

DEVELOPMENT DATA

AREAS (UNDERCROFT):
EXISTING (RETAINED): 330.1m²
NEW STORES: 12.8m²
COMMON ACTIVITY/AMENITIES: 51.7m²
NEW STAIRS+LIFT: 25.7m²

EXISTING VERANDAHS: 6.8m²
NEW U/C PARKING AREA: 98.4m²
NEW COMMON TERRACE: 41.1m²
OTHER AREAS UNDER MAIN SLAB: 25.3m²

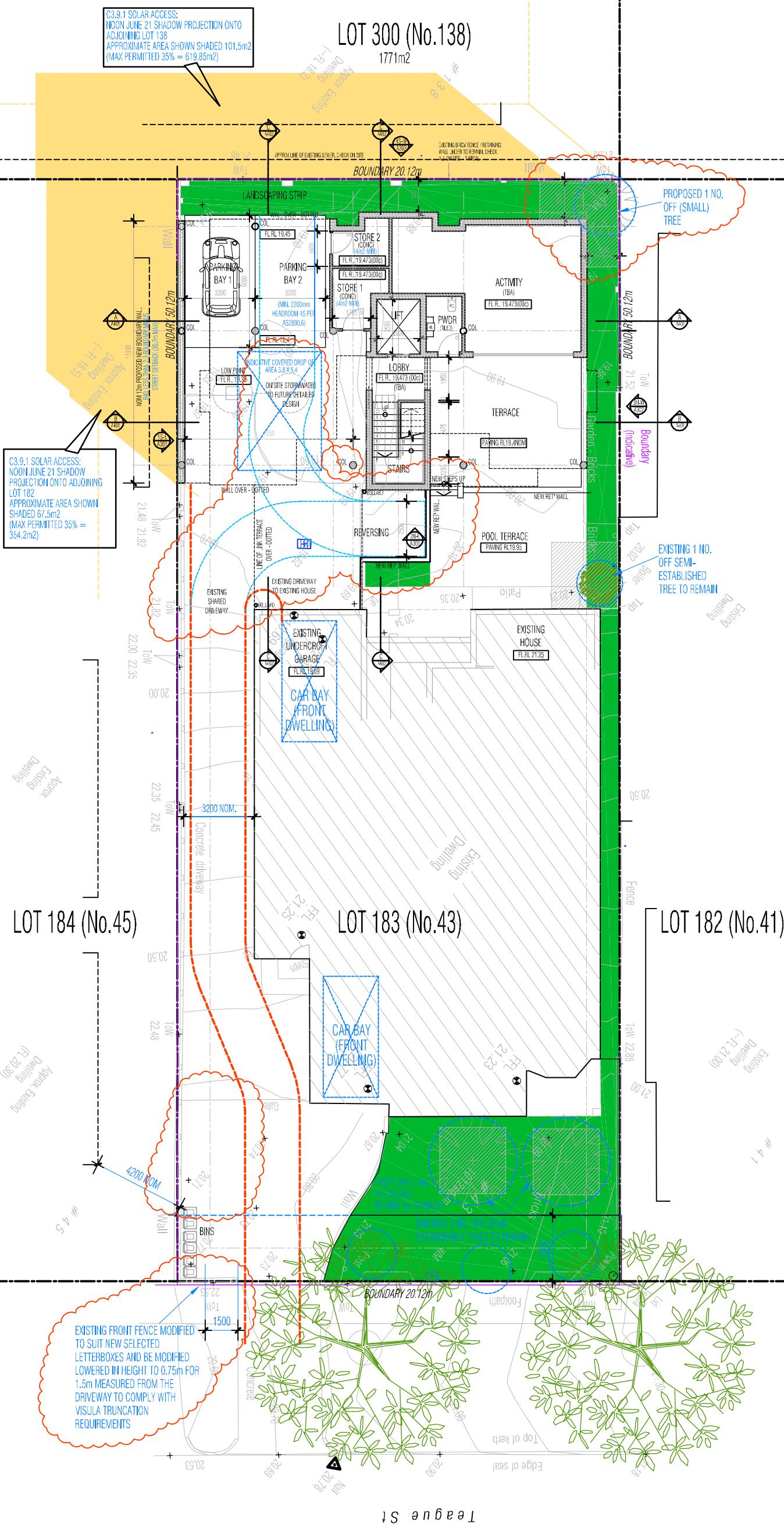
LOT 10
APPLICABLE R CODE: R40
SITE AREA: 1012m²

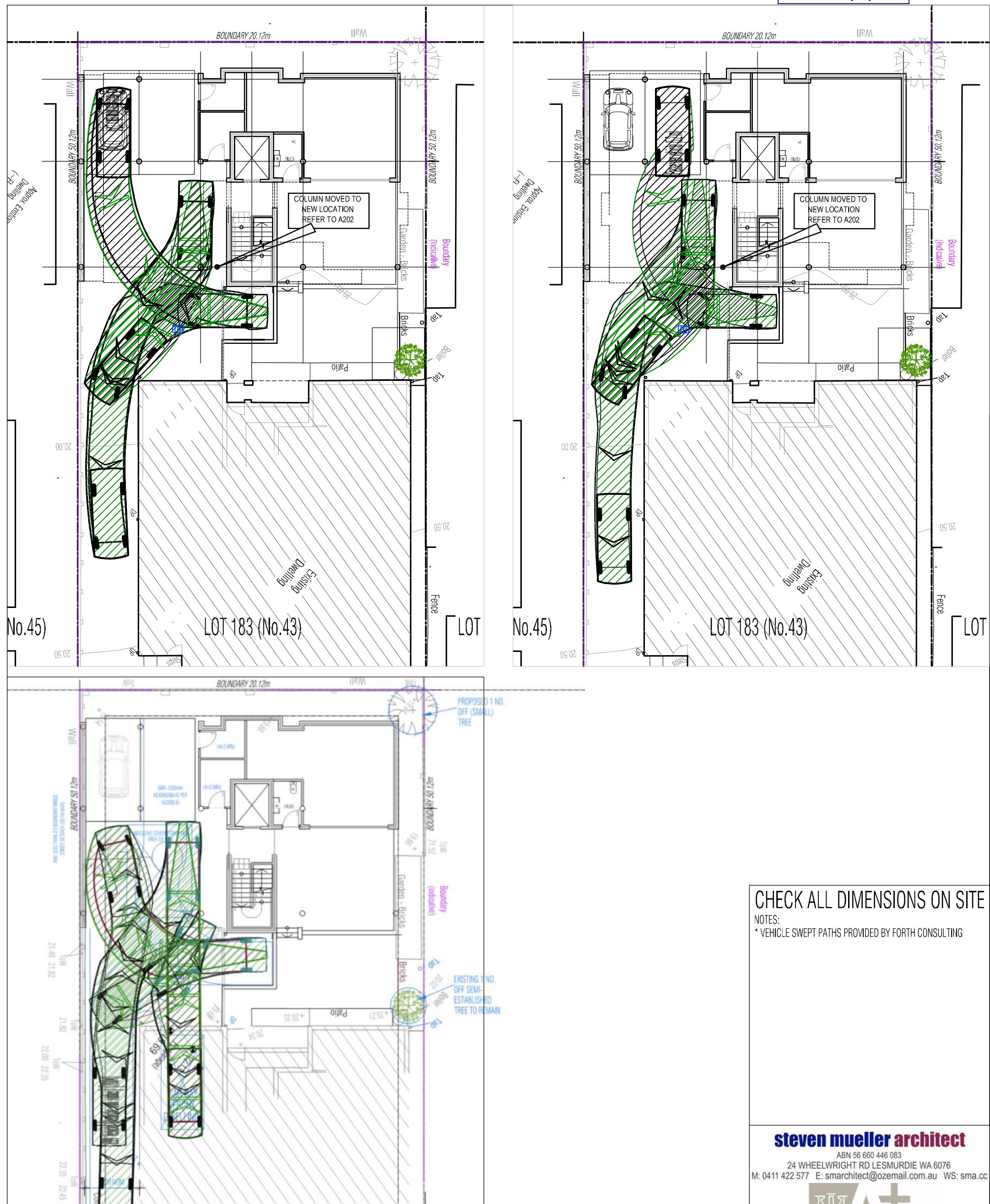
AREAS (MAIN LEVEL):
EXISTING (RETAINED): 330.1m²
NEW UNIT 1: 81.4m²
NEW UNIT 2: 83.5m²
NEW STAIRS+LIFT+LOBBY: 29.4m²

EXISTING VERANDAHS: 6.8m²
NEW UNIT 1 TERRACE: 12.4m²
NEW UNIT 2 TERRACE/ BALCONY: 8.3m²
NEW LINK TERRACE: 21.3m²

CHECK ALL DIMENSIONS ON SITE

NOTES:
 * ENGAGE LICENCED SURVEYOR TO RE-ESTABLISH ALL BOUNDARIES AND CHECK ALL DIMENSIONS ON SITE AND PRIOR TO COMMENCING ANY WORKS. REPORT ANY DISCREPANCY IMMEDIATELY FOR DIRECTION.
 * FOR SURVEY INFORMATION REFER TO SITE SURVEY REF: TOPO SURVEYS 17.04.2025
 * VERIFY THE LOCATION OF ALL INGROUND AND / OR CONCEALED SERVICES WITHIN THE VICINITY OF THE WORKS (INCLUDING VERGE) PRIOR TO PROCEEDING
 * NEW STORMWATER WORKS DESIGN AND INSTALLATION INCLUDING BUT NOT LIMITED TO GUTTERS AND DOWNPipes ALL TO COMPLY WITH LOCAL AUTHORITY, BCA AND RELEVANT AUSTRALIAN STANDARDS. CONFIRM COLOURS, SELECTIONS AND LOCATIONS ALL WITH OWNERS PRIOR TO PROCEEDING





PART SITE PLANS - PROPOSED WITH VEHICLE SWEPT PATHS

0 2 4 6 8 10m

PROJECT:
PROPOSED DEVELOPMENT
43 TEAGUE STREET, VICTORIA PARK

SHEET TITLE:
PART SITE PLANS - VEHICLE SWEPT PATHS

REVISION: 1 DATE: 19/12/2025 DESCRIPTION: ISSUE WITH DA APPLICATION

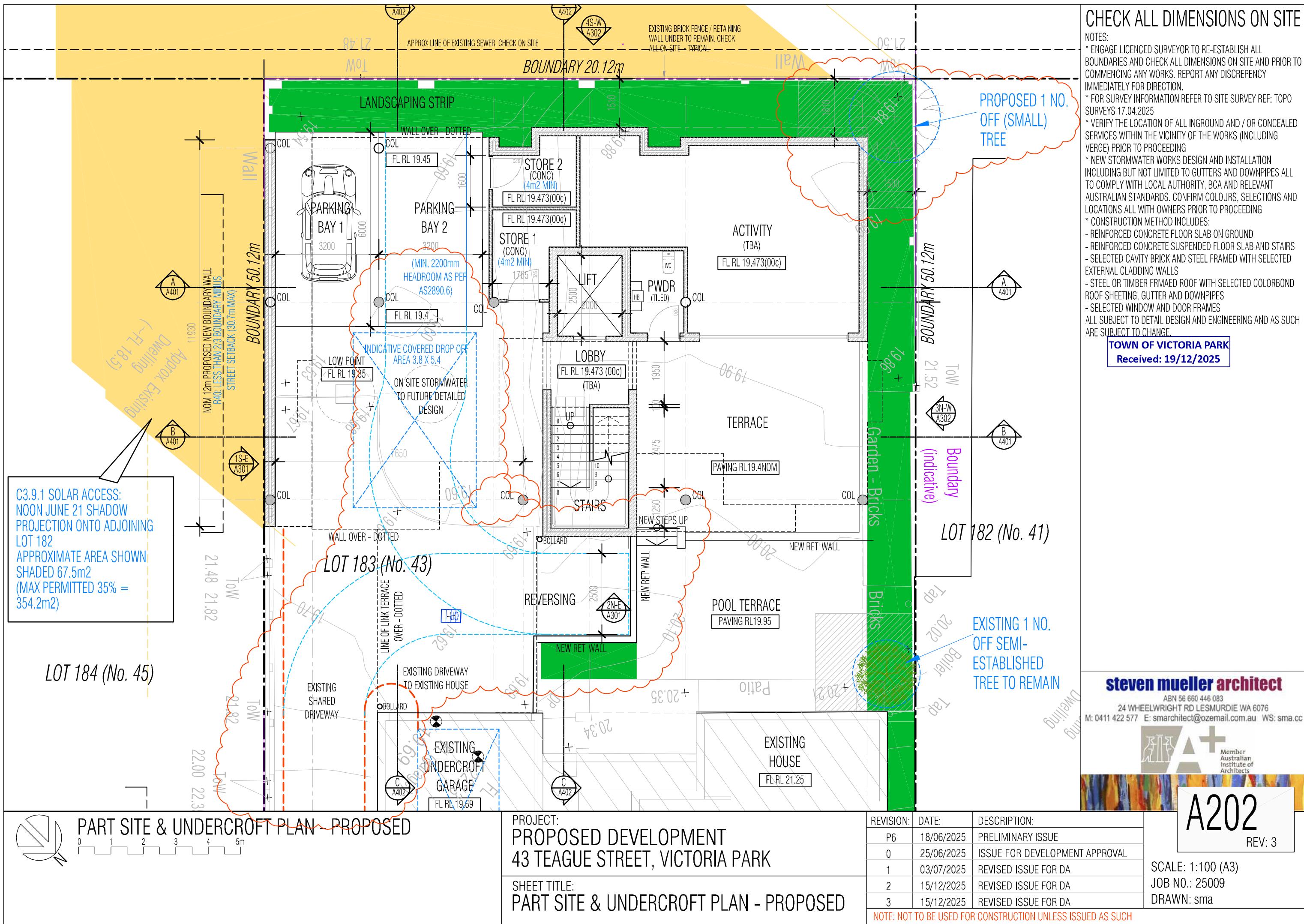
NOTE: NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED AS SUCH

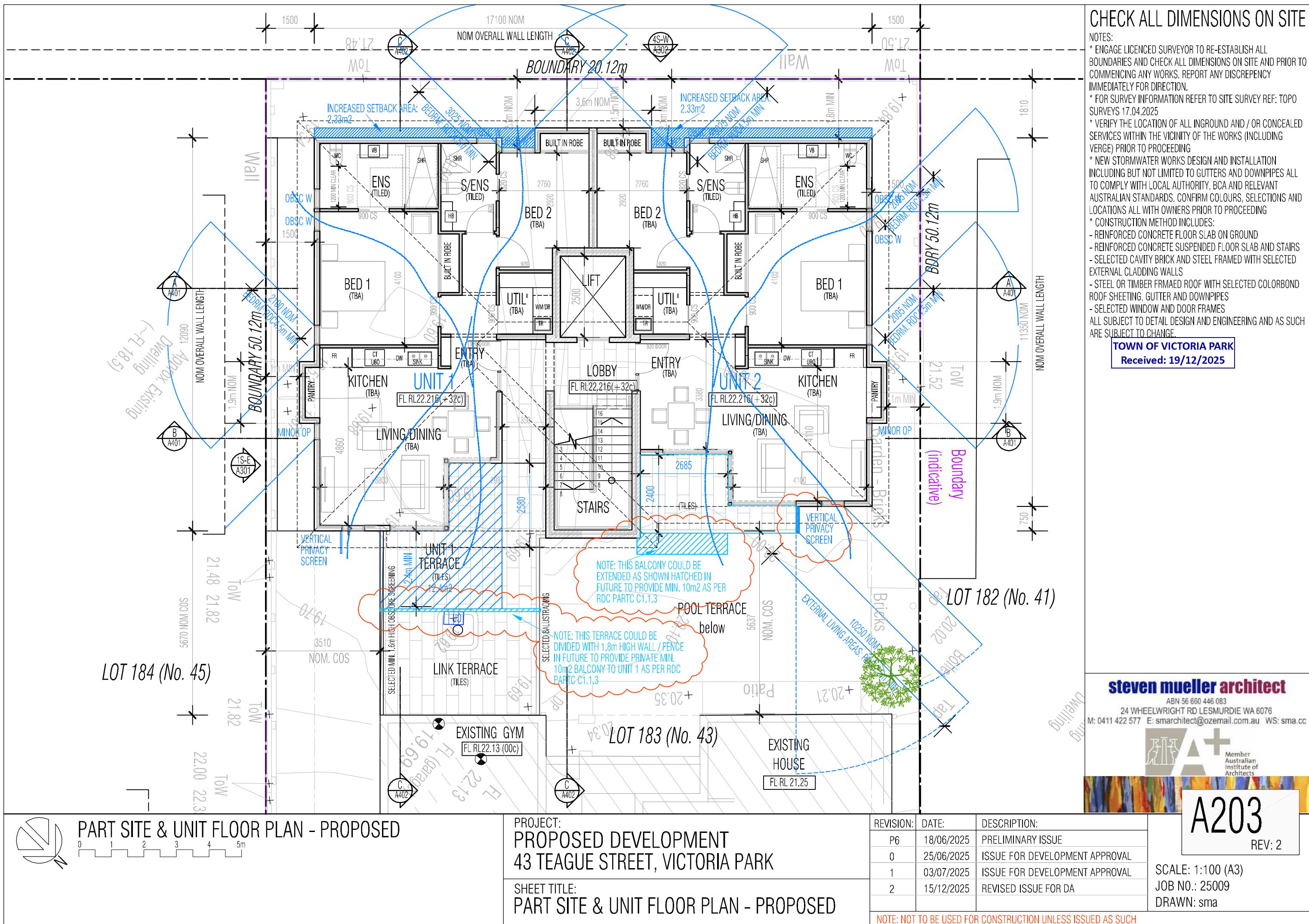
SCALE: 1:200 (A3)
JOB NO.: 25009
DRAWN: sma

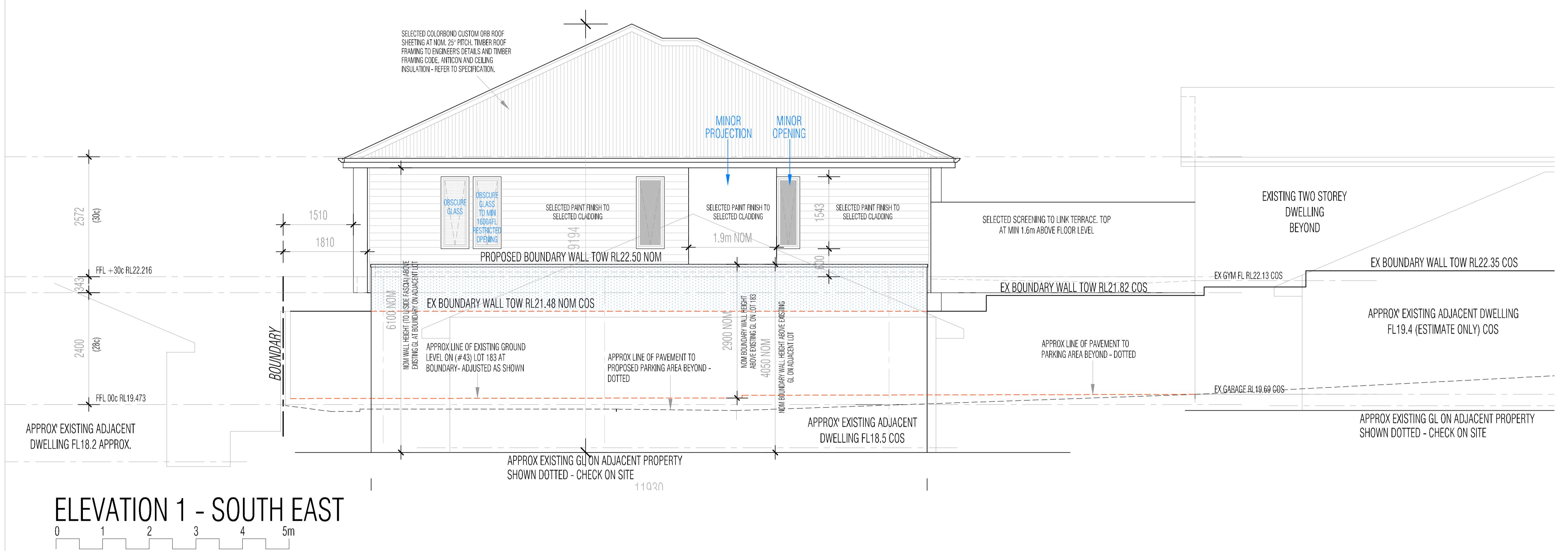
A103
REV: 1

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M: 0411 422 577 E: smarchitect@ozemail.com.au WS: sma.cc

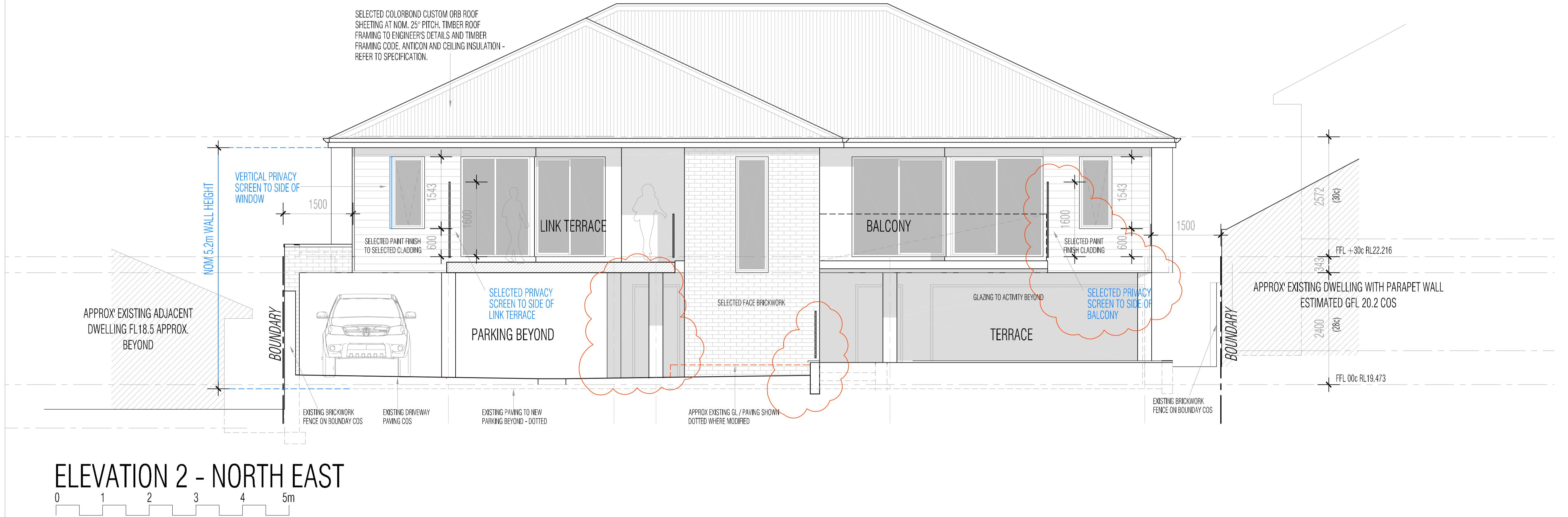








ELEVATION 1 - SOUTH EAST



ELEVATION 2 - NORTH EAST

HECK ALL DIMENSIONS ON SITE

AL: NOT APPLICABLE

OTES:
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CONSTRUCTION METHOD INCLUDES:
EINFORCED CONCRETE FLOOR SLAB ON GROUND
EINFORCED CONCRETE SUSPENDED FLOOR SLAB AND
AIRS
ELECTED CAVITY BRICK AND STEEL FRAMED WITH
ELECTED EXTERNAL CLADDING WALLS
STEEL OR TIMBER FRAMED ROOF WITH ELECTED
LORBOND ROOF SHEETING, GUTTER AND DOWNPipes
ELECTED WINDOW AND DOOR FRAMES
ALL SUBJECT TO DETAIL DESIGN AND ENGINEERING AND AS
UCH ARE SUBJECT TO CHANGE.

NOT FOR CONSTRUCTION
PRELIMINARY

PROPOSED DEVELOPMENT

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Institute of
Architects

ELEVATIONS - SHEET 1

Ref: 25009

Scale: 1:50

CAD Ref: 25009

A301 2

NING: AJ01 REVISION: 3

CHECK ALL DIMENSIONS ON SITE

BAL: NOT APPLICABLE

TOWN OF VICTORIA PARK

Received: 19/12/2025

NOTES:

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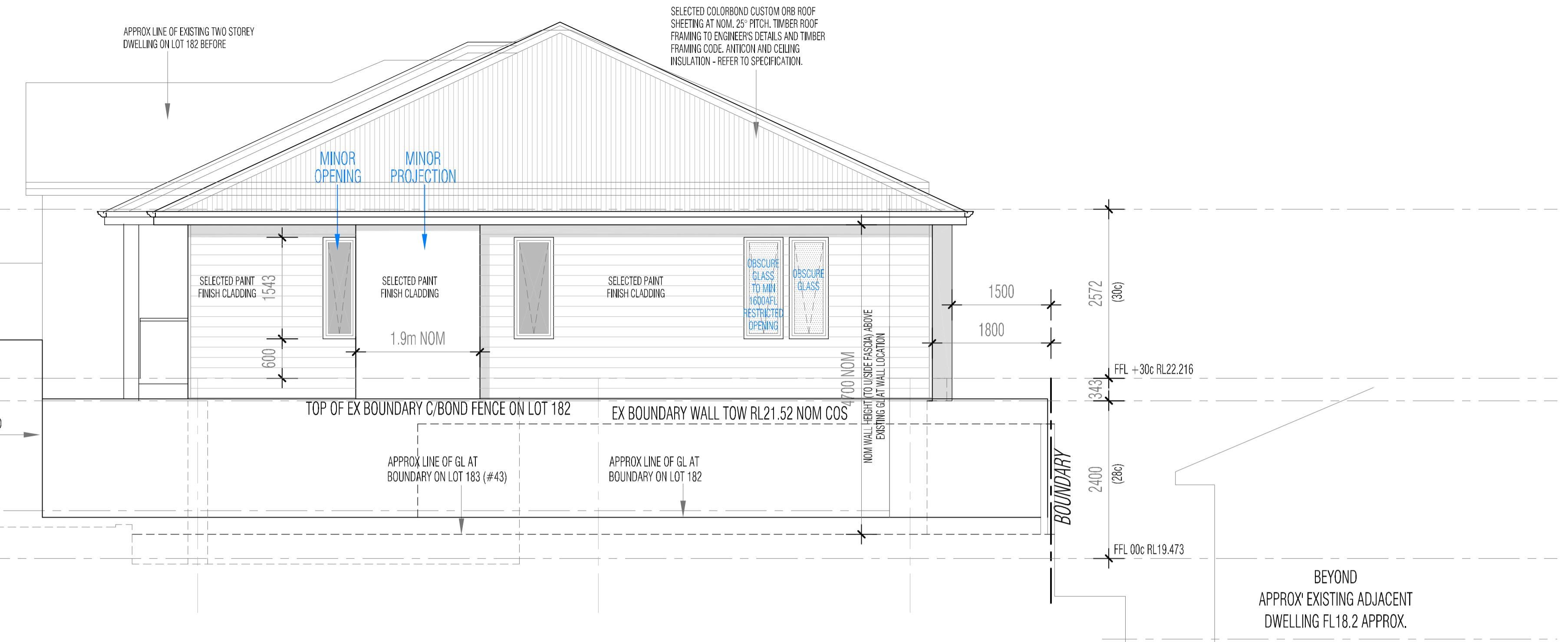
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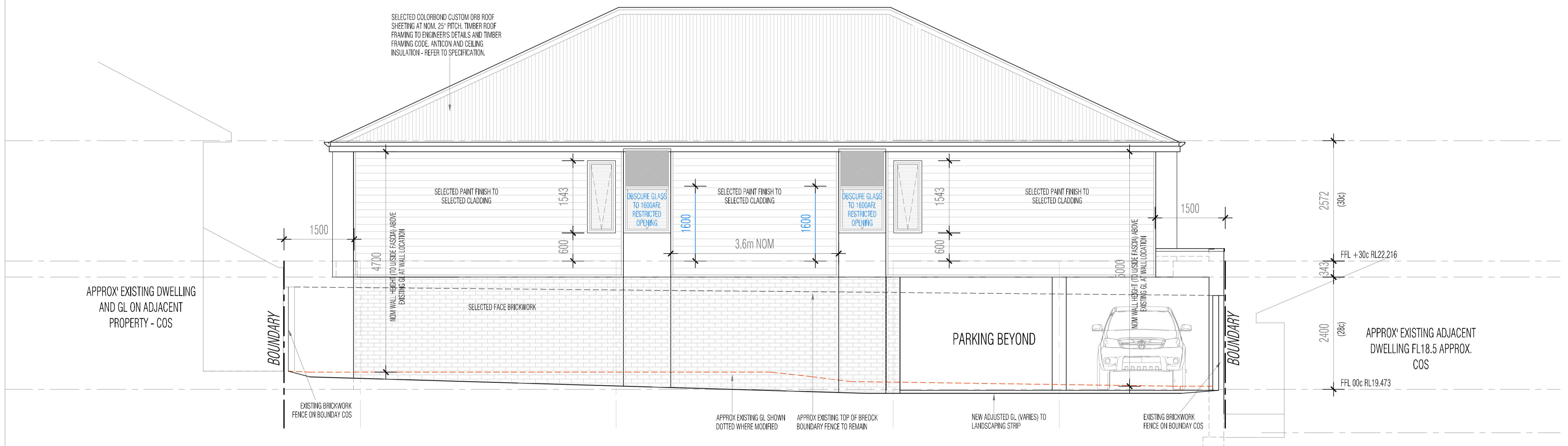
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- SELECTED WINDOW AND DOOR FRAMES

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ELEVATION 3 - NORTH WEST



ELEVATION 4 - SOUTH WEST

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PRELIMINARY

1 REVISED ISSUE FOR DEVELOPMENT APPROVAL 03/07/2025
0 ISSUE FOR DEVELOPMENT APPROVAL 25/06/2025
P2 PRELIMINARY ISSUE 18/06/2025
ISSUE DESCRIPTION DATE

PROPOSED DEVELOPMENT

43 TEAGUE STREET
VICTORIA PARK

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ELEVATIONS - SHEET 2

Job No: 25009 Scale: 1:50 CAD Ref: 25009

DRAWING: A302 REVISION: 1

CHECK ALL DIMENSIONS ON SITE

BAL: NOT APPLICABLE

TOWN OF VICTORIA PARK

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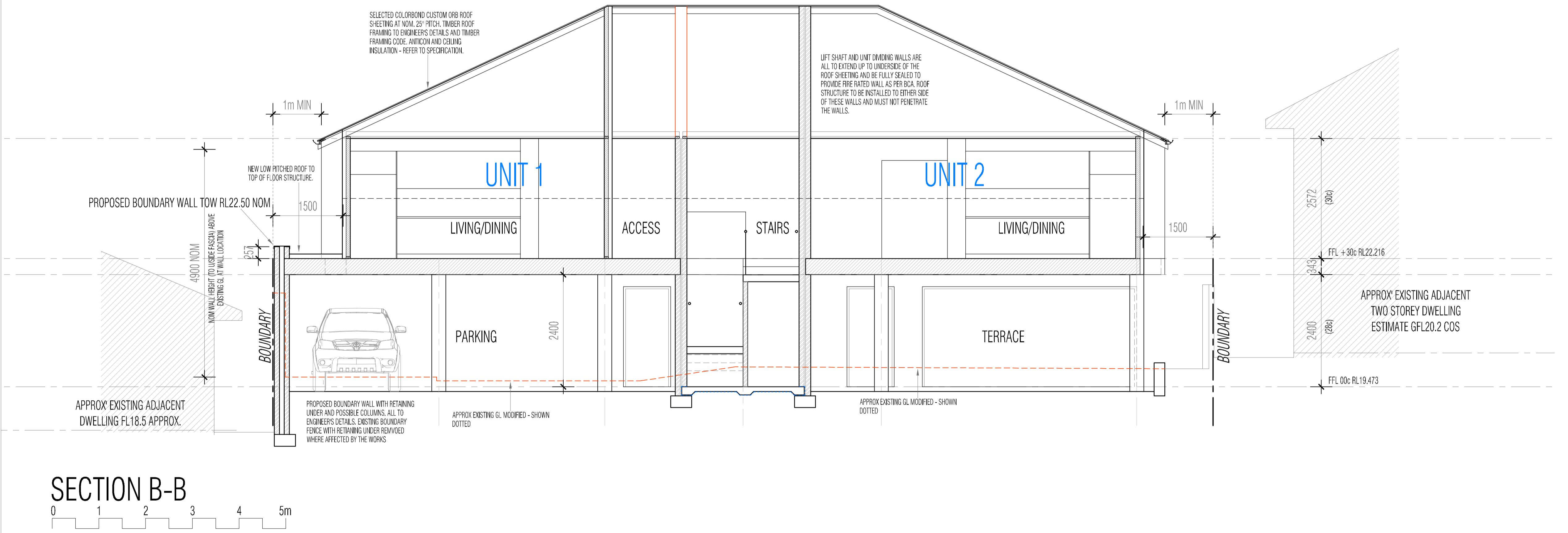
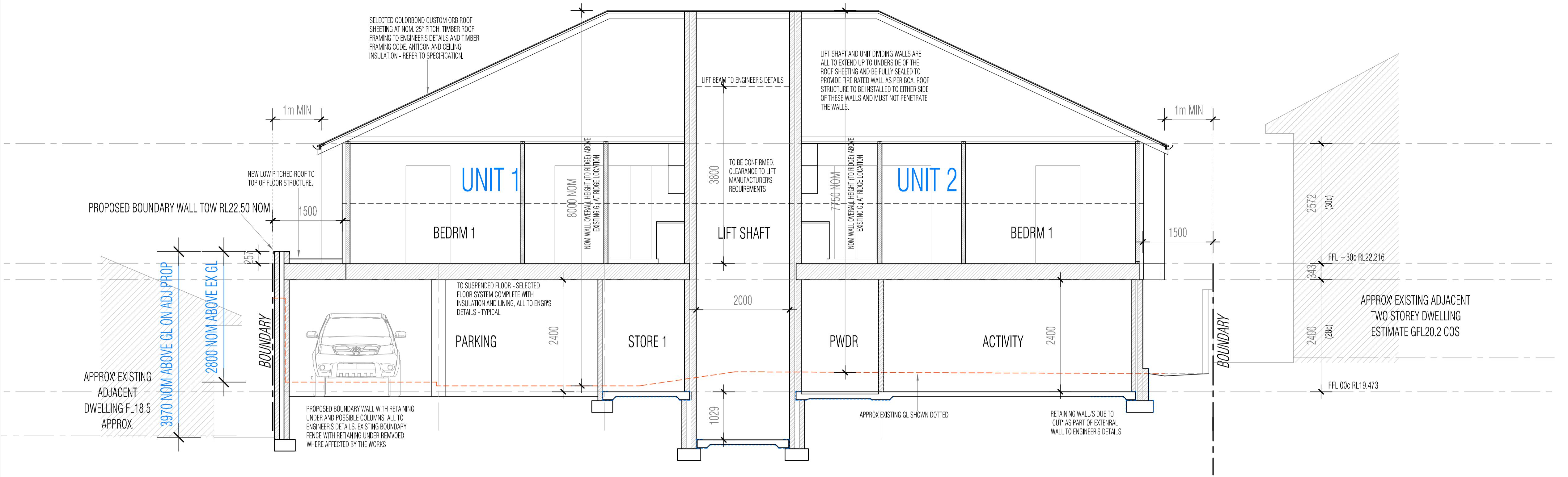
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SECTIONS - SHEET 1

Job No: 25009 Scale: 1:50 CAD Ref: 25009

DRAWING: A401 REVISION: 1

CHECK ALL DIMENSIONS ON SITE

BAL: NOT APPLICABLE

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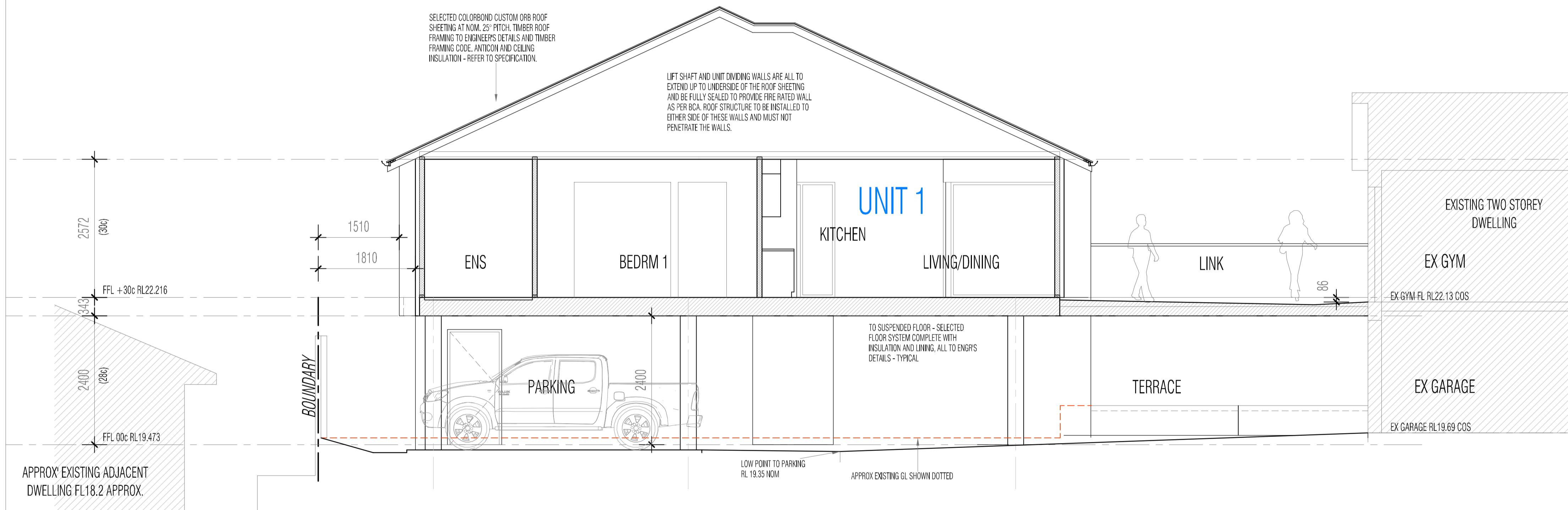
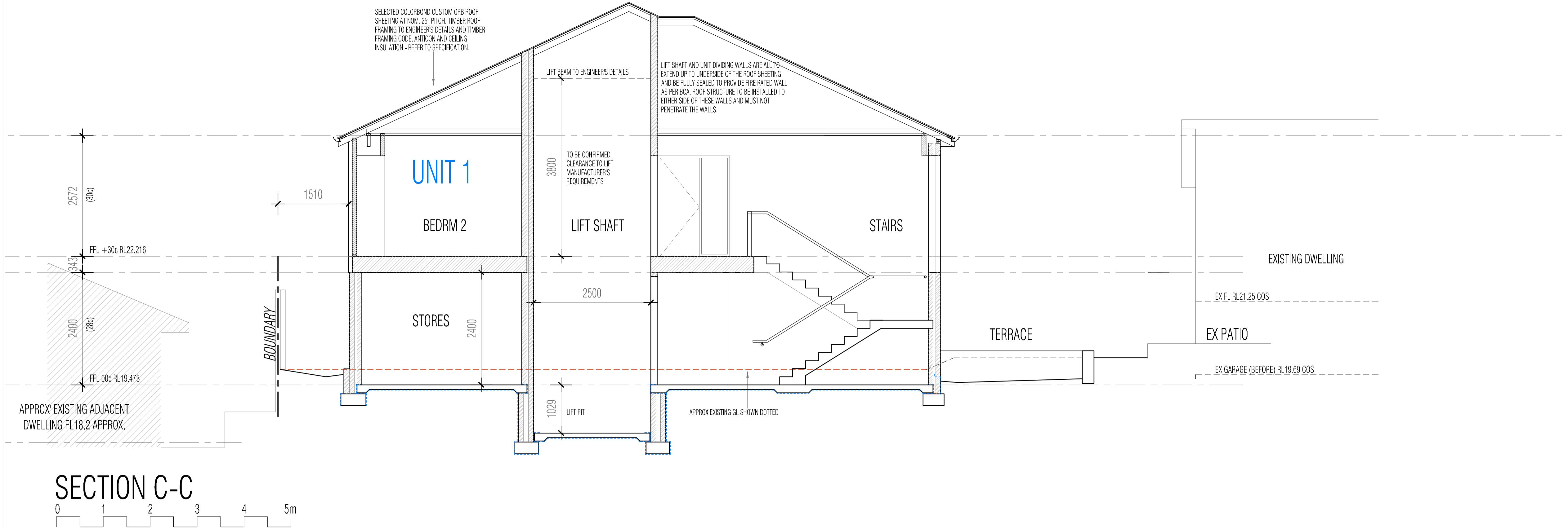
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SECTIONS - SHEET 2

Job No: 25009 Scale: 1:50 CAD Ref: 25009

DRAWING: A402

REVISION: 1