



Our Reference:	25-1439
Client:	Campos
Site Address:	57 Willis St, East Victoria Park

A two storey residence with brick and framed wall construction is proposed on the corner of Willis and Berwick streets, the house design takes into consideration the R-Codes and the Town of Victoria Park’s weatherboard Streetscape policy, the following items do require justification with consideration to the design principles and the existing streetscape of Willis Street.

Justification – Clause 5.1.2 Street Setback

A minor variation is sought to allow a portion of the upper floor wall to project 600mm into the front setback area in lieu of the deemed-to-comply requirement.

The proposed design satisfies the design principles of Clause 5.1.2 for the following reasons:

- The incursion represents a small portion of the overall building façade and does not result in excessive building bulk or dominance when viewed from the street.
- The articulation provided by the upper floor projection contributes to visual interest and enhances the architectural character of the dwelling.
- The variation maintains a consistent streetscape pattern, as the projection aligns with other minor façade elements commonly found in the locality.
- The open, stepped nature of the façade and inclusion of feature materials and glazing ensure the design remains well-integrated with the surrounding dwellings.
- The setback variation does not adversely impact privacy, overshadowing, or streetscape amenity.

Justification – Clause 5.1.3 Lot Boundary Setback

A variation is sought to allow a 1.58m setback to a wall 14.47m in length facing Berwick st, in lieu of the 1.8m and a 1.8m setback to the south/west wall 14.47m in length in lieu of 1.9m in lieu of the deemed-to-comply requirement.

The proposal meets the Design Principles of Clause 5.1.3 for the following reasons:

- The wall does not contain any major openings, ensuring there is no impact on privacy to the adjoining property.
- The wall is articulated and well designed, reducing perceived bulk and contributing positively to the overall architectural appearance of the dwelling.
- The reduced setback will not adversely affect sunlight or ventilation to the adjoining property.
- Being located on a corner site, the wall’s presentation is open to the street and does not create a sense of enclosure or excessive building bulk on neighbouring properties.

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Justification – Secondary Street Setback (Berwick Street) Clause 1 A2

A variation is sought to allow a 1.58m setback to the secondary street (Berwick Street) in lieu of the 3.0m setback required under the Town of Victoria Park Streetscape Policy.

The proposal is considered to meet the objectives of the policy and maintain the desired streetscape character for the following reasons:

- The existing streetscape along Berwick Street demonstrates a varied and reduced setback pattern, with many dwellings and structures built closer to the street than the 3.0m requirement, establishing a precedent for reduced setbacks.
- The proposed setback is consistent with adjoining and nearby developments, ensuring the dwelling aligns with the prevailing built form and does not appear out of character.
- The design incorporates articulation, open fencing within the front setback, and appropriate landscaping, which help soften the building’s presentation and maintain a visually engaging street frontage.
- The proposal will not detract from the streetscape amenity or create adverse impacts on adjoining properties or the public realm.

Justification – setback to Carport (Variation to Streetscape Policy)

Council Local Planning Policy No25- Streetscape requires a street setback of 3m from Willis Street with an average setback of not less than 6m, the application proposes variations to the setback of the following structure

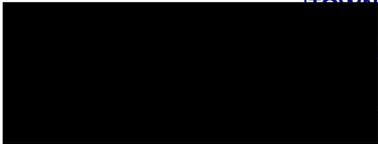
- The proposed setback is consistent with adjoining and nearby developments, ensuring the dwelling aligns with the prevailing built form and does not appear out of character.
- Recent community consultation for the development on the neighbouring property of Lot 422, #58 Willis Street has a proposed setback to the Carport of 0.2m to the front and 0.2m side setback, the reduced carport setback will align with the neighbouring property.

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Justification – Gable Roof to Carport (Variation to Streetscape Policy)

A variation is sought to allow a gable roof form to the proposed carport in lieu of the hipped roof specified under the Town of Victoria Park Streetscape Policy.

The proposal meets the objectives of the policy and maintains the desired streetscape character for the following reasons:

- The proposed gable roof design is consistent with the established streetscape, where there are two existing gable-roof carports on the same street (#60 and 62), demonstrating a prevailing built form pattern.
- The gable complements the architectural style of the proposed dwelling, providing a cohesive and balanced appearance.
- The height, scale, and materials of the carport are sympathetic to the surrounding development and do not create excessive visual bulk.
- The variation will not adversely impact the amenity or visual continuity of the locality, instead enhancing the overall streetscape through architectural consistency.

Images of carports adjacent to the proposed residence that are not a hipped roof



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