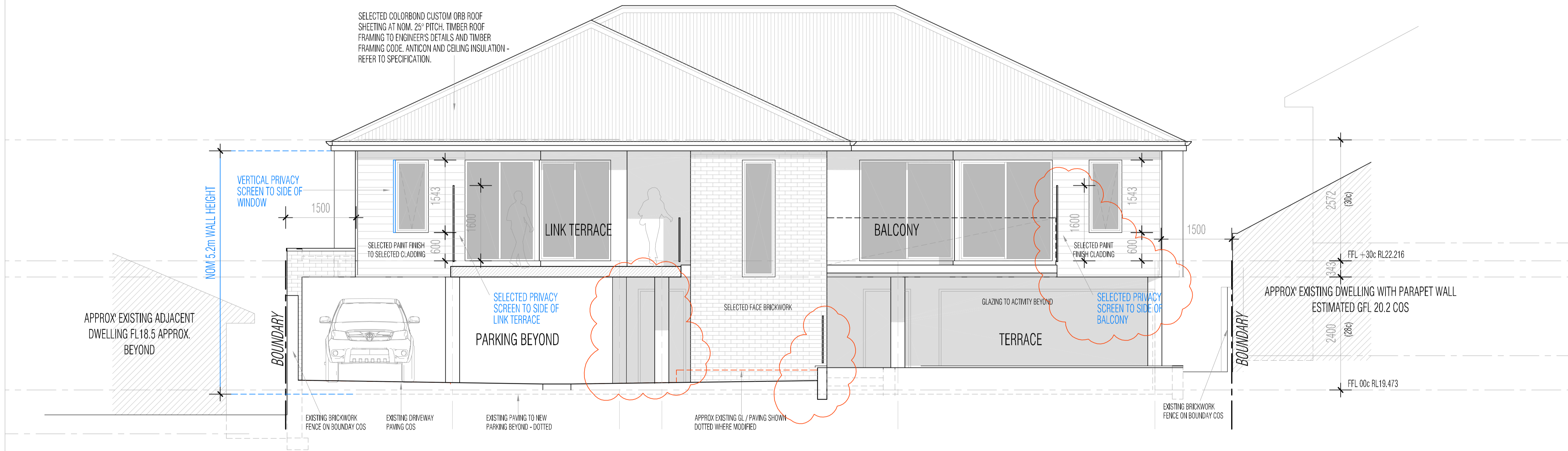
REV: 2

SCALE: 1:100 (A3)  
JOB NO.: 25009  
DRAWN: sma

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ELEVATION 1 - SOUTH EAST



ELEVATION 2 - NORTH EAST

TOWN OF VICTORIA PARK  
Received: 19/12/2025

CHECK ALL DIMENSIONS ON SITE

BAL: NOT APPLICABLE

- NOTES:
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NOT FOR CONSTRUCTION  
PRELIMINARY

ISSUE	DESCRIPTION	DATE
3	REVISED ISSUE FOR DEVELOPMENT APPROVAL	19/12/2025
2	REVISED ISSUE FOR DEVELOPMENT APPROVAL	15/12/2025
1	REVISED ISSUE FOR DEVELOPMENT APPROVAL	03/07/2025
0	ISSUE FOR DEVELOPMENT APPROVAL	25/06/2025
P2	PRELIMINARY ISSUE	18/06/2025

PROPOSED DEVELOPMENT

43 TEAGUE STREET  
VICTORIA PARK

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ELEVATIONS - SHEET 1

Job No: 25009 Scale: 1:50 CAD Ref: 25009

DRAWING: A301 REVISION: 3

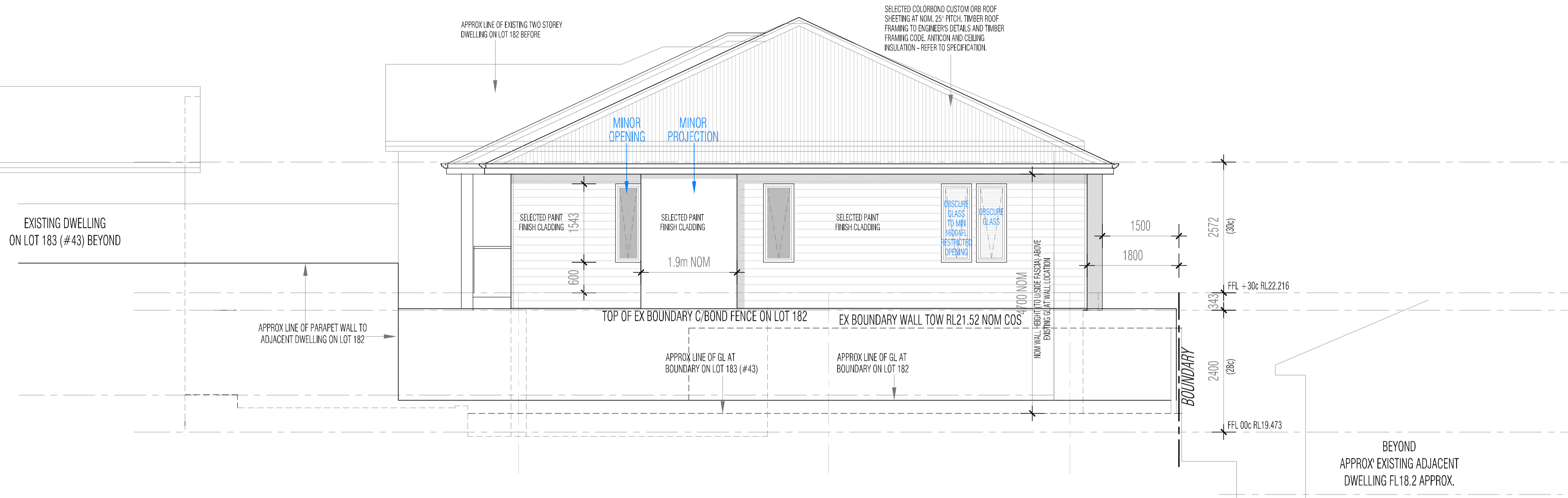
CHECK ALL DIMENSIONS ON SITE

BAL: NOT APPLICABLE

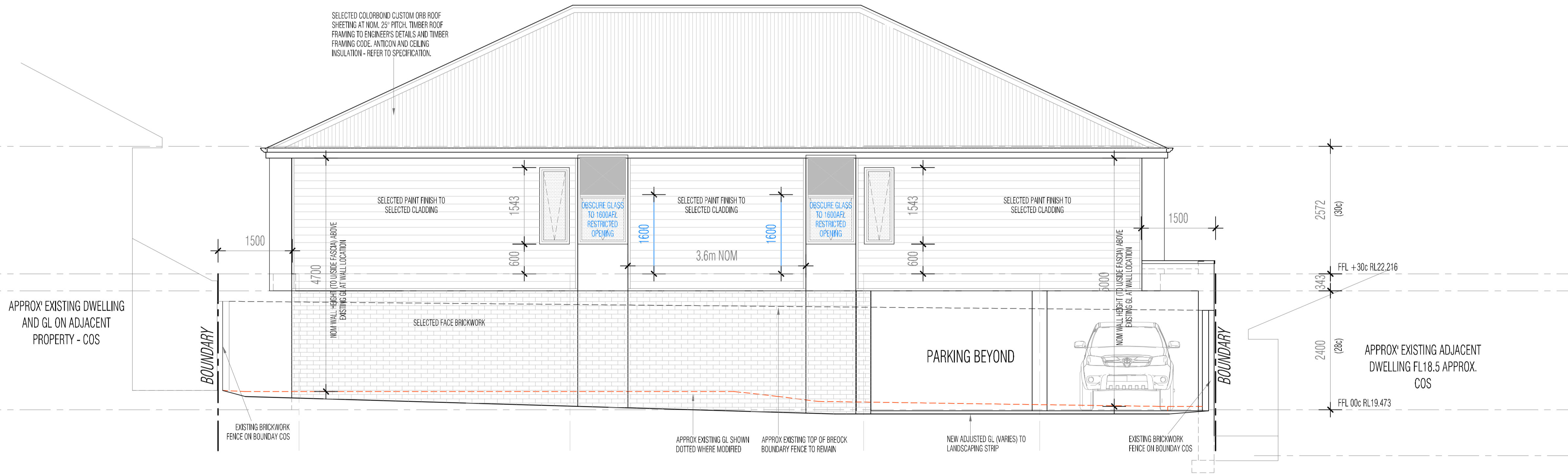
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TOWN OF VICTORIA PARK  
Received: 19/12/2025



ELEVATION 3 - NORTH WEST



ELEVATION 4 - SOUTH WEST



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ISSUE	DESCRIPTION	DATE
1	REVISED ISSUE FOR DEVELOPMENT APPROVAL	03/07/2025
0	ISSUE FOR DEVELOPMENT APPROVAL	25/06/2025
P2	PRELIMINARY ISSUE	18/06/2025

PROPOSED DEVELOPMENT

43 TEAGUE STREET  
VICTORIA PARK

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ELEVATIONS - SHEET 2

Job No : 25009 Scale : 1:50 CAD Ref : 25009

DRAWING : A302 REVISION : 1



CHECK ALL DIMENSIONS ON SITE

BAL: NOT APPLICABLE

TOWN OF VICTORIA PARK  
Received: 19/12/2025

NOTES:

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- REINFORCED CONCRETE SUSPENDED FLOOR SLAB AND STAIRS

- SELECTED CAVITY BRICK AND STEEL FRAMED WITH SELECTED EXTERNAL CLADDING WALLS

- STEEL OR TIMBER FRAMED ROOF WITH SELECTED COLORBOND ROOF SHEETING, GUTTER AND DOWNPIPES

- SELECTED WINDOW AND DOOR FRAMES  
ALL SUBJECT TO DETAIL DESIGN AND ENGINEERING AND AS SUCH ARE SUBJECT TO CHANGE.

SELECTED COLORBOND CUSTOM ORB ROOF SHEETING AT NOM. 25° PITCH, TIMBER ROOF FRAMING TO ENGINEERS DETAILS AND TIMBER FRAMING CODE. ANTI-COON AND CEILING INSULATION - REFER TO SPECIFICATION.

LIFT SHAFT AND UNIT DIVIDING WALLS ARE ALL TO EXTEND UP TO UNDERSIDE OF THE ROOF SHEETING AND BE FULLY SEALED TO PROVIDE FIRE RATED WALL AS PER BCA. ROOF STRUCTURE TO BE INSTALLED TO EITHER SIDE OF THESE WALLS AND MUST NOT PENETRATE THE WALLS.

TO BE CONFIRMED, CLEARANCE TO LIFT MANUFACTURERS REQUIREMENTS

NOM WALL OVERALL HEIGHT TO RIDGE ABOVE EXISTING GL AT RIDGE LOCATION

NOM WALL OVERALL HEIGHT TO RIDGE ABOVE EXISTING GL AT RIDGE LOCATION

UNIT 1

UNIT 2

BEDRM 1

BEDRM 1

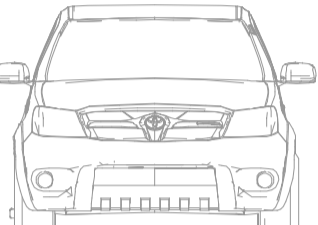
LIFT SHAFT

PARKING

STORE 1

PWDR

ACTIVITY



PROPOSED BOUNDARY WALL WITH RETAINING UNDER AND POSSIBLE COLUMNS. ALL TO ENGINEERS DETAILS. EXISTING BOUNDARY FENCE WITH RETAINING UNDER REMOVED WHERE AFFECTED BY THE WORKS

APPROX EXISTING GL SHOWN DOTTED

RETAINING WALL'S DUE TO "CUT" AS PART OF EXTERNAL WALL TO ENGINEERS DETAILS

APPROX EXISTING ADJACENT TWO STOREY DWELLING ESTIMATE GFL20.2 COS

SECTION A-A

0 1 2 3 4 5m

SELECTED COLORBOND CUSTOM ORB ROOF SHEETING AT NOM. 25° PITCH, TIMBER ROOF FRAMING TO ENGINEERS DETAILS AND TIMBER FRAMING CODE. ANTI-COON AND CEILING INSULATION - REFER TO SPECIFICATION.

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UNIT 1

UNIT 2

LIVING/DINING

ACCESS

STAIRS

LIVING/DINING

PARKING

TERRACE



PROPOSED BOUNDARY WALL WITH RETAINING UNDER AND POSSIBLE COLUMNS. ALL TO ENGINEERS DETAILS. EXISTING BOUNDARY FENCE WITH RETAINING UNDER REMOVED WHERE AFFECTED BY THE WORKS

APPROX EXISTING GL MODIFIED - SHOWN DOTTED

APPROX EXISTING GL MODIFIED - SHOWN DOTTED

APPROX EXISTING ADJACENT TWO STOREY DWELLING ESTIMATE GFL20.2 COS

SECTION B-B

0 1 2 3 4 5m

NOT FOR CONSTRUCTION  
PRELIMINARY

ISSUE	DESCRIPTION	DATE
1	REVISED ISSUE FOR DEVELOPMENT APPROVAL	03/07/2025
0	ISSUE FOR DEVELOPMENT APPROVAL	25/06/2025
P4	PRELIMINARY ISSUE	18/06/2025

PROPOSED DEVELOPMENT

43 TEAGUE STREET  
VICTORIA PARK

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SECTIONS - SHEET 1

Job No: 25009 Scale: 1:30 CAD Ref: 25009

DRAWING: A401 REVISION: 1

BAL: NOT APPLICABLE

NOTES:

DRAWING: A402 REVISION: 1

NOT FOR CONSTRUCTION  
PRELIMINARY

1	REVISED ISSUE FOR DEVELOPMENT APPROVAL	03/07/2025	
0	ISSUE FOR DEVELOPMENT APPROVAL	25/06/2025	
P4	PRELIMINARY ISSUE	18/06/2025	
ISSUE	DESCRIPTION	DATE	

### PROPOSED DEVELOPMENT

43 TEAGUE STREET  
VICTORIA PARK

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SECTIONS - SHEET 2  
Job No: 25009      Scale: 1:50      CAD Ref: 25009

DRAWING: A402 REVISION: 1