

TOWN OF VICTORIA PARK
Received: 17/03/2026

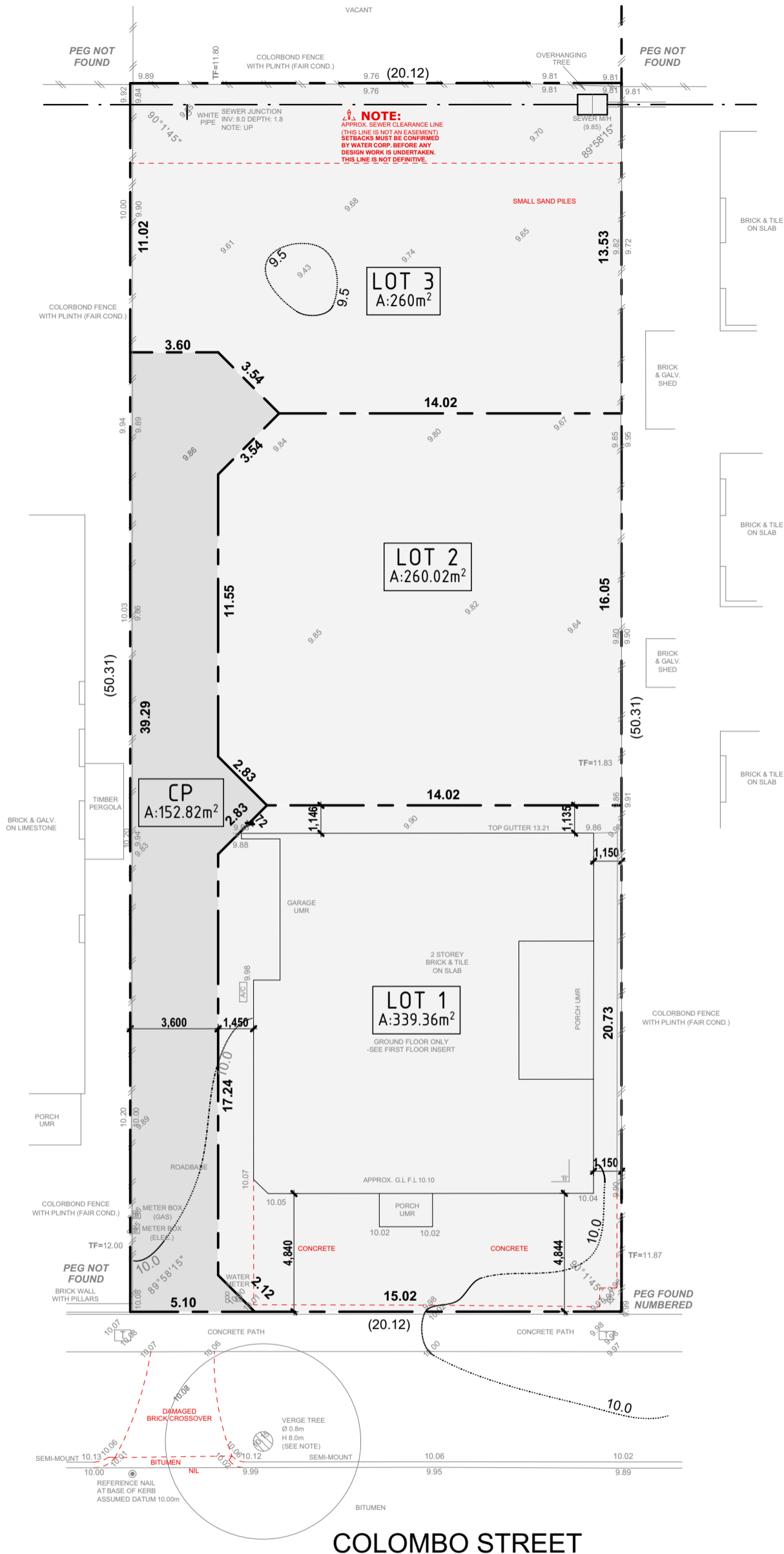


LOT 169 (NO.54) COLOMBO STREET, VICTORIA PARK

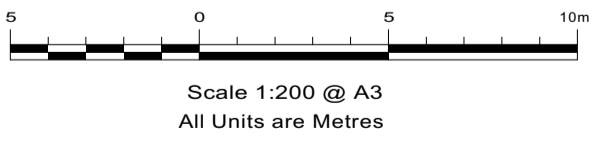
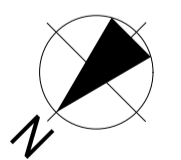
10/03/2026

PROJECT NO. VIC-COL	DRAWING NO. P1
REVISION NO. REV DA2	

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COLOMBO STREET



LOT 1	= 339.36m ²
LOT 2	= 260.02m ²
LOT 3	= 260.00m ²
COMMON	= 152.82m ²
TOTAL	= 1012.2m²

FEATURE SURVEY & SUBDIVISION PLAN
1:200



LOT 169 (NO.54) COLOMBO STREET, VICTORIA PARK
10/03/2026

PROJECT NO. VIC-COL	DRAWING NO. F1
REVISION NO. REV DA2	

LOT 3

SITE COVERAGE	
ZONED	R30
% ALLOWED	60%
SITE AREA	260.00m ²
SITE COV. AREA	142.03m ²
SITE COV. = 54.6%	

OUTDOOR LIVING AREA (OLA) CALCULATION
 - TOTAL OUTDOOR LIVING AREA = 44.79m²
 - ALFRESCO COVERED AREA = 8.29m²
 - ACTUAL OPEN SPACE TO (OLA) = 36.5m²

LOT 2

SITE COVERAGE	
ZONED	R30
% ALLOWED	60%
SITE AREA	260.02m ²
SITE COV. AREA	164.95m ²
SITE COV. = 63.4%	

OUTDOOR LIVING AREA (OLA) CALCULATION
 - TOTAL OUTDOOR LIVING AREA = 40.54m²
 - ALFRESCO COVERED AREA = 9.03m²
 - ACTUAL OPEN SPACE TO (OLA) = 31.51m²

LOT 1

SITE COVERAGE	
ZONED	R30
% ALLOWED	60%
SITE AREA	339.35m ²
SITE COV. AREA	199.07m ²
SITE COV. = 58.7%	

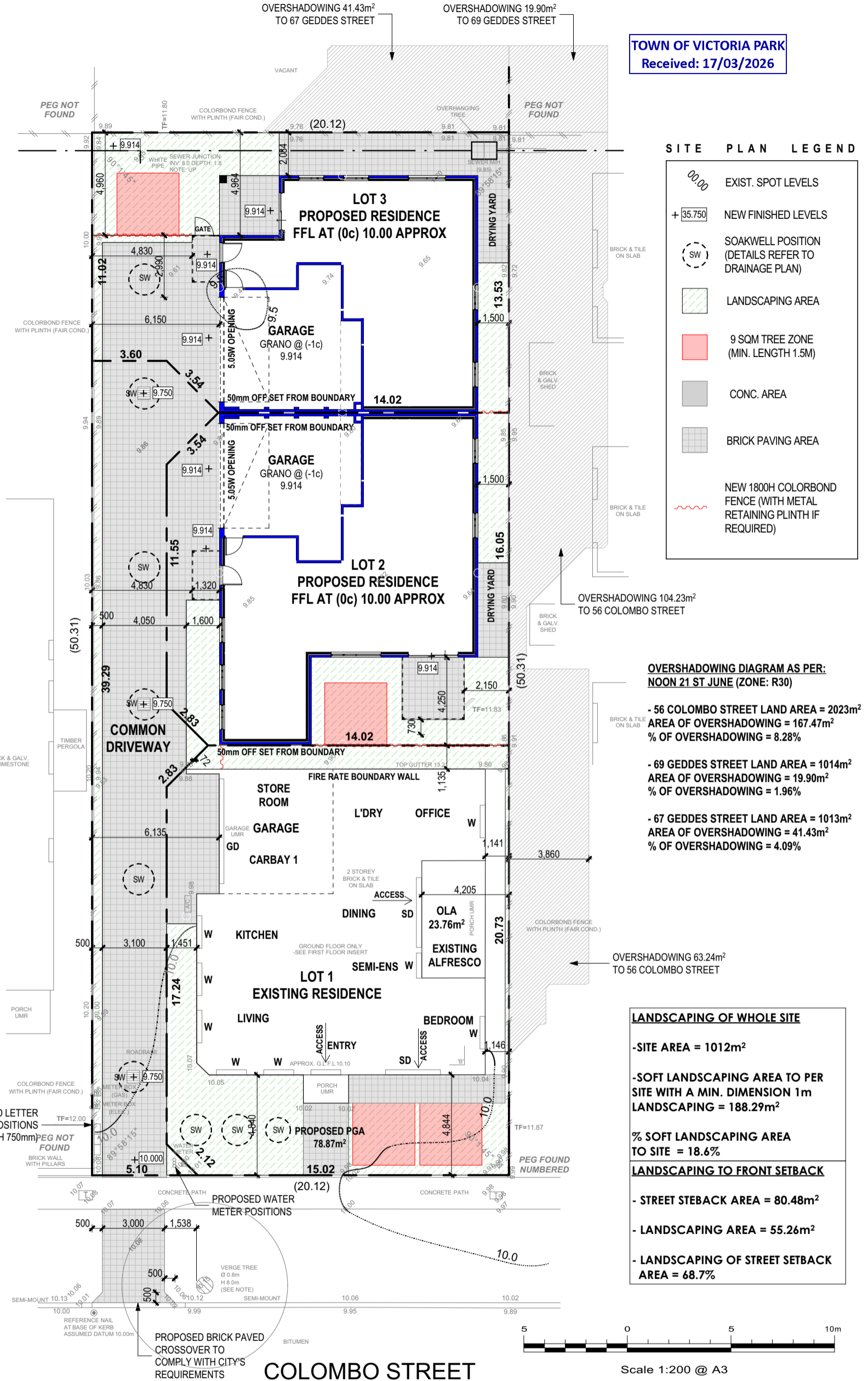
OUTDOOR LIVING AREA (OLA) CALCULATION
 - FRONT GARDEN AREA = 78.87m²
 - PORCH COVERED AREA = 2.97m²
 - SIDE OUTDOOR LIVING AREA = 23.76m²
 - ALFRESCO COVERED AREA = 17.29m²
 - ACTUAL OPEN SPACE TO (OLA) = 72.37m²

OPEN SPACE CALCULATIONS

TOTAL SITE COVER AREA:
 199.07m² + 164.95m² + 142.03m²
 = 506.05m²

TOTAL PARENT LOT AREA LESS
 COMMON PROPERTY:
 339.35m² + 260.02m² + 260m²
 = 859.37m²

SITE COVER%
 (506.05 / 859.37) X 100 = 58.89%



SITE PLAN LEGEND

00.00	EXIST. SPOT LEVELS
+ 35.750	NEW FINISHED LEVELS
SW	SOAKWELL POSITION (DETAILS REFER TO DRAINAGE PLAN)
[Green hatched]	LANDSCAPING AREA
[Red hatched]	9 SQM TREE ZONE (MIN. LENGTH 1.5M)
[Grey hatched]	CONC. AREA
[Grid pattern]	BRICK PAVING AREA
[Red dashed line]	NEW 1800H COLORBOND FENCE (WITH METAL RETAINING PLINTH IF REQUIRED)

**OVERSHADOWING DIAGRAM AS PER:
NOON 21 ST JUNE (ZONE: R30)**

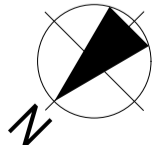
- 56 COLOMBO STREET LAND AREA = 2023m²
AREA OF OVERSHADOWING = 167.47m²
% OF OVERSHADOWING = 8.28%
- 69 GEDDES STREET LAND AREA = 1014m²
AREA OF OVERSHADOWING = 19.90m²
% OF OVERSHADOWING = 1.96%
- 67 GEDDES STREET LAND AREA = 1013m²
AREA OF OVERSHADOWING = 41.43m²
% OF OVERSHADOWING = 4.09%

LANDSCAPING OF WHOLE SITE

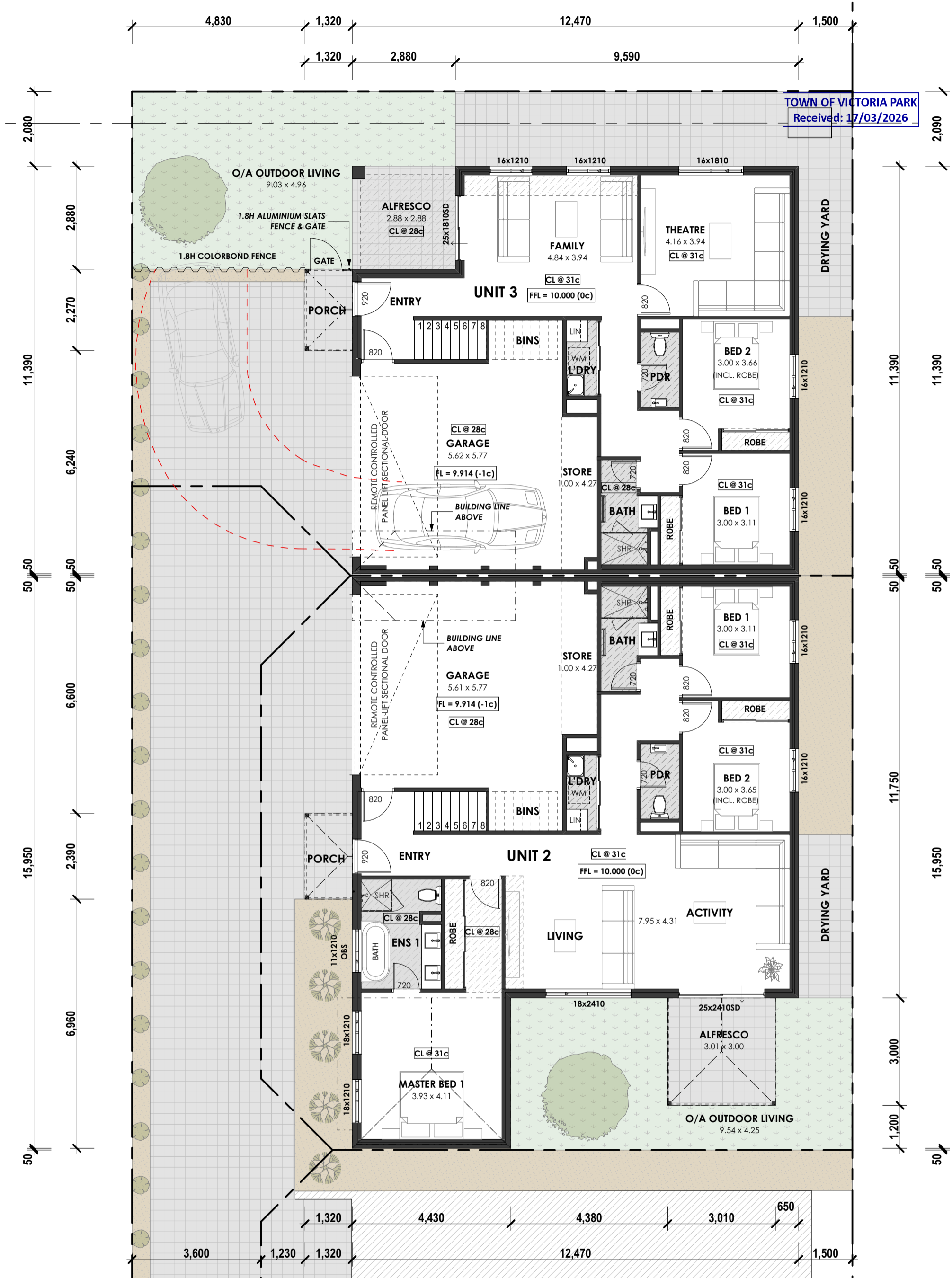
- SITE AREA = 1012m²
- SOFT LANDSCAPING AREA TO PER SITE WITH A MIN. DIMENSION 1m LANDSCAPING = 188.29m²
- % SOFT LANDSCAPING AREA TO SITE = 18.6%

LANDSCAPING TO FRONT SETBACK

- STREET STEBACK AREA = 80.48m²
- LANDSCAPING AREA = 55.26m²
- LANDSCAPING OF STREET SETBACK AREA = 68.7%

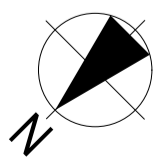


SITE PLAN
1:200



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GROUND FLOOR PLAN
1:100



ROOM AREA CALCULATION (LOT 2)	
ID	AREA
FIRST FLOOR	141.05
GROUND FLOOR	123.48
GARAGE & STORE	41.65
ALFRESCO	9.03
PORCH	3.15
TOTAL	318.36 m²

ROOM AREA CALCULATION (LOT 3)	
ID	AREA
FIRST FLOOR	136.17
GROUND FLOOR	92.13
GARAGE & STORE	41.22
ALFRESCO	8.29
PORCH	3.00
TOTAL	280.81 m²



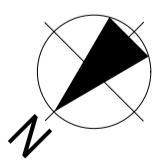
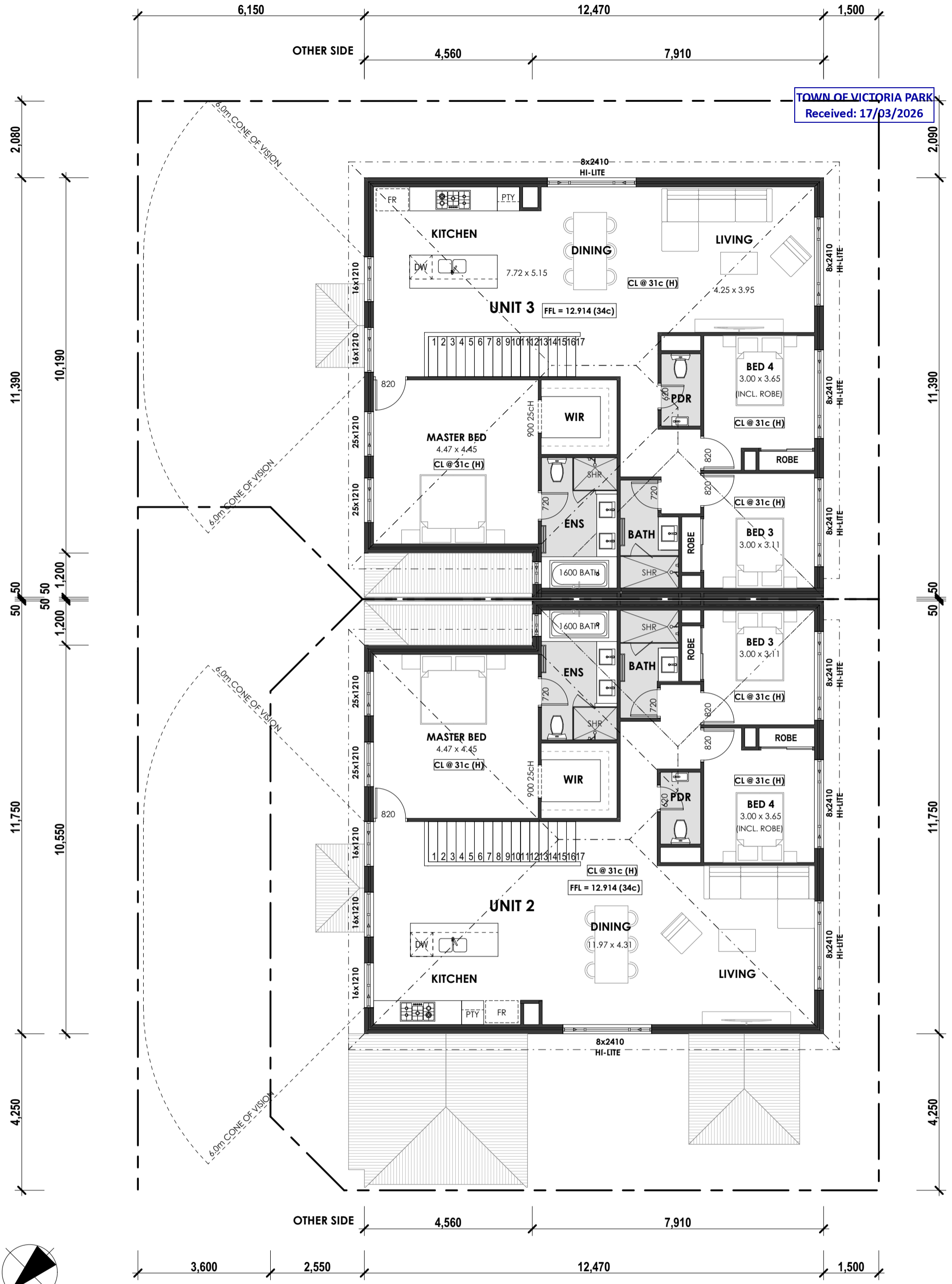
LOT 169 (NO.54) COLOMBO STREET, VICTORIA PARK

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PROJECT NO.
VIC-COL
REVISION NO.
REV DA2

DRAWING NO.
A2

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FIRST FLOOR PLAN
1:100

ROOM AREA CALCULATION (UNIT 2)		
ROOMS	AREA	PERIMETER
UPPER ROOF	158.30	51.02
LOWER ROOF	37.84	50.76
	196.14 m²	101.78 m

ROOM AREA CALCULATION (LOT 2)	
ID	AREA
FIRST FLOOR	141.05
GROUND FLOOR	123.48
GARAGE & STORE	41.65
ALFRESCO	9.03
PORCH	3.15
	318.36 m²

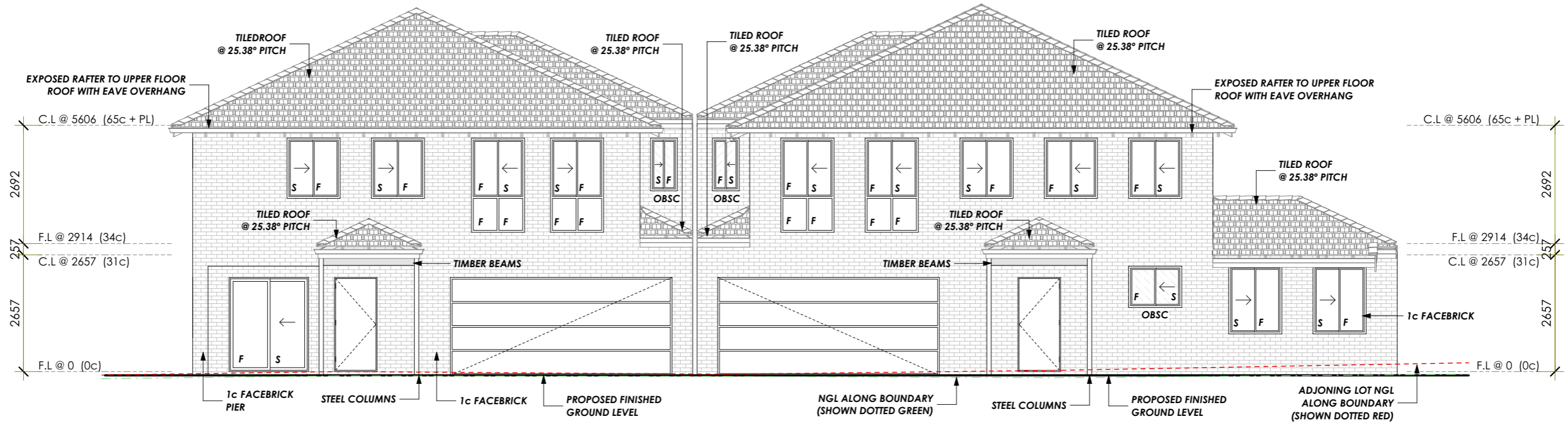
ROOM AREA CALCULATION (UNIT 3)		
ROOMS	AREA	PERIMETER
UPPER ROOF	153.50	50.30
LOWER ROOF	8.47	18.70
	161.97 m²	69.00 m

ROOM AREA CALCULATION (LOT 3)	
ID	AREA
FIRST FLOOR	136.17
GROUND FLOOR	92.13
GARAGE & STORE	41.22
ALFRESCO	8.29
PORCH	3.00
	280.81 m²

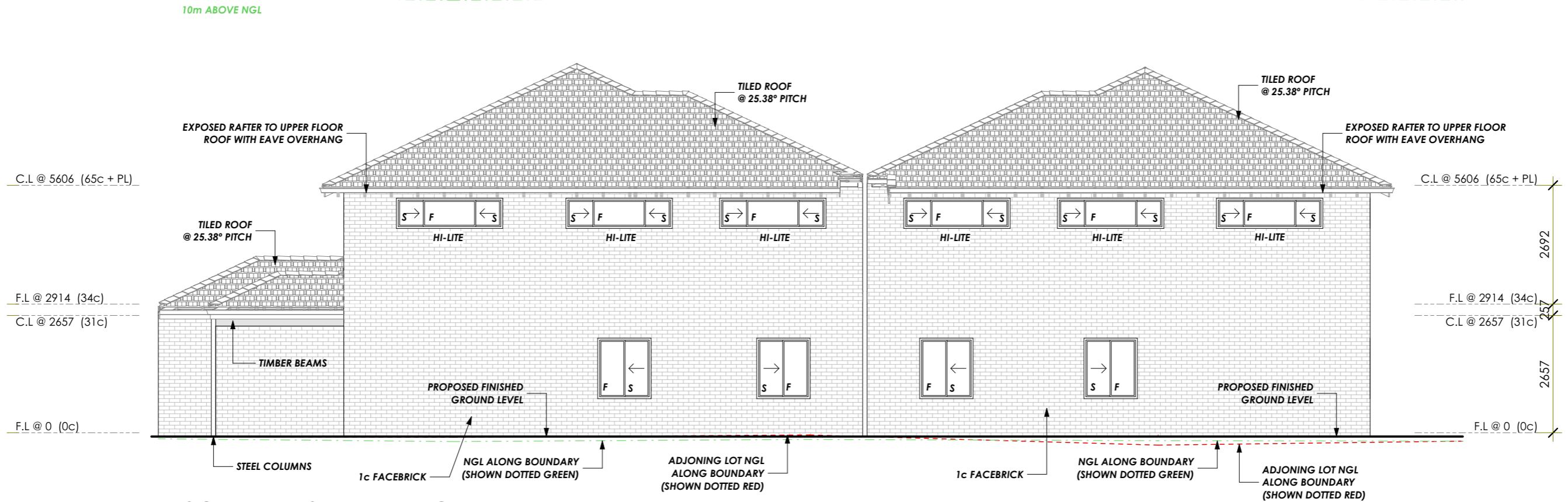


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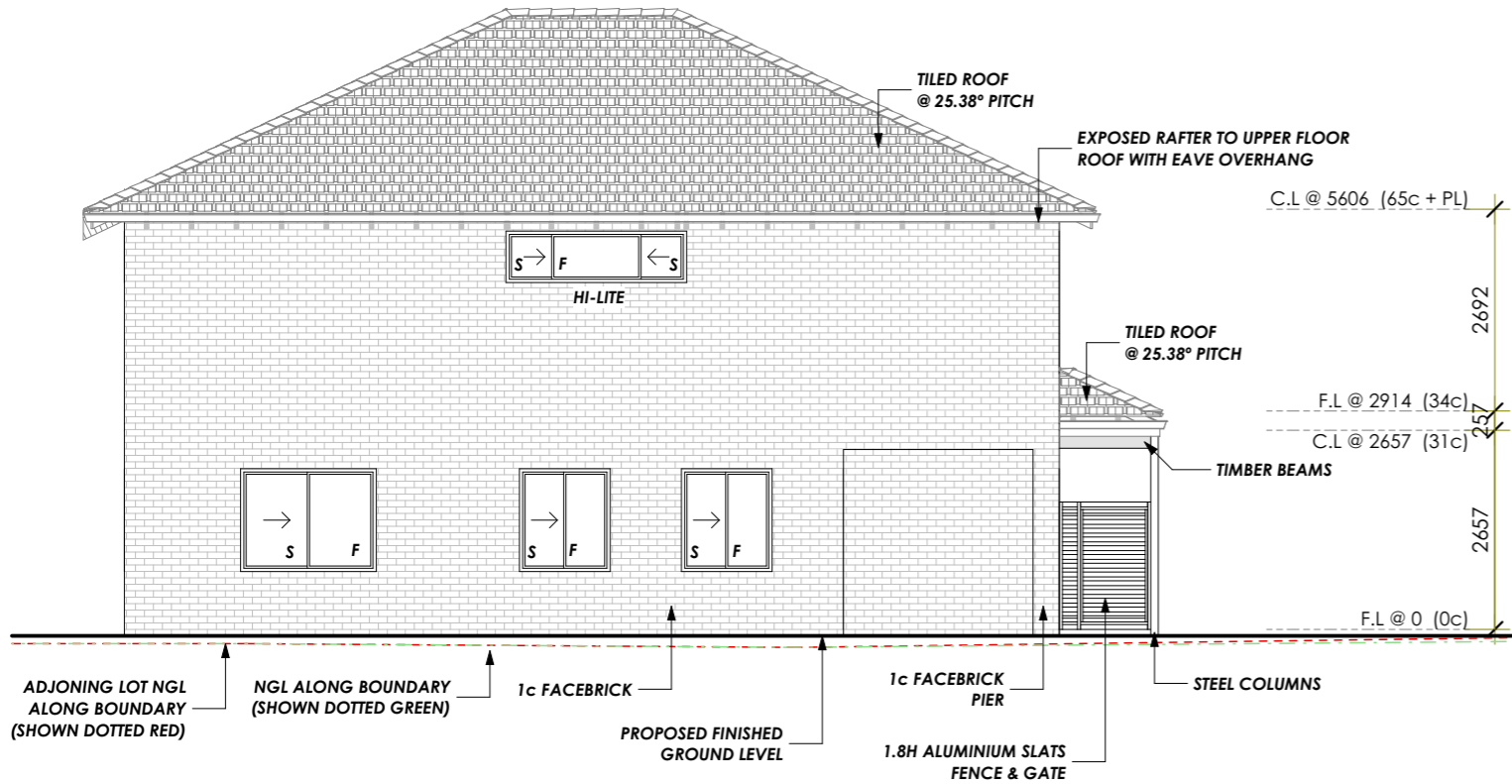
PROJECT NO. VIC-COL
DRAWING NO. **A3**
REVISION NO. REV DA2



NORTH-EAST ELEVATION
1:100

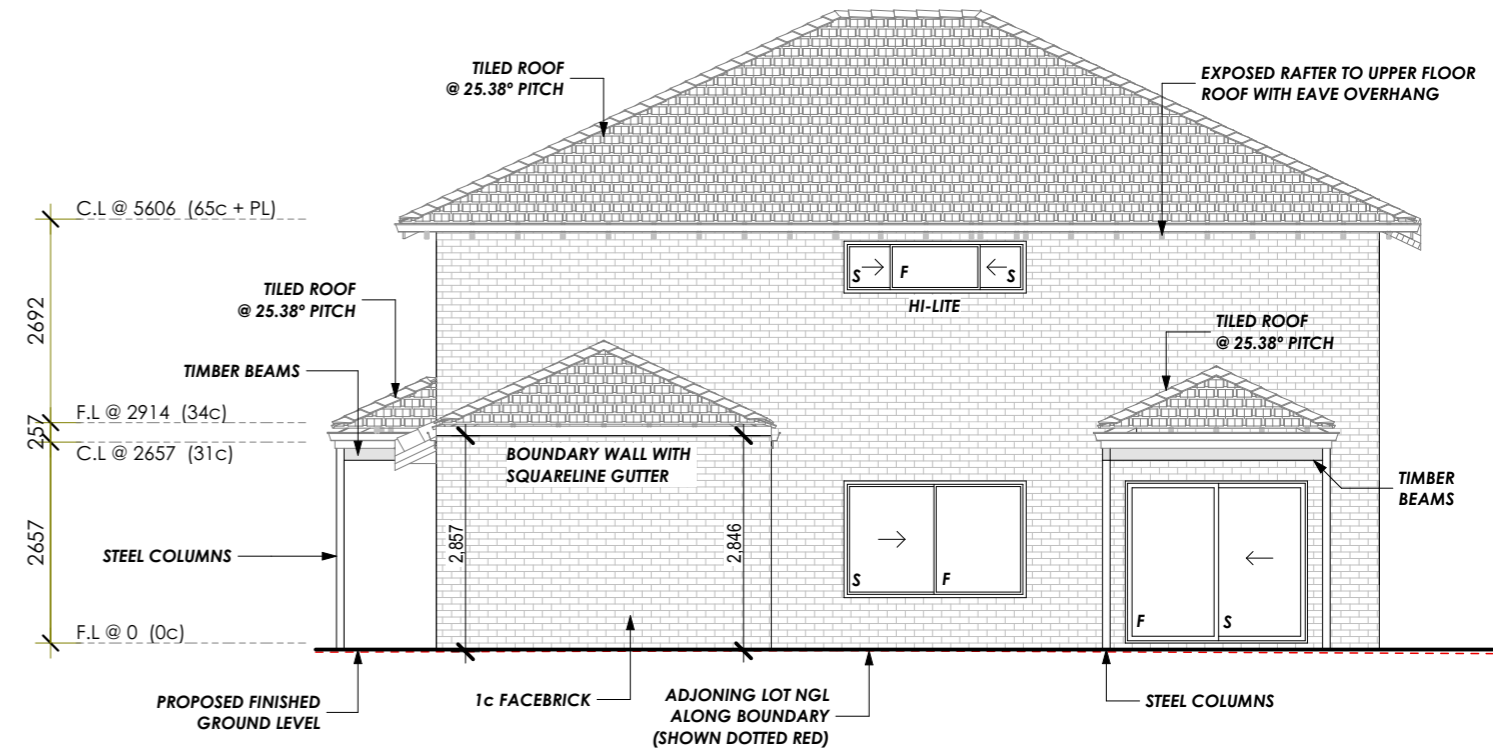


SOUTH-WESR ELEVATION
1:100



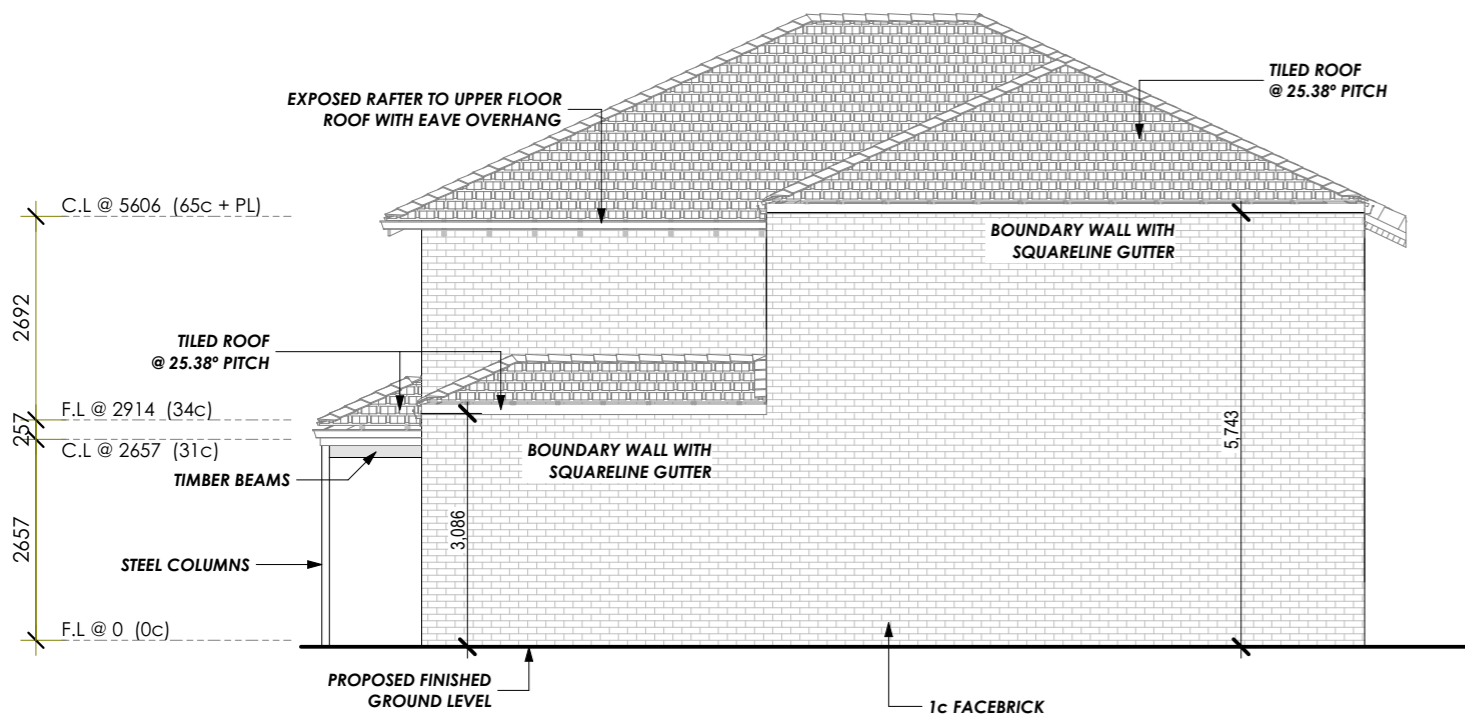
SOUTH-EAST ELEVATION (UNIT 3)

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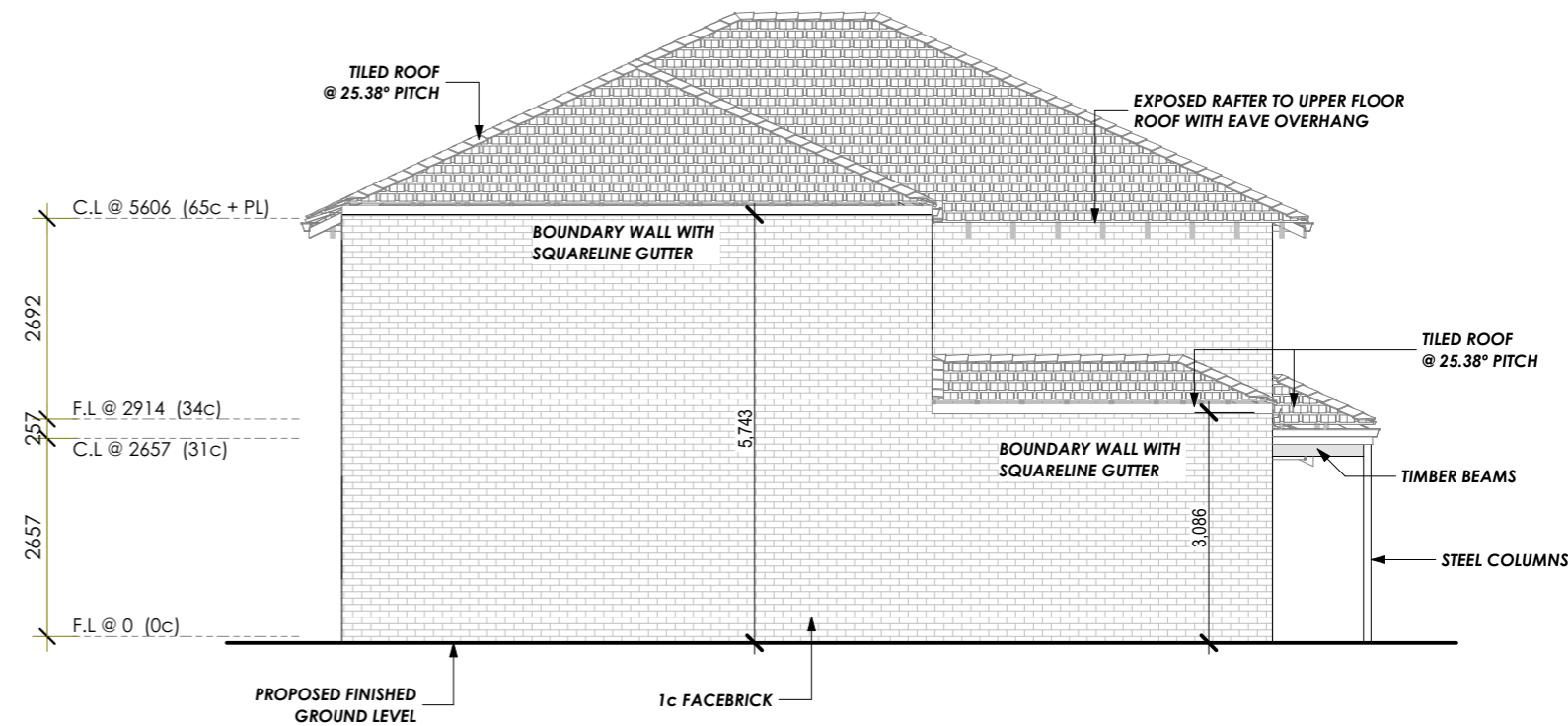
NORTH-WEST ELEVATION (UNIT 2)

1:100



NORTH-WEST ELEVATION (UNIT 3)

1:100

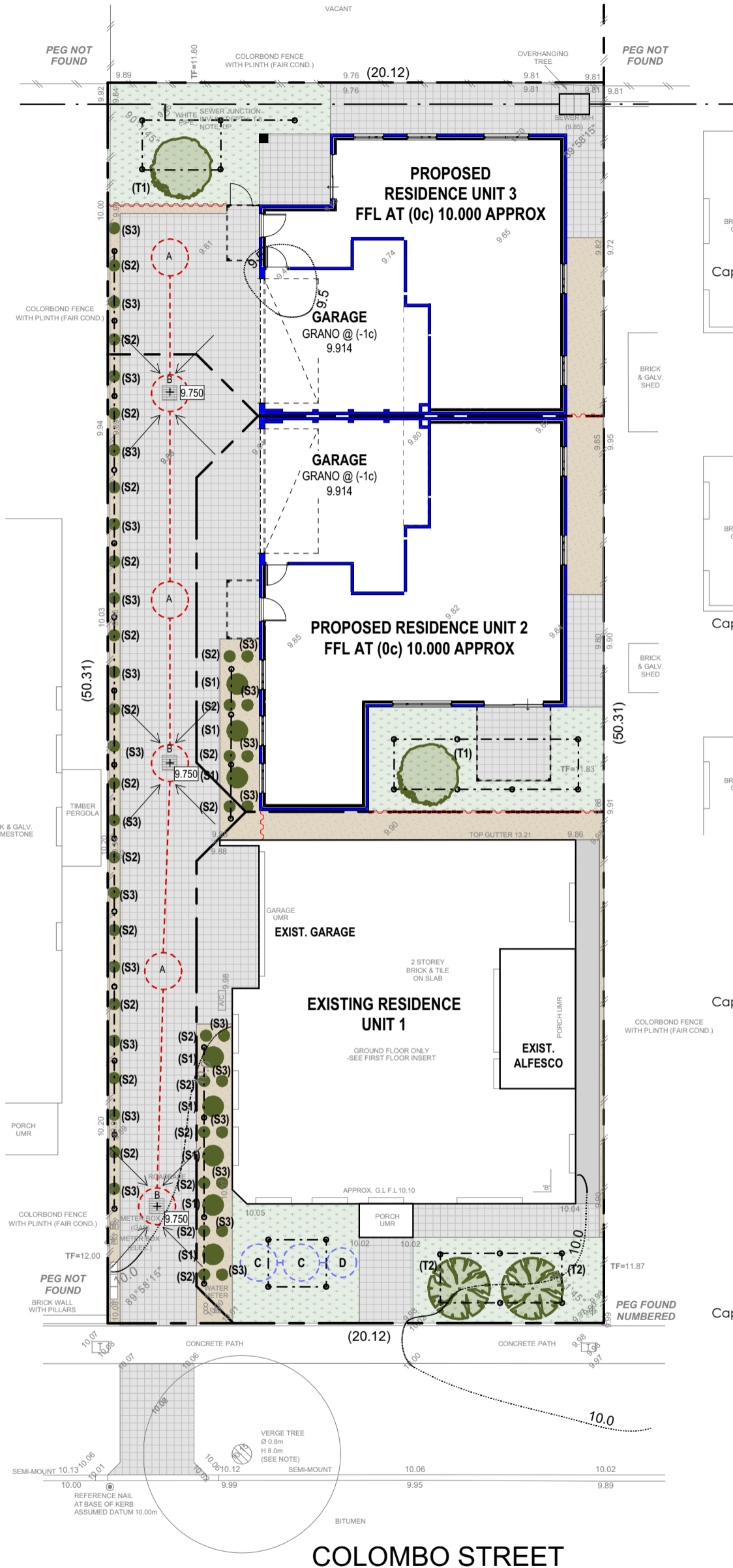


SOUTH-EAST ELEVATION (UNIT 2)

1:100

LANDSCAPING LEGEND

	EXISTING CONC. FOOTPATH
	PROPOSED BRICK PAVING
	GRASS WINTERGREEN
	SOIL
	(T1) TREE (2 No.) EUREKA LEMON TREE (CITRUS X LIMON) HEIGHT: 5m WIDTH: 4m LITRE: 100L
	(T2) TREE (2 No.) CURRY TREE (MURRAYA KOENIGII) HEIGHT: 3 - 6m WIDTH: 2 - 4m LITRE: 100L
	(S1) DRACAENA MARGINATA (GREEN) HEIGHT: 0.6 to 1m LITRE: 5 to 7L
	(S2) DIANELLA TASMANICA 'VARIEGATA' HEIGHT: 0.3 to 0.6m LITRE: 3 to 5L
	(S3) TRADESCANTIA BERMUDENSIS HEIGHT: 0.3 to 0.6m LITRE: 3 to 5L
	A PROPOSED 1.5 X 1.2 SOAKWELL
	B PROPOSED 1.5 X 1.2 SOAKWELL WITH GRATE
	C EXISTING 1.5 X 1.2 SOAKWELL
	D EXISTING 1.2 X 0.9 SOAKWELL
LANDSCAPING PLAN SHOWN DIAGRAMMATICALLY ONLY	
RETICULATION : 1. FLOWER BED AREA - MIXTURE OF DRIP & MICROSPRAY SYSTEM (THE CONNECTION OF RETICULATION SYSTEM TO BE DETERMINED BY PLUMBING CONSULTANT ON SITE)	
LANDSCAPING AREAS HAVE A MINIMUM SOIL DEPTH OF 300mm	



STORMWATER CALCULATION FOR UNIT 3

Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		8.5 m2
Roof Area UF		158.3 m2
Total Area		162.0 m2
Capacity Required (Area x 0.0125)		2.0 m3
Extra Capacity Provided		2.2 m3

NOTE: ALL DOWNPIPES
CONNECTED TO SOAKWELLS WITH
PVC STORMWATER PIPE

STORMWATER CALCULATION FOR UNIT 2

Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		37.8 m2
Roof Area UF		158.3 m2
Total Area		196.1 m2
Capacity Required (Area x 0.0125)		2.5 m3
Extra Capacity Provided		1.8 m3

NOTE: ALL DOWNPIPES
CONNECTED TO SOAKWELLS WITH
PVC STORMWATER PIPE

STORMWATER CALCULATION FOR UNIT 1

Soak Well Type	No.	Capacity
SW 1200x900	1	1.0 m3
SW 1500x1200	2	4.2 m3
Total Capacity		5.3 m3
Roof Area GF		24.1 m2
Roof Area UF		243.8 m2
Total Area		267.8 m2
Capacity Required (Area x 0.0125)		3.3 m3
Extra Capacity Provided		1.9 m3

NOTE: ALL DOWNPIPES
CONNECTED TO SOAKWELLS WITH
PVC STORMWATER PIPE

STORMWATER CALCULATION FOR CP

Soak Well Type	No.	Capacity
SW 1200x900	1	1.0 m3
SW 1500x1200	2	4.2 m3
Total Capacity		5.3 m3
Roof Area GF		0.0 m2
Paved Area		209.0 m2
Total Area		209.0 m2
Capacity Required (Area x 0.0125)		2.6 m3
Extra Capacity Provided		2.6 m3

NOTE: ALL DOWNPIPES
CONNECTED TO SOAKWELLS WITH
PVC STORMWATER PIPE

COLOMBO STREET

GROUND FLOOR PLAN

1:100

