

25-1439 PRELIMINARY DESIGN

PROPOSED DEVELOPMENT:
TWO STOREY DWELLING
ADDRESS: LOT #57 WILLIS ST, EAST VIC PARK, 6100
LOCAL GOVERNMENT: TOWN OF VICTORIA PARK
APPLICANT: CAMPOS
REVISION: F



SHEET INDEX

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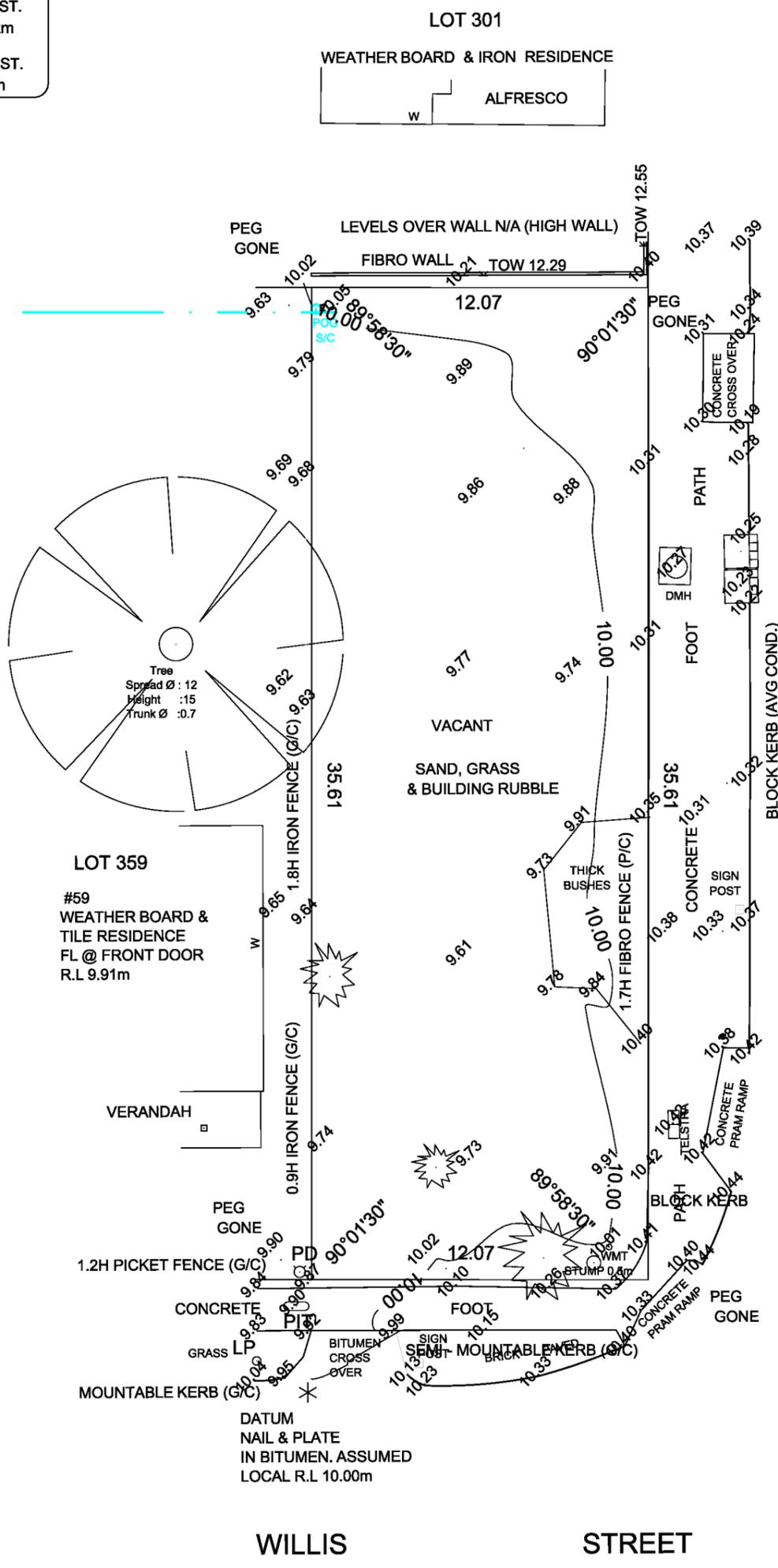
THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATIONS: SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

LOT 360
430m²

WARNING!
NOTE: BOUNDARY POSITION APPROXIMATE ONLY!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.
REQUIRES REPEG SURVEY!

- SEWERAGE**
 - SEW SEWER MANHOLE
 - IS INSPECTION SHAFT
 - IO INSPECTION OPENING
- WATER**
 - SV STOP VALVE
 - HY HYDRANT
 - FP FLUSH POINT
 - METER WATER METER
- POWER**
 - CP CONSUMER POLE
 - PP POWER POLE
 - LP LAMP POST
 - SP STAY POLE
 - PD POWER DOME
- STORMWATER**
 - SW MANHOLE
 - GRATE
 - SIDE ENTRY PIT
- TELSTRA**
 - PIT TELSTRA PIT
 - GAS
 - GAS GAS METER
- SURVEY**
 - PF PEG FOUND
 - Pdist PEG DISTURBED
 - PG PEG GONE
 - STATION
 - DATUM / CONTROL
- BUILDING**
 - BRICK & TILE RESIDENCE # 1 FLOOR RL 00.00
 - EAVES LINE
 - W WINDOW
 - D DOOR /
 - RD ROLLER DOOR
 - GSD GLASS SLIDING DOOR
 - WALLS
 - CONCRETE RETAINING WALL
 - BRICK WALL
 - OTHER
 - NATURAL SURFACE LEVEL
 - TREE
 - Tree Spread Ø :
 - Height :
 - Trunk Ø :
 - O/H POWER LINE
 - FENCE
 - PIPE OUT OF GROUND SEWER CONNECTION
 - HIGH BUSH
 - TOP OF WALL R.L.
 - X.XXm TOW
 - TOP OF RETAINER WALL
 - X.XXm TOR
 - CONTOURS
 - 0.5m CONTOUR INT.

SOIL DESCR.
SAND.
LIGHT GRASS.
TO COAST DIST.
Approx. 14km
TO RIVER DIST.
Approx. 3km



NOTE: SEWER MH No: 0802
APPROXIMATELY 56.5m FROM DATUM.
(LOCAL LEVEL: R.L 8.37m) (A.H.D. LEVEL: R.L 19.82m)

SEWER PROPERTY CONNECTION
....APPROXIMATE ONLY....
SEWER INVERT LEVEL : R.L 8.53 m
SEWER BROUGHT UP : n/a
DEPTH TO CONNECTION : 1.52 m

SCALE 1:200 @ A3



JOB No. 57WIL-DS-2025	MAP REF.: 31°59'27.0"S 115°54'08.7"E
LOT: 360 (#57) WILLIS STREET	AUTHORITY: VICTORIA PARK
SUBURB: EAST VICTORIA PARK	
CLIENT: [REDACTED]	
DATE OF SURVEY: 09/06/2025	SCALE: 1:200 @ A3
PLAN: P2042	C/T Vol.Fol.: 1549/704

TERRA Surveys			
Land & Engineering Surveying Services			
ABN : 806 104 08 133			
SERVICE INFORMATION			
SEWERAGE : YES	DEPTH 1.52m	WATER : YES	PRELAI D : FR
TELSTRA : YES	GAS : YES	POWER : UNDER GROUND	

NOTE: ADD 11.45m TO ALL LEVELS ON PLAN TO OBTAIN APPROXIMATE A.H.D. VALUES THIS VALUE DERIVED FROM WATER CORP. AS CONSTRUCTED RECORDS & MAY NOT BE EXACT. AN A.H.D. SURVEY IS REQUIRED TO OBTAIN AN ACCURATE VALUE. ALL SEWER CALCULATIONS OBTAINED FROM WATER CORPORATION SUPPLIED INFORMATION.

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- SEWERAGE**
- SEW SEWER MANHOLE
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- Tree Spread Ø, Height, Trunk Ø

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- PIPE OUT OF GROUND**
- SEWER CONNECTION

- HIGH BUSH**
- TOP OF WALL R.L.

- TOP OF RETAINER WALL**
- CONTOURS

- CONTOUR INT.**
- 0.5m CONTOUR INT.

SOIL DESCR.
SAND.
LIGHT GRASS.
TO COAST DIST. Approx. 14km
TO RIVER DIST. Approx. 3km



Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m ³
Total Capacity		4.2 m³
Roof Area GF		82.6 m ²
Paved Area		62.9 m ²
Roof Area UF		135.0 m ²
Total Area		280.6 m²
Capacity Required (Area x 0.0135)		3.8 m ³
Extra Capacity Provided		0.5 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.

LOT 360
430m²

RE-PEG RECOMMENDED PRIOR TO ANY NEW WORKS

TERMITE TREATMENT IS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2019

RETAINING WALL NOTE: HEIGHTS NOTED ARE NOMINAL ONLY & MUST BE ADJUSTED TO SUIT ACTUAL SITE LEVELS

REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT

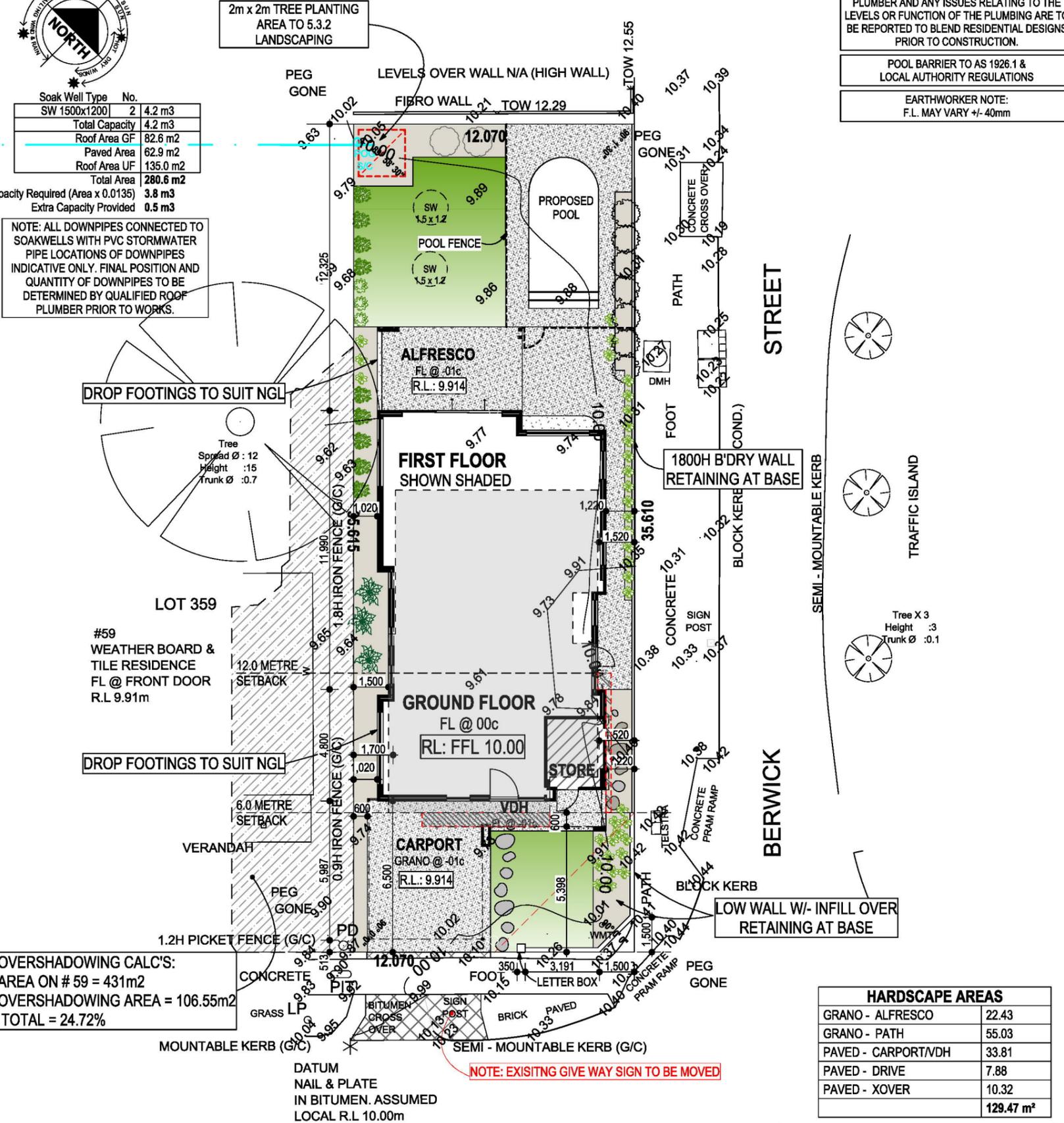
REFER TO SLAB SETOUT PLAN FOR SLAB, PRE-LAYS & WET AREA SETOUT

PLUMBER NOTE: REFLUX VALVE TO INTERNAL SEWER LINE

SEWER CONNECTION LEVEL AND PROPOSED HOUSE FFL ARE TO BE CHECKED BY A LIC. PLUMBER AND ANY ISSUES RELATING TO THE LEVELS OR FUNCTION OF THE PLUMBING ARE TO BE REPORTED TO BLEND RESIDENTIAL DESIGNS PRIOR TO CONSTRUCTION.

POOL BARRIER TO AS 1926.1 & LOCAL AUTHORITY REGULATIONS

EARTHWORKER NOTE: F.L. MAY VARY +/- 40mm



OVERSHADOWING CALC'S:
AREA ON # 59 = 431m²
OVERSHADOWING AREA = 106.55m²
TOTAL = 24.72%

SITE COVERAGE

ZONED	R20
% ALLOWED	50%
SITE AREA	429.85m ²
SITE COV. AREA	187.45m ²
SITE COV. = 43.6%	
SETBACK AVERAGING	6.00m
B:1.32m ² - F:3.28m ²	-1.96m ²

HARDSCAPE AREAS

GRANO - ALFRESCO	22.43
GRANO - PATH	55.03
PAVED - CARPORT/VDH	33.81
PAVED - DRIVE	7.88
PAVED - XOVER	10.32
TOTAL	129.47 m²

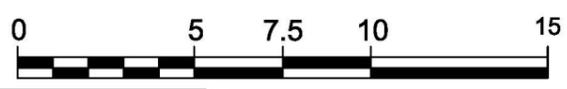
LANDSCAPING TO FRONT SETBACK
SETBACK AREA = 72.42m², 50 % = 36.21m²
LANDSCAPING SHOWN = 36.73m² = 50%

SEWER PROPERTY CONNECTION
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NOTE: SEWER MH No: 0802 APPROXIMATELY 56.5m FROM DATUM. (LOCAL LEVEL: R.L 8.37m) (A.H.D. LEVEL: R.L 19.82m)

NOTE: EXISTING GIVE WAY SIGN TO BE MOVED

SCALE 1:200 @ A3



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LOT: 360 (#57) WILLIS STREET AUTHORITY: VICTORIA PARK
SUBURB: EAST VICTORIA PARK

CLIENT: [REDACTED]
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AMENDED PLAN

TOWN OF VICTORIA PARK
Received: 5/02/2026

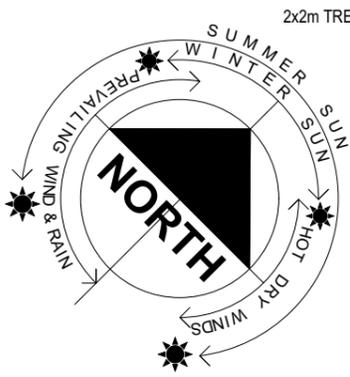
THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.

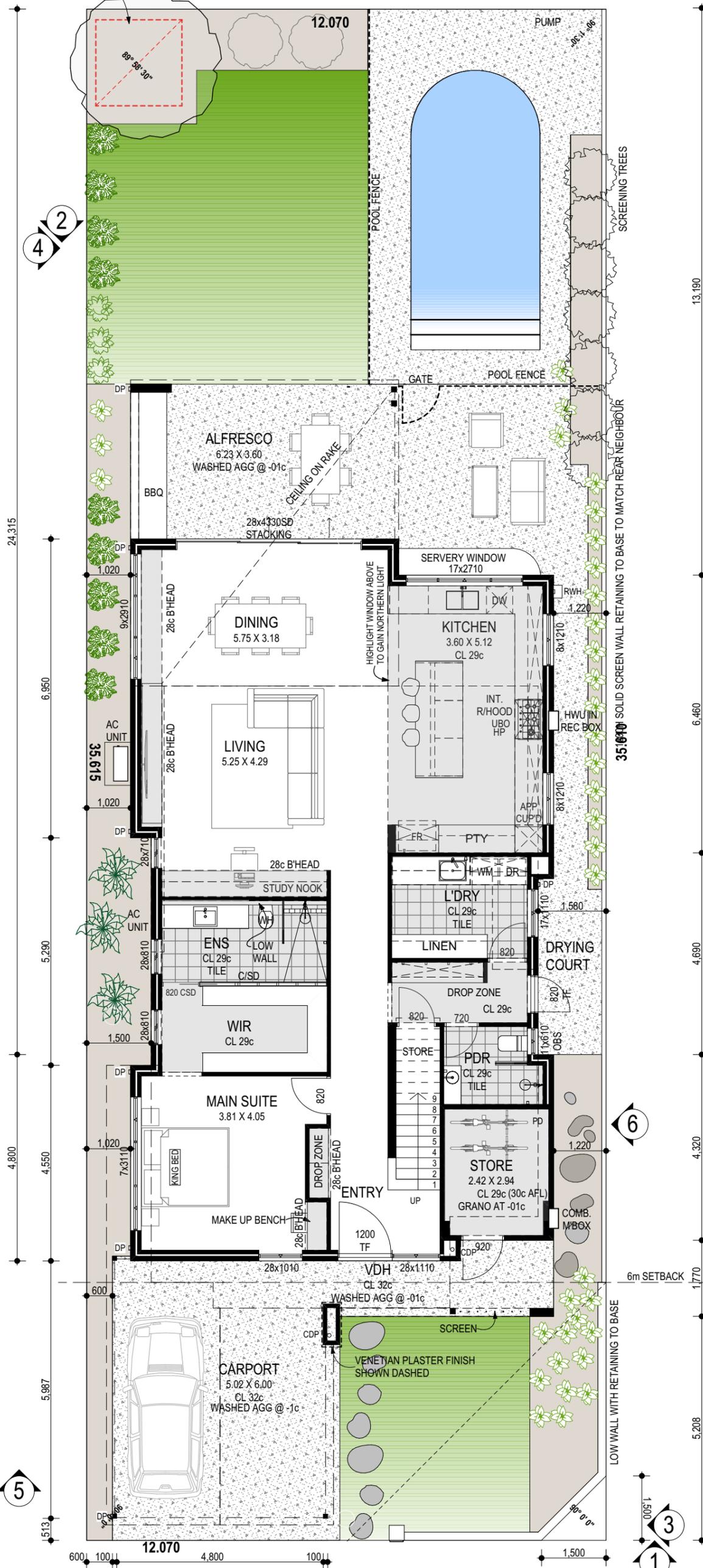
CEILING THROUGHOUT 31c BAR
RAKING CEILING TO DINING & ACTIVITY

DESIGN CREATED TO SUIT 1c FACE BRICKS

SEWER CONNECTION LEVEL AND PROPOSED HOUSE FFL ARE TO BE CHECKED BY A LIC. PLUMBER AND ANY ISSUES RELATING TO THE LEVELS OR FUNCTION OF THE PLUMBING ARE TO BE REPORTED TO BLEND RESIDENTIAL DESIGNS PRIOR TO CONSTRUCTION.



2x2m TREE PLANTING AREA



ID	GROUND FLOOR AREAS	M ²	PERIM.
01	GROUND FLOOR	149.37	55.68
02	CARPORT	30.23	22.96
02	STORE	8.13	11.62
03	VDH	7.50	13.47
04	ALFRESCO	22.43	19.66
		217.66 m²	123.39 m

ID	FIRST FLOOR AREAS	M ²	PERIM.
01	FIRST FLOOR	120.71	49.04
		120.71 m²	49.04 m



The contractor / builder / client is responsible for setting out and checking all levels and measurements on site. All dimensions and other construction related information are to be checked and verified by the owner / builder / client and any discrepancies in this document must be resolved before ordering or commencement of any works.

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A: PO Box 1124 Canning Bridge, Applecross WA

E: info@blendresidential.com.au
W: www.blendresidential.com.au

DRAWING NAME: GF FLOOR PLAN

OWNER DATE

OWNER DATE

DESIGNER DATE

SHEET No: 4 OF 9
REVISION: F
JOB No: 25-1439

CLIENT: CAMPOS
ADDRESS: LOT #57 WILLIS ST, EAST VIC PARK, 6100
TOWN OF VICTORIA PARK

DRAWN BY: BLEND
DATE DRAWN: FEB 2026 / 2026
SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET

AMENDED PLAN

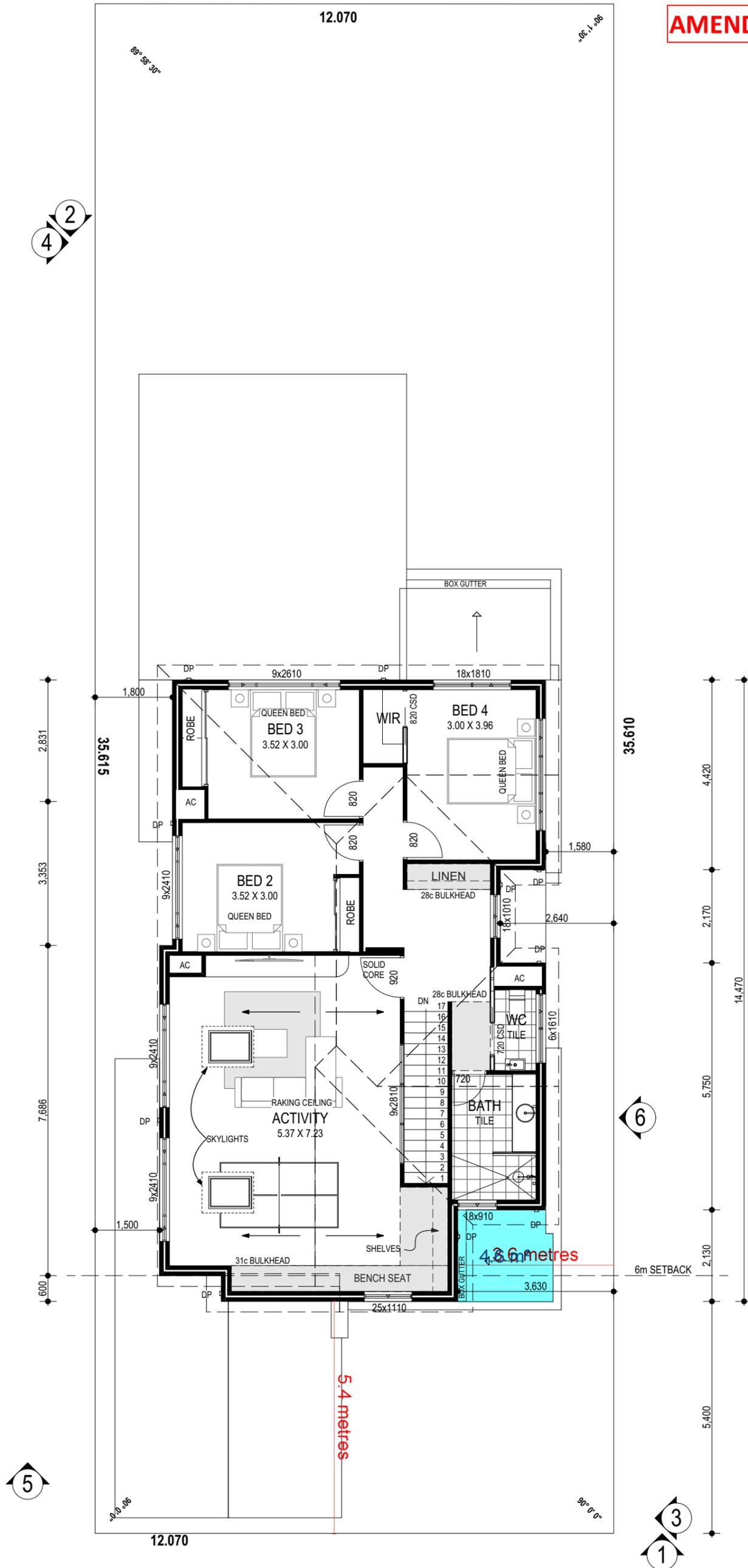
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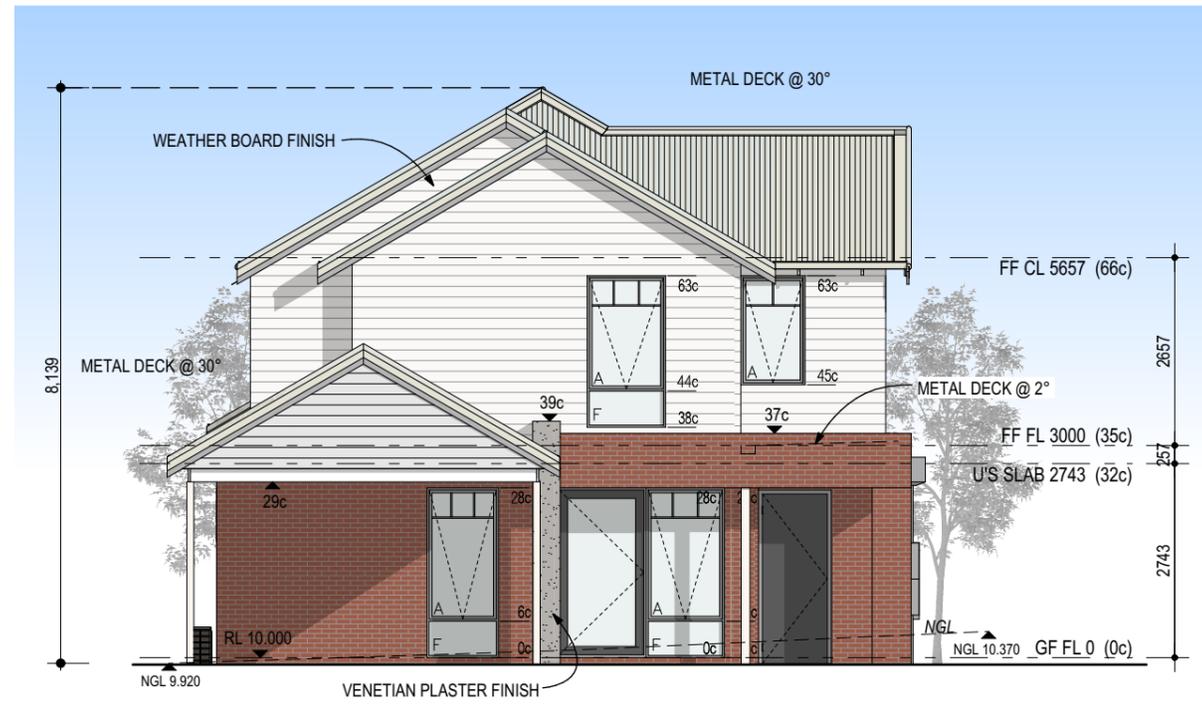
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DRAWING NAME: FF FLOOR PLAN		SHEET No: 5 OF 9	REVISION: F	JOB No: 25-1439
OWNER	DATE	CLIENT: CAMPOS		
OWNER	DATE	ADDRESS: LOT #57 WILLIS ST, EAST VIC PARK, 6100		
DESIGNER	DATE	TOWN OF VICTORIA PARK		
		DRAWN BY: BLEND	DATE DRAWN: FEB 2026 / 2026	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET

AMENDED PLAN



WEATHERBOARD FINISH



FACE BRICK

ELEVATION 1
1:100



ELEVATION 2
1:100



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	OWNER	DATE	CLIENT: CAMPOS ADDRESS: LOT #57 WILLIS ST, EAST VIC PARK, 6100 TOWN OF VICTORIA PARK		
OWNER	DATE	DRAWN BY: BLEND			
DESIGNER	DATE	DATE DRAWN: FEB 2026 / 2026		SCALE: 1:100	

NOTE: TO SCALE ON A3 SHEET



WEATHERBOARD FINISH



FACE BRICK

ELEVATION 3
1:100



ELEVATION 4
1:100



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	ELEVATIONS 3 & 4	7 OF 9	F	25-1439
OWNER	DATE	CLIENT: CAMPOS ADDRESS: LOT #57 WILLIS ST, EAST VIC PARK, 6100 TOWN OF VICTORIA PARK		
OWNER	DATE	DRAWN BY:	DATE DRAWN:	SCALE:
DESIGNER	DATE	BLEND	FEB 2026 / 2026	1:100

NOTE: TO SCALE ON A3 SHEET



FRONT FENCE ELEVATION 5
1:100



BERWICK ST ELEVATION 6
1:100



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	FENCING ELEVATIONS		8 OF 9	F	25-1439
OWNER	DATE	OWNER	DATE	CLIENT: CAMPOS ADDRESS: LOT #57 WILLIS ST, EAST VIC PARK, 6100 TOWN OF VICTORIA PARK	
DESIGNER	DATE	DRAWN BY:	DATE DRAWN:	SCALE:	NOTE: TO SCALE ON A3 SHEET
		BLEND	FEB 2026 / 2026	1:100	

AMENDED PLAN



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DRAWING NAME: PERSPECTIVES		SHEET No: 9 OF 9	REVISION: F	JOB No: 25-1439
OWNER	DATE	CLIENT: CAMPOS ADDRESS: LOT #57 WILLIS ST, EAST VIC PARK, 6100 TOWN OF VICTORIA PARK		
OWNER	DATE	DRAWN BY: BLEND	DATE DRAWN: FEB 2026 / 2026	SCALE: 1:146.68
DESIGNER	DATE			

NOTE: TO SCALE ON A3 SHEET