



DRAWING LIST			
DRAWING No.	REV	DATE	DRAWING NAME
A000	G	04.03.2026	COVER SHEET
A010	E	04.03.2026	SITE SURVEY
A020	F	04.03.2026	DEMOLITION PLANS
A100	J	04.03.2026	SITE PLAN
A200	K	04.03.2026	GROUND FLOOR PLAN
A201	I	04.03.2026	LEVEL 1 FLOOR PLAN
A210	E	04.03.2026	ROOF PLAN
A300	G	04.03.2026	ELEVATIONS
A800	E	04.03.2026	PERSPECTIVES
A801	B	04.03.2026	PERSPECTIVES

TOTAL DRAWINGS: 10

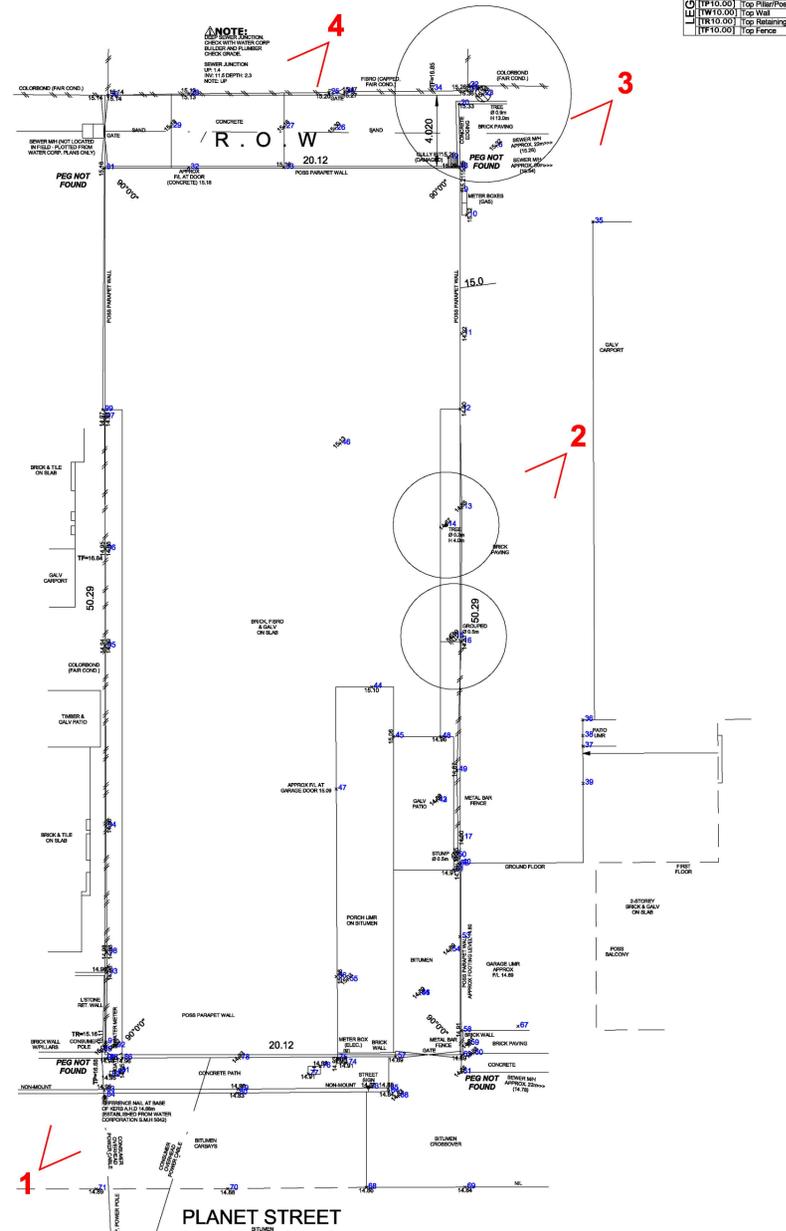
G	DA ADVERTISEMENT	04.03.2026
F	CONSULTANT ISSUE	28.02.2026
E	DRP FURTHER INFO	28.01.2026
D	ISSUE TO LANDSCAPE	23.12.2025
C	DEVELOPMENT APPROVAL	15.08.2025
B	CONCEPT DESIGN	23.05.2025
A	FEASIBILITY	04.02.2025
REV No.	DESCRIPTION	DATE

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PROJECT:
MIXED USE DEVELOPMENT
PROJECT ADDRESS:
44 PLANET ST, CARLISLE

DRAWING No. REV SCALE @ A1
A000 G
DWG TITLE:
COVER SHEET

PROJECT PHASE:



LEGEND

⊕	Power Dome
⊕	Power Pole
⊕	Phone Pile
⊕	Water Core
⊕	Top Pillar/Post
⊕	Top Wall
⊕	Top Retaining
⊕	Top Fence



Scale 1:200

87-89 Guthrie Street Osborne Park, WA 6017	JOB # 556820	GPS Lat: -31.976253 Long: 115.91295	ROADS Bitumen	ELEC. U/Ground / O/Head
PO Box 1611 Osborne Park Business Centre WA 6917	CLIENT Prosper Lal & Prosper Fuel Pty Ltd	LOT Lot 575 (Plan 1740)	KERBS Non-Mount / Nil	COMMS. Yes
P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	ADDRESS #44 Planet Street	AREA 1012m ²	FOOTPATH Concrete	WATER Yes
	SUBURB Carlisle	DATE 10 Oct 23	SOIL Sand	GAS Check Allinta
	LGA TOWN OF VICTORIA PARK	SSA No	DRAINAGE Good	SEWER Yes
	DRAWN T.Currey		VEGETATION Refer to Survey	COASTAL No

SURVEY PLAN
1:200

E	DA ADVERTISEMENT	04.03.2026
D	CONSULTANT ISSUE	28.02.2026
C	DRP FURTHER INFO	28.01.2026
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A	DEVELOPMENT APPROVAL	15.08.2025
REV No.	DESCRIPTION	DATE



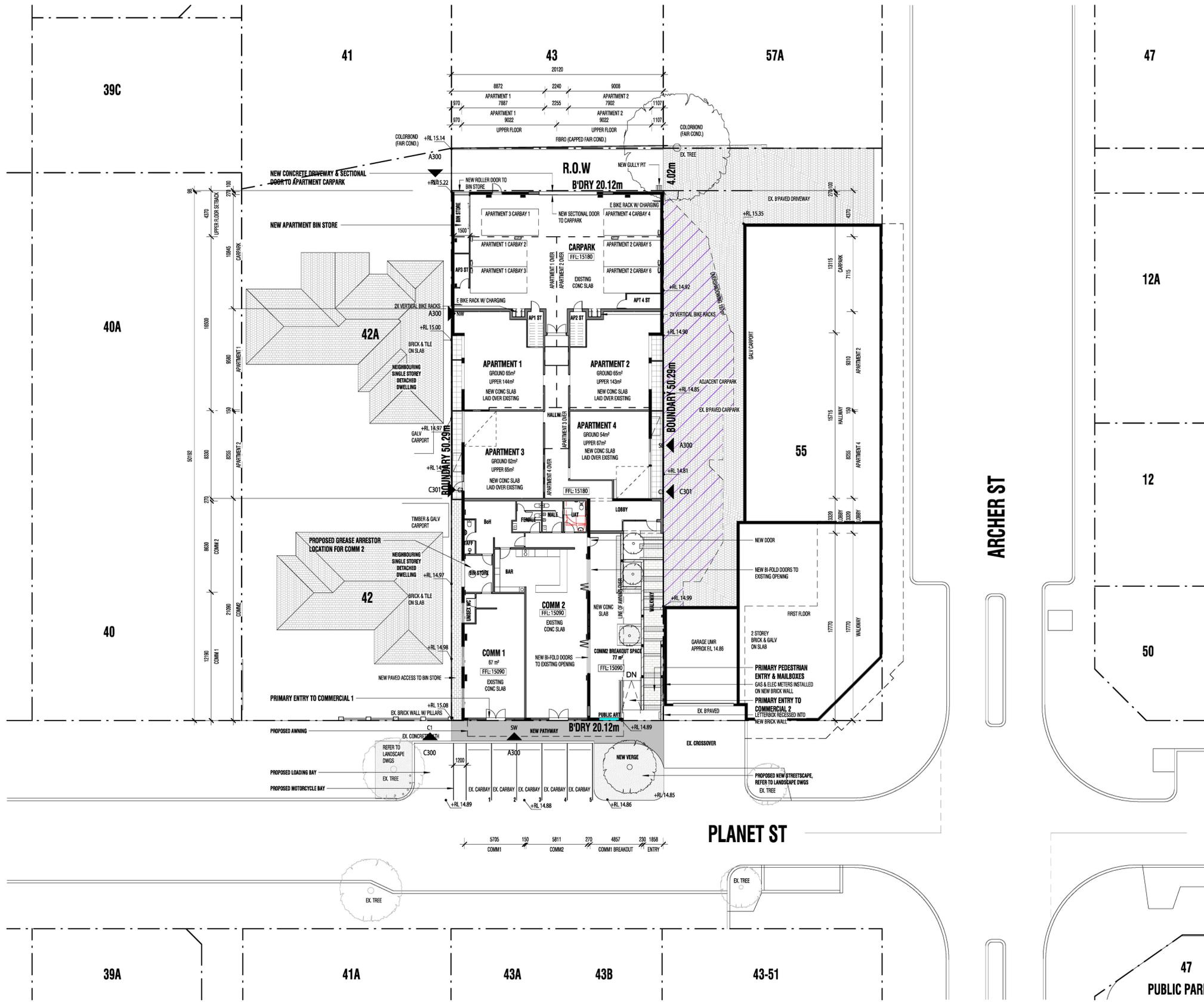
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PROJECT
MIXED USE DEVELOPMENT
PROJECT ADDRESS:
44 PLANET ST, CARLISLE

DRAWING No. **A010** REV **E** SCALE @ A1
1:200

DWG TITLE:
SITE SURVEY

PROJECT PHASE:



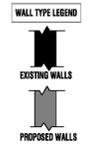
R-AC4

SETBACKS
PRIMARY ST SETBACK: 2m
SIDE SETBACKS: NIL
BOUNDARY MAX WALL HEIGHT: 9m
BUILDING HEIGHT: MAX 5 STOREYS

FLOOR TO FLOOR
RES + COMM: 605.1m²
UPPER: 480m²
= 1085.1 (GFA)

SITE AREA = 1012m²
PLOT RATIO = 1.07 (1.2MAX)

R-AC4 NEIGHBOURHOOD CENTRES SUITABLE FOR LOW-MEDIUM RISE RESIDENTIAL



APARTMENT DEVELOPMENT SUMMARY

NO.	NO. OF BEDROOMS	BATHROOM	GFA (m ²)	LEVEL 1FA (m ²)	PRIVATE OUTDOOR SPACE m ²
APARTMENT 1	2	2	65m ²	144m ²	33m ²
APARTMENT 2	2	2	65m ²	143m ²	33m ²
APARTMENT 3	2	2	54m ²	63m ²	13.5m ²
APARTMENT 4	2	2	62m ²	66m ²	13.5m ²

APARTMENT DEEP SOIL

NO.	TYPE	DEPTH	WIDTH	LENGTH	TOTALm ³
APARTMENT 1	SMALL TREE	1.2m	1.8m	1.8m	3.88m ³
APARTMENT 2	SMALL TREE	1.2m	1.8m	1.8m	3.88m ³
APARTMENT 3					
APARTMENT 4					

APARTMENT PARKING (LOCATION A)

NO.	CARBAYS	STACKER	TOTAL CARBAYS	BICYCLE
APARTMENT 1	2		2	
APARTMENT 2	2		2	
APARTMENT 3	1		1	
APARTMENT 4	1		1	
ALL				6

APARTMENT STORAGE (Min 2.1m Ceiling)

NO.	GROUND	FIRST FLOOR	MIN REQ m ³	PROVIDED m ²
APARTMENT 1	4.2m ³	5.4m ³	8m ³	9.6m ²
APARTMENT 2	4.2m ³	5.4m ³	8m ³	9.6m ²
APARTMENT 3	12m ³		8m ³	12m ²
APARTMENT 4	12m ³		8m ³	12m ²

COMMERCIAL DEVELOPMENT SUMMARY

AREA	SQM (m ²)
COMM1	67
COMM2	196
COMM2 BREAKOUT SPACE	72
BIN STORE	9

COMM2 LAYOUT INFORMATION

AREA	SQM (m ²)
INTERNAL SEATING	67
BREAKOUT SPACE	72
BAR	24
BoH	21
FEMALE	9
MALE	6
UAT	6

COMMERCIAL BREAKOUT SPACE

TYPE	DEPTH	WIDTH	LENGTH	TOTALm ³
1x SMALL TREE	1.5m	1.3m	2.3m	5.87m ³
1x SMALL TREE	1.5m	1.3m	1.8m	4.68m ³

J	DA ADVERTISEMENT	04.03.2026
I	CONSULTANT ISSUE	28.02.2026
H	DRP FURTHER INFO	28.01.2026
G	ISSUE TO LANDSCAPE	23.12.2025
F	DA REVISIONS	14.10.2025
E	DA REVISIONS	08.09.2025
D	DEVELOPMENT APPROVAL	15.08.2025
C	REVISED PLAN FOR TRAFFIC	30.07.2025
B	CONCEPT DESIGN	23.05.2025
A	FEASIBILITY	04.02.2025
REV. NO.	DESCRIPTION	DATE



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PROJECT: **MIXED USE DEVELOPMENT**
PROJECT ADDRESS: 44 PLANET ST, CARLISLE

DRAWING NO: **A100** REV: **J** SCALE: @ A1
DWG TITLE: **SITE PLAN**

PROJECT PHASE:

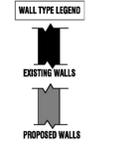
R-AC4

SETBACKS
PRIMARY ST SETBACK: 2m
SIDE SETBACKS: NIL
BOUNDARY MAX WALL HEIGHT: 9m
BUILDING HEIGHT MAX: 3 STOREYS

PLOT RATIO
RES+COMM: 605.1m²
UPPER: 480m²
=1085.1 (80%)

SITE AREA = 1012m²
PLOT RATIO = 1.07 (1.2 MAX)

R-AC4 NEIGHBOURHOOD CENTRES SUITABLE FOR
LOW-MEDIUM RISE RESIDENTIAL



APARTMENT DEVELOPMENT SUMMARY

NO.	NO. OF BEDROOMS	BATHROOM	GFA (m ²)	LEVEL 1FA (m ²)	PRIVATE OUTDOOR SPACE m ²
APARTMENT 1	2	2	85m ²	144m ²	33m ²
APARTMENT 2	2	2	65m ²	143m ²	33m ²
APARTMENT 3	2	2	54m ²	63m ²	13.5m ²
APARTMENT 4	2	2	82m ²	68m ²	13.5m ²

APARTMENT DEEP SOIL

NO.	TYPE	DEPTH	WIDTH	LENGTH	TOTAL m ³
APARTMENT 1	SMALL TREE	1.2m	1.8m	1.8m	3.88m ³
APARTMENT 2	SMALL TREE	1.2m	1.8m	1.8m	3.88m ³
APARTMENT 3					
APARTMENT 4					

APARTMENT PARKING (LOCATION A)

NO.	CARBAYS	STACKER	TOTAL CARBAYS	BICYCLE
APARTMENT 1	2		2	
APARTMENT 2	2		2	
APARTMENT 3	1		1	
APARTMENT 4	1		1	
ALL				6

APARTMENT STORAGE (Min 2.1m Ceiling)

NO.	GROUND	FIRST FLOOR	MIN REQ m ²	PROVIDED m ²
APARTMENT 1	4.2m ²	5.4m ²	8m ²	9.6m ²
APARTMENT 2	4.2m ²	5.4m ²	8m ²	9.6m ²
APARTMENT 3	12m ²		8m ²	12m ²
APARTMENT 4	12m ²		8m ²	12m ²

COMMERCIAL DEVELOPMENT SUMMARY

AREA	SQM (m ²)
COMM1	67
COMM2	169
COMM2 BREAKOUT SPACE	72
BIN STORE	8

COMM2 LAYOUT INFORMATION

AREA	SQM (m ²)
INTERNAL SEATING	67
BREAKOUT SPACE	72
BAR	24
BoH	21
FEMALE	9
MALE	6
UAT	6

COMMERCIAL BREAKOUT SPACE

TYPE	DEPTH	WIDTH	LENGTH	TOTAL m ³
1x SMALL TREE	1.5m	1.7m	2.3m	5.87m ³
1x SMALL TREE	1.5m	1.7m	1.6m	4.08m ³

FINISHES SCHEDULE

REV NO.	DESCRIPTION	DATE
K	DA ADVERTISEMENT	04.03.2026
J	CONSULTANT ISSUE	28.02.2026
I	DRP FURTHER INFO	28.01.2026
H	ISSUE TO LANDSCAPE	23.12.2025
G	ISSUE TO TOWN OF VIC	23.12.2025
F	DA REVISIONS	14.10.2025
E	DA REVISIONS	08.09.2025
D	DEVELOPMENT APPROVAL	15.08.2025
C	REVISED PLAN FOR TRAFFIC	30.07.2025
B	CONCEPT DESIGN	23.05.2025
A	FEASIBILITY	04.02.2025

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MIXED USE DEVELOPMENT

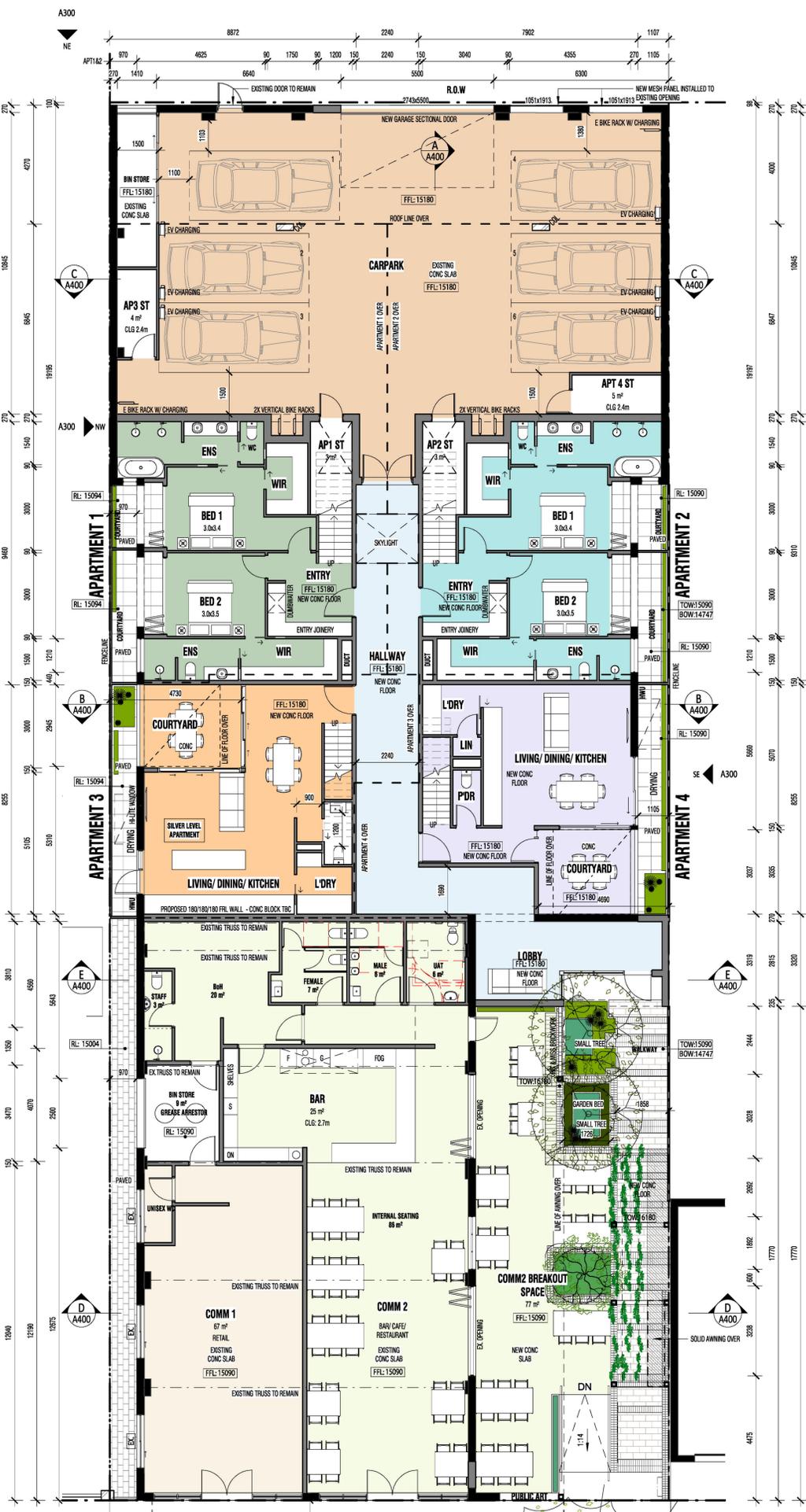
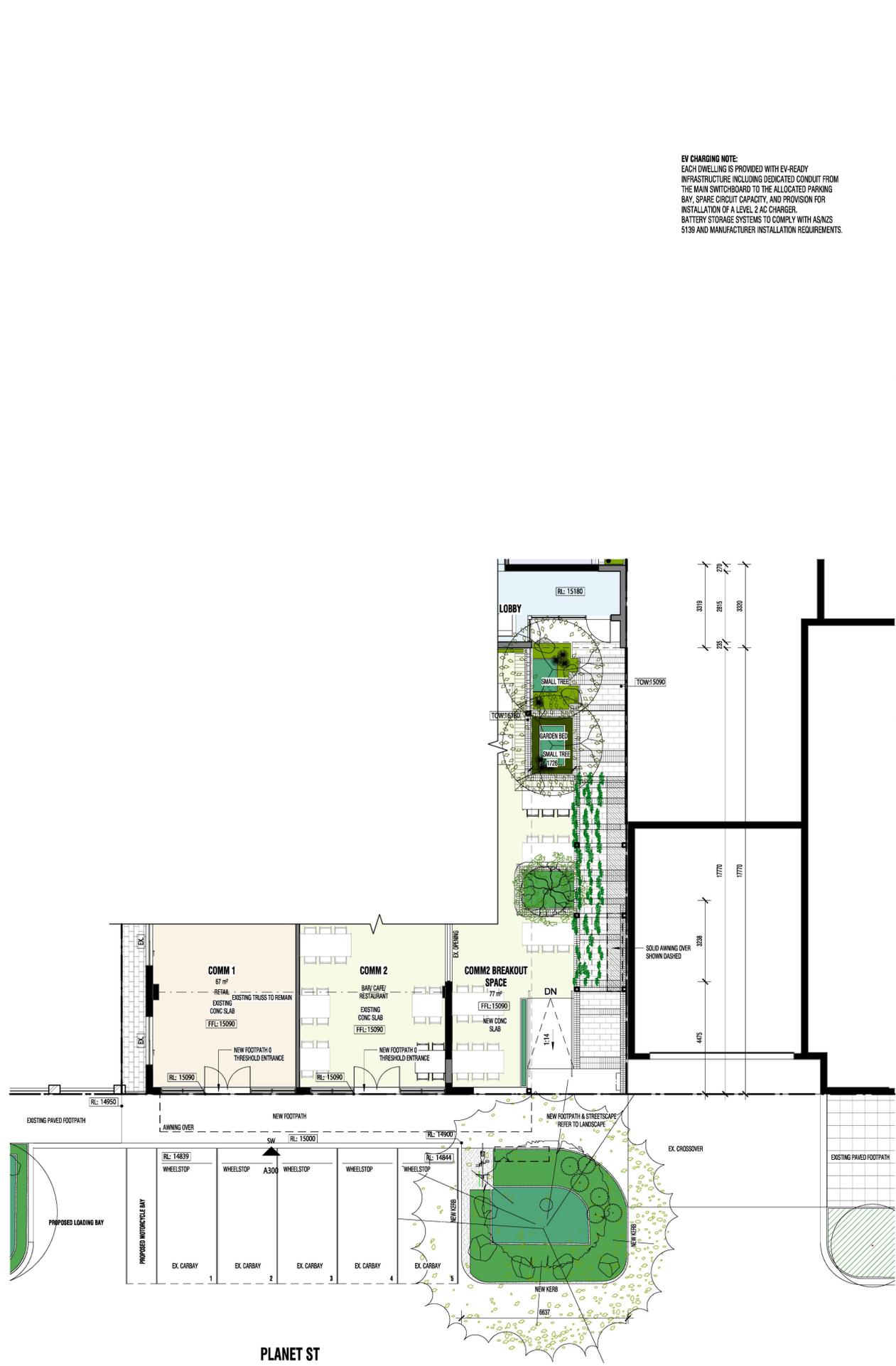
PROJECT ADDRESS:
44 PLANET ST, CARLISLE

DRAWING NO. **A200** REV **K** SCALE @ A1
As Indicated

DWG TITLE:
GROUND FLOOR PLAN

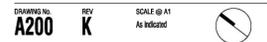
PROJECT PHASE:

EV CHARGING NOTE:
EACH DWELLING IS PROVIDED WITH EV-READY INFRASTRUCTURE INCLUDING DEDICATED CONDUIT FROM THE MAIN SWITCHBOARD TO THE ALLOCATED PARKING BAY, SPARE SWITCH CAPACITY, AND PROVISION FOR INSTALLATION OF A LEVEL 2 AC CHARGER. BATTERY STORAGE SYSTEMS TO COMPLY WITH AS/NZS 5139 AND MANUFACTURER INSTALLATION REQUIREMENTS.

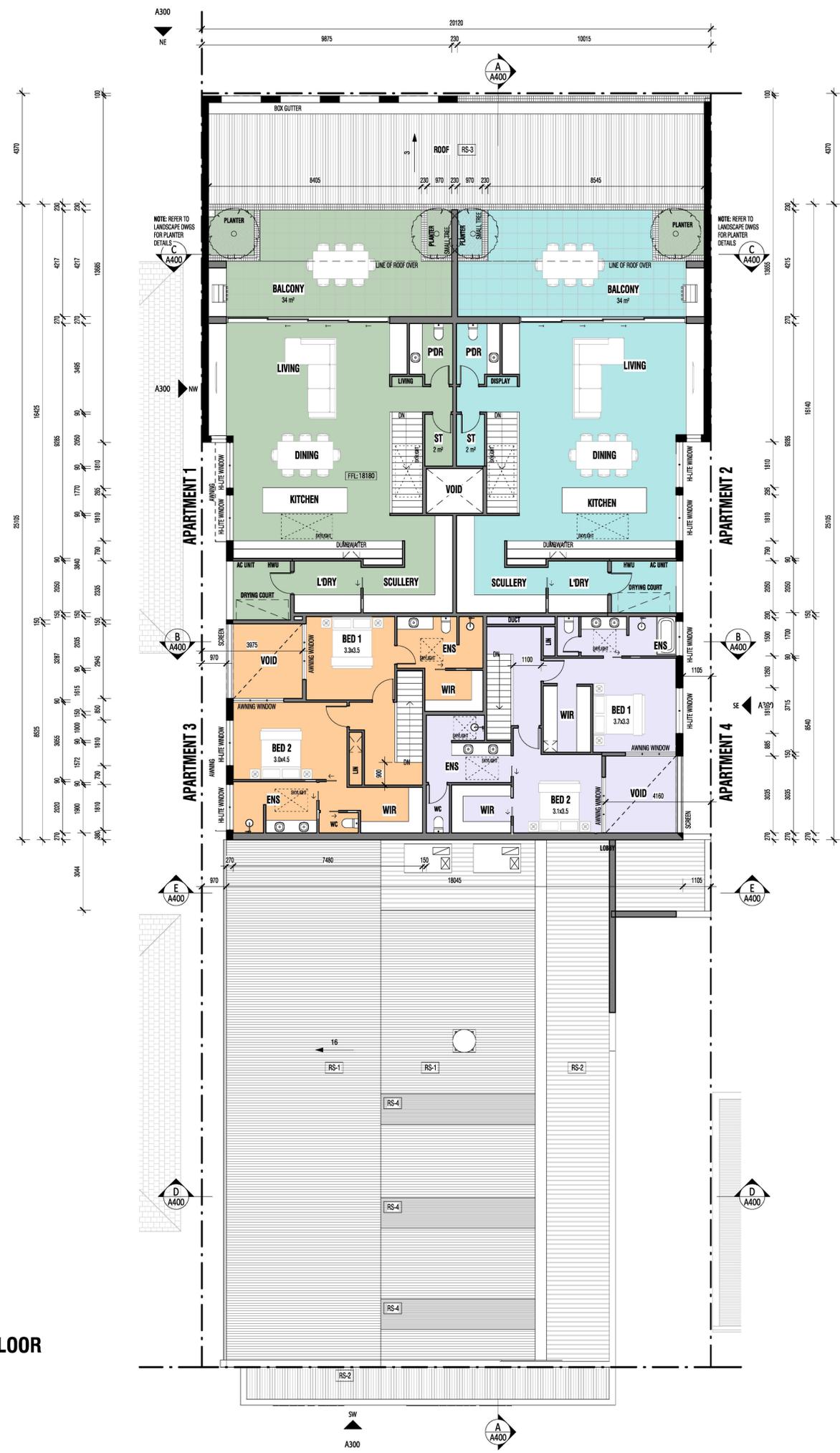


STREETSCAPE PLAN
1 : 100

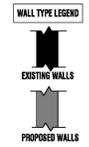
GROUND FLOOR
1 : 100



UPPER FLOOR
1:100



R-AC4
SETBACKS
 PRIMARY ST SETBACK: 2m
 SIDE SETBACKS: Nil
 SECONDARY MAX WALL HEIGHT 9m
 BUILDING HEIGHT MAX 3 STOREYS
PLOT RATIO
 REB + COMM: 505.1m²
 UPPER: 480m²
 = 105.1 (GFA)
 SITE AREA = 1012m²
 PLOT RATIO = 1.07 (1.2MMA)
 R-AC4 NEIGHBOURHOOD CENTRES SUITABLE FOR
 LOW-MEDIUM RISE RESIDENTIAL



APARTMENT DEVELOPMENT SUMMARY

NO.	NO. OF BEDROOMS	BATHROOM	GFA (m ²)	LEVEL 1FA (m ²)	PRIVATE OUTDOOR SPACE m ²
APARTMENT 1	2	2	65m ²	144m ²	33m ²
APARTMENT 2	2	2	65m ²	143m ²	33m ²
APARTMENT 3	2	2	54m ²	63m ²	13.5m ²
APARTMENT 4	2	2	62m ²	96m ²	13.5m ²

APARTMENT DEEP SOIL

NO.	TYPE	DEPTH	WIDTH	LENGTH	TOTALm ³
APARTMENT 1	SMALL TREE	1.2m	1.8m	1.8m	3.88m ³
APARTMENT 2	SMALL TREE	1.2m	1.8m	1.8m	3.88m ³
APARTMENT 3					
APARTMENT 4					

APARTMENT PARKING (LOCATION A)

NO.	CARBAYS	STACKER	TOTAL CARBAYS	BIKCYCLE
APARTMENT 1	2		2	
APARTMENT 2		2	2	
APARTMENT 3	1		1	
APARTMENT 4	1		1	
ALL			6	

APARTMENT STORAGE (Min 2.1m Ceiling)

NO.	GROUND	FIRST FLOOR	MIN REQ m ³	PROVIDED m ²
APARTMENT 1	4.2m ²	5.4m ²	8m ³	9.6m ²
APARTMENT 2	4.2m ²	5.4m ²	8m ³	9.6m ²
APARTMENT 3	12m ²		8m ³	12m ²
APARTMENT 4	12m ²		8m ³	12m ²

- FINISHES SCHEDULE**
- BWK-1** EXISTING BRICKWORK - RED BRICK TO REMAIN AS PER EXISTING
 - BWK-2** EXISTING BRICKWORK - PAINTED BRICK TO REMAIN AS PER EXISTING
 - BWK-3** EXISTING BRICKWORK REMOVE PAINT FROM EXISTING BRICKWORK TO EXPOSE EXISTING RED BRICK
 - BWK-4** FACE BRICK RECYCLED RED BRICKWORK
 - MC-1** METAL CLADDING STANDING SEAM METAL CLADDING - MONUMENT
 - PGI** PGI COVER PRESSINGS MONUMENT
 - AW-1** ALUMINIUM WINDOWS & DOORS POWDERCOAT - MONUMENT
 - ME-1** CUSTOM MESH INFILL PANELS STEEL FLAT BAR - MONUMENT
 - RS-1** ROOF SHEET CORRUGATED ROOF SHEET - ZINCALUME
 - RS-2** ROOF SHEET TRAPEZOID ROOF SHEET - ZINCALUME
 - RS-4** ROOF SHEET CUSTOM ORF OPAL CORRUGATED TRANSLUCENT SHEET
 - GD** SECTION DOOR MONUMENT
 - CBF** COLORBOND FENCE MONUMENT
 - CBR** COLORBOND GUTTERS & DPS MONUMENT
 - ABS** ALUMINIUM HORIZONTAL BATTEN SCREENING MONUMENT

- MATERIAL REFERENCING KEY**
- INDICATES TYPE
 - INDICATES FINISH COLOUR

REV No.	DESCRIPTION	DATE
I	DA ADVERTISEMENT	04.03.2026
H	CONSULTANT ISSUE	28.02.2026
G	DRP FURTHER INFO	28.01.2026
F	ISSUE TO LANDSCAPE	23.12.2025
E	DA REVISIONS	08.09.2025
D	DEVELOPMENT APPROVAL	15.08.2025
C	REVISED PLAN FOR TRAFFIC	30.07.2025
B	CONCEPT DESIGN	23.05.2025
A	FEASIBILITY	04.02.2025

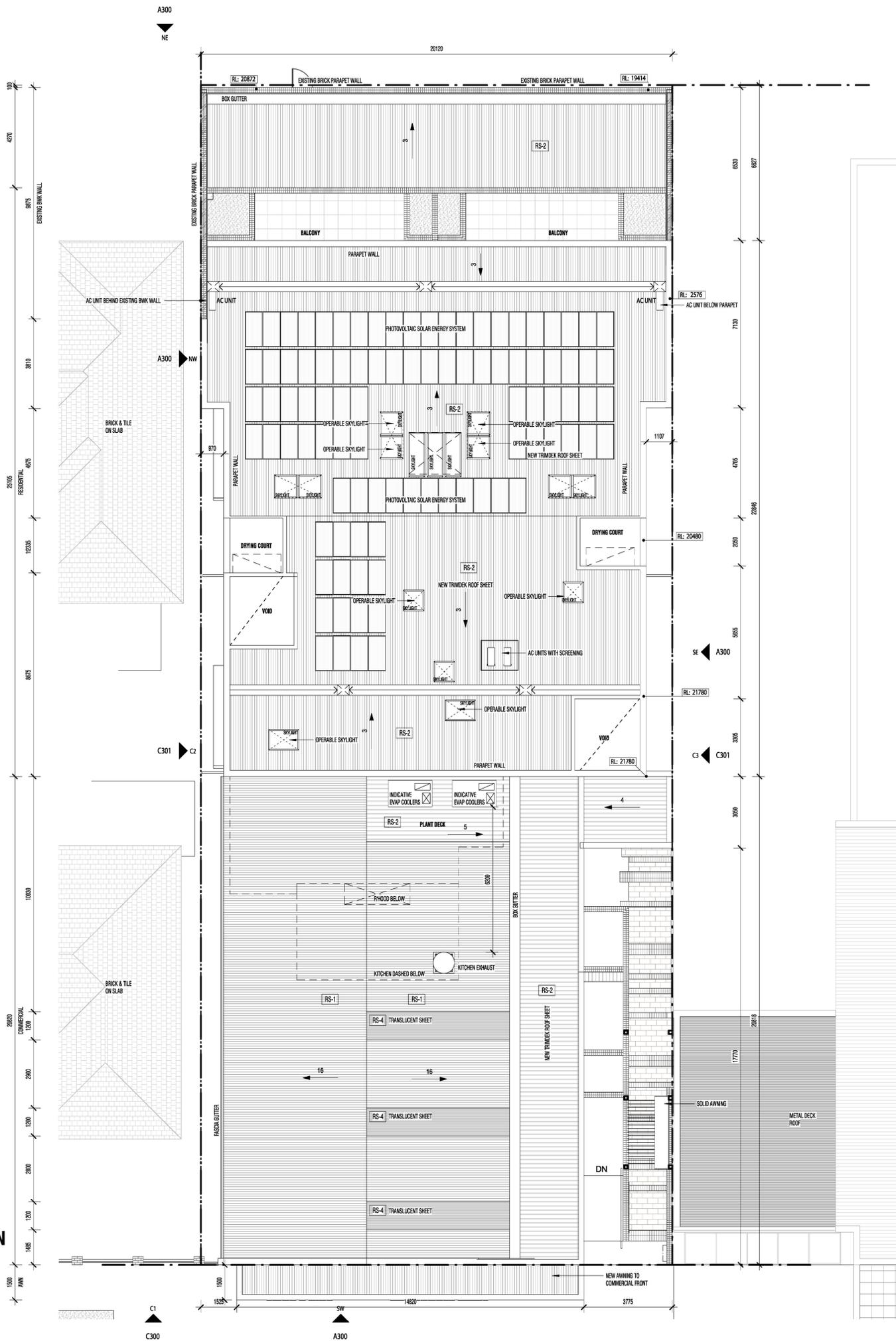


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PROJECT:
MIXED USE DEVELOPMENT
PROJECT ADDRESS:
44 PLANET ST, CARLISLE

DRAWING No.: A201
REV: I
SCALE @ A1: As Indicated
DWG TITLE: LEVEL 1 FLOOR PLAN
PROJECT PHASE:

ROOF PLAN
1:100



FINISHES SCHEDULE

- BWK-1** EXISTING BRICKWORK - RED BRICK TO REMAIN AS PER EXISTING
- BWK-2** EXISTING BRICKWORK - PAINTED BRICK TO REMAIN AS PER EXISTING
- BWK-3** EXISTING BRICKWORK REMOVE PAINT FROM EXISTING BRICKWORK TO EXPOSE EXISTING RED BRICK
- BWK-4** FACE BRICK RECYCLED RED BRICKWORK
- MC-1** METAL CLADDING STANDING SEAM METAL CLADDING - MONUMENT
- PGI** PGI COVER PRESSINGS MONUMENT
- AW-1** ALUMINIUM WINDOWS & DOORS POWDERCOAT - MONUMENT
- ME-1** CUSTOM MESH INFILL PANELS STEEL FLAT BAR - MONUMENT
- RS-1** ROOF SHEET CORRUGATED ROOF SHEET - ZINCALUME
- RS-2** ROOF SHEET TRIDEX ROOF SHEET - ZINCALUME
- RS-4** ROOF SHEET CUSTOM OPAL CORRUGATED TRANSLUCENT SHEET
- GD** SECTION DOOR MONUMENT
- CBF** COLORBOND FENCE MONUMENT
- CBR** COLORBOND GUTTERS & DPS MONUMENT
- ABS** ALUMINIUM HORIZONTAL BATTEN SCREENING MONUMENT

MATERIAL REFERENCING KEY

- INDICATES TYPE
- INDICATES FINISH COLOUR

REV No.	DESCRIPTION	DATE
E	DA ADVERTISEMENT	04.03.2026
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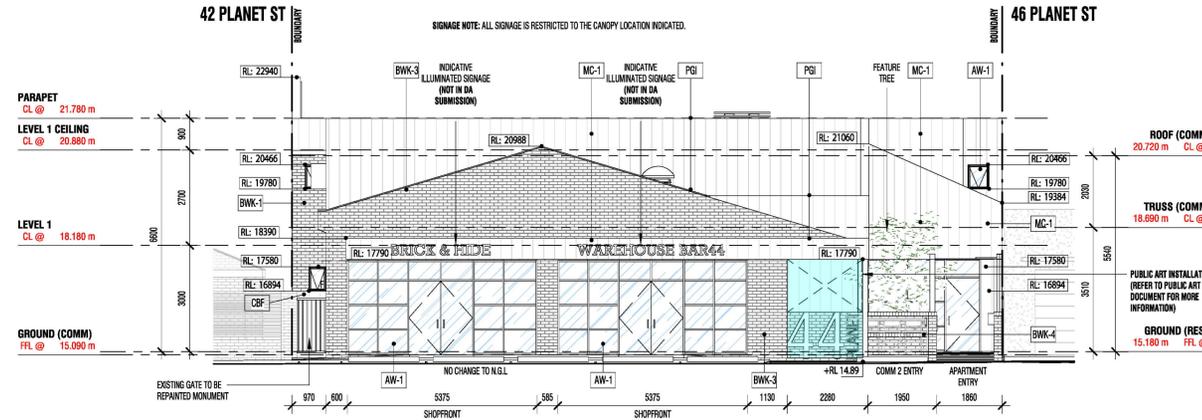
PROJECT MIXED USE DEVELOPMENT

PROJECT ADDRESS:
44 PLANET ST, CARLISLE

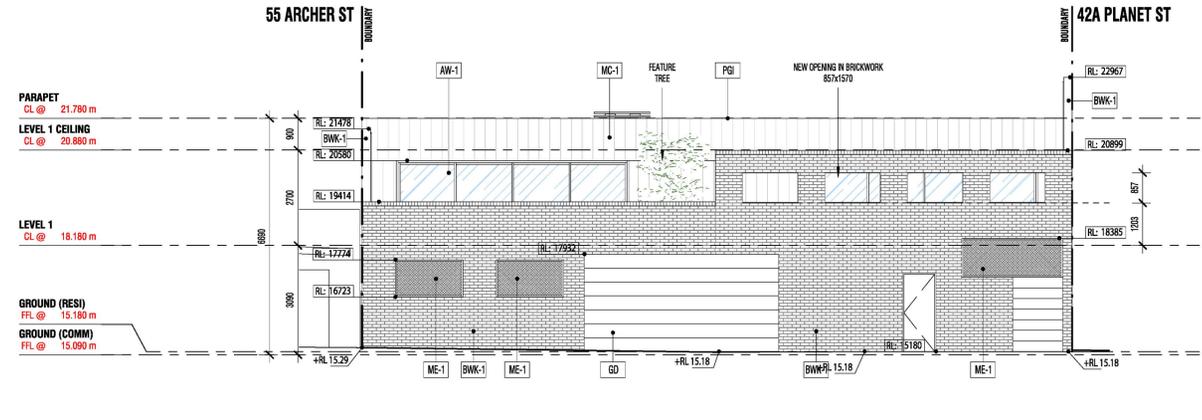
DRAWING No. **A210** REV **E** SCALE @ A1
As Indicated

DWG TITLE:
ROOF PLAN

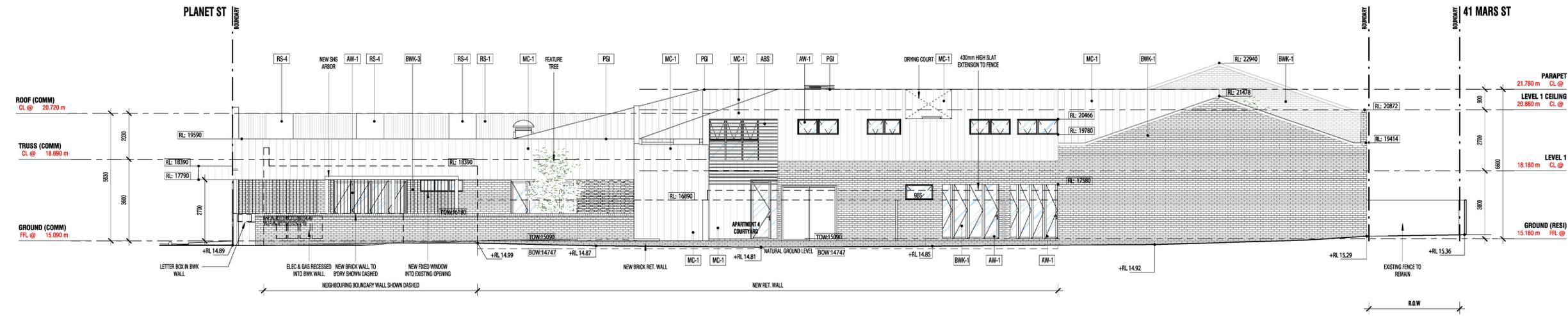
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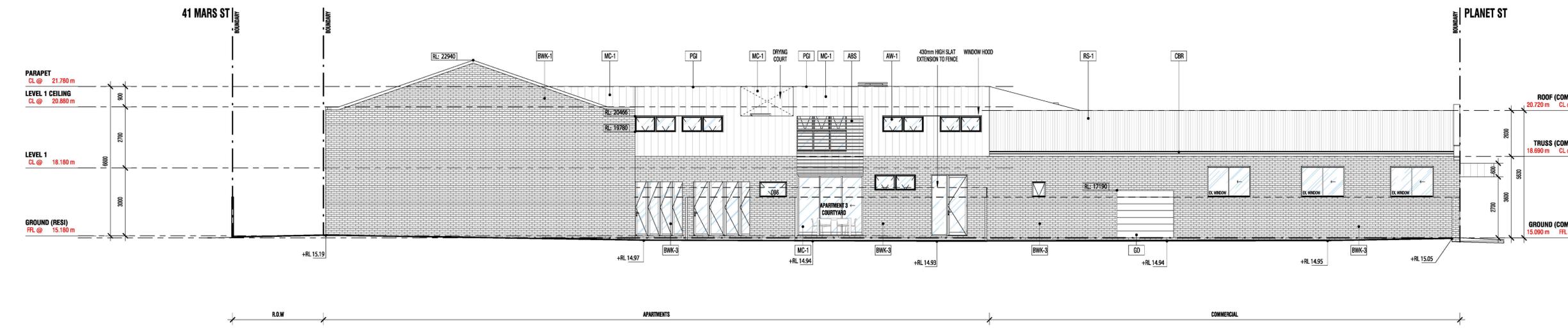
SW SOUTH-WEST ELEVATION
A100 1 : 100



NE NORTH-EAST ELEVATION
A100 1 : 100



SE SOUTH-EAST ELEVATION
A100 1 : 100



NW NORTH-WEST ELEVATION
A100 1 : 100

- FINISHES SCHEDULE**
- BWK-1 EXISTING BRICKWORK - RED BRICK TO REMAIN AS PER EXISTING
 - BWK-2 EXISTING BRICKWORK - PAINTED BRICK TO REMAIN AS PER EXISTING
 - BWK-3 EXISTING BRICKWORK REMOVE PAINT FROM EXISTING BRICKWORK TO EXPOSE EXISTING RED BRICK
 - BWK-4 FACE BRICK RECYCLED RED BRICKWORK
 - MC-1 METAL CLADDING STANDING SEAM METAL CLADDING - MONUMENT
 - PGI PGI COVER PRESSINGS MONUMENT
 - AW-1 ALUMINUM WINDOWS & DOORS POWDERCOAT - MONUMENT
 - ME-1 CUSTOM MESH INFILL PANELS STEEL FLAT BAR - MONUMENT
 - RS-1 ROOF SHEET CORRUGATED ROOF SHEET - ZINCALUME
 - RS-2 ROOF SHEET TRANSBRK ROOF SHEET - ZINCALUME
 - RS-4 ROOF SHEET CUSTOM ORP GAL CORRUGATED TRANSLUCENT SHEET
 - GD SECTION DOOR MONUMENT
 - CBF COLORBOND FENCE MONUMENT
 - CBR COLORBOND GUTTERS & DPS MONUMENT
 - ABS ALUMINUM HORIZONTAL BATTEN SCREENING MONUMENT
- MATERIAL REFERENCING KEY**
- INDICATES TYPE
 - INDICATES FINISH COLOUR

REV No.	DESCRIPTION	DATE
G	DA ADVERTISEMENT	04/03/2026
F	CONSULTANT ISSUE	28/02/2026
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A	FEASIBILITY	04/02/2025

Ultimo Design (WA)

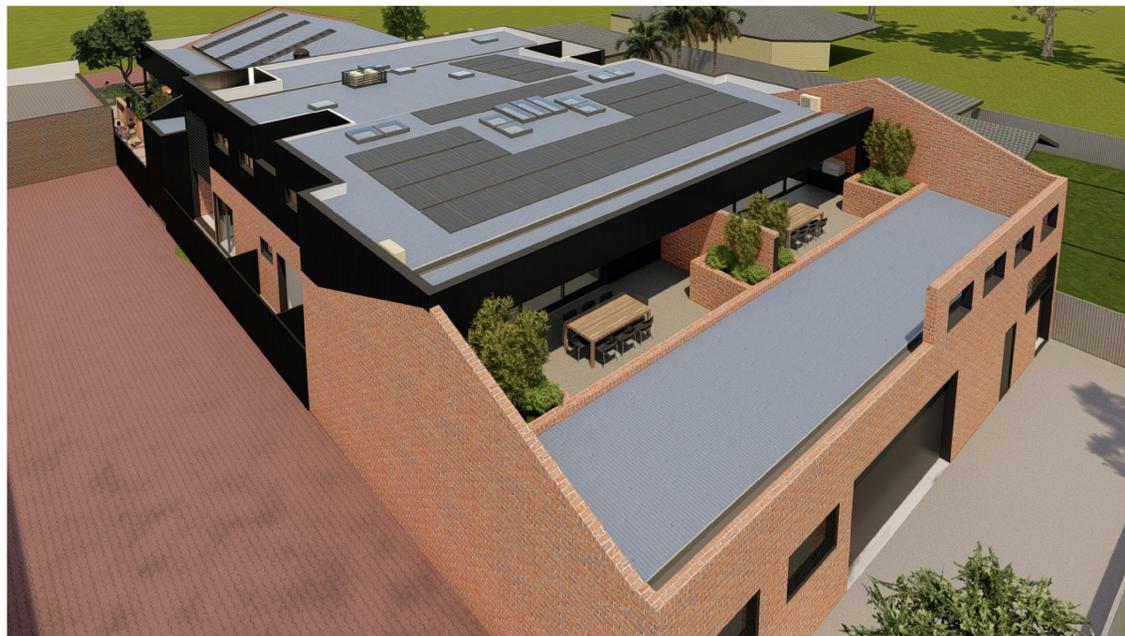
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MIXED USE DEVELOPMENT
PROJECT ADDRESS:
44 PLANET ST, CARLISLE

DRAWING No. **A300** REV **G** SCALE @ A1
As Indicated

DWG TITLE:
ELEVATIONS

PROJECT PHASE:



REV No.	DESCRIPTION	DATE
E	DA ADVERTISEMENT	04.03.2026
D	CONSULTANT ISSUE	28.02.2026
C	DRP FURTHER INFO	28.01.2026
B	ISSUE TO LANDSCAPE	23.12.2025
A	DEVELOPMENT APPROVAL	15.08.2025

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PROJECT: MIXED USE DEVELOPMENT
PROJECT ADDRESS: 44 PLANET ST, CARLISLE

DRAWING NO: **A900** REV: **E** SCALE: @ A1
DWG TITLE: **PERSPECTIVES**

PROJECT PHASE:



REV No.	DESCRIPTION	DATE
B	DA ADVERTISEMENT	04.03.2026
A	DEVELOPMENT APPROVAL	15.08.2025

Ultimo Design^(WA)

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PROJECT:
MIXED USE DEVELOPMENT

PROJECT ADDRESS:
44 PLANET ST, CARLISLE

DRAWING No.: A901
REV: B
SCALE: @ A1

DWG TITLE:
PERSPECTIVES

PROJECT PHASE: