

74 SUSSEX STREET, EAST VICTORIA PARK

PROPOSED 2 GROUPED DWELLINGS (R20)

RETAIN AND BUILD

- 01 DEMO/STRATA PLAN
- 02 OVERALL SITE PLAN
- 03 LOT 2 FLOOR PLAN
- 04 LOT 2 ELEVATIONS
- 05 LOT 2 ELEVATIONS
- 06 LOT 1 EXISTING PLAN
- 07 LOT 1 PROPOSED PLAN - RENO
- 08 LOT 1 ELEVATIONS - RENO
- 09 OVERALL LANDSCAPING & STORMWATER

DEMOLITION/STRATA PLAN

1:200

STREET SUSSEX STREET

PROPOSED SURVEY - STRATA PLAN

| |
|----|
| DA |
|----|

| Rev | Date | Description |
|-----|----------|-------------|
| A | 24.03.26 | DA |

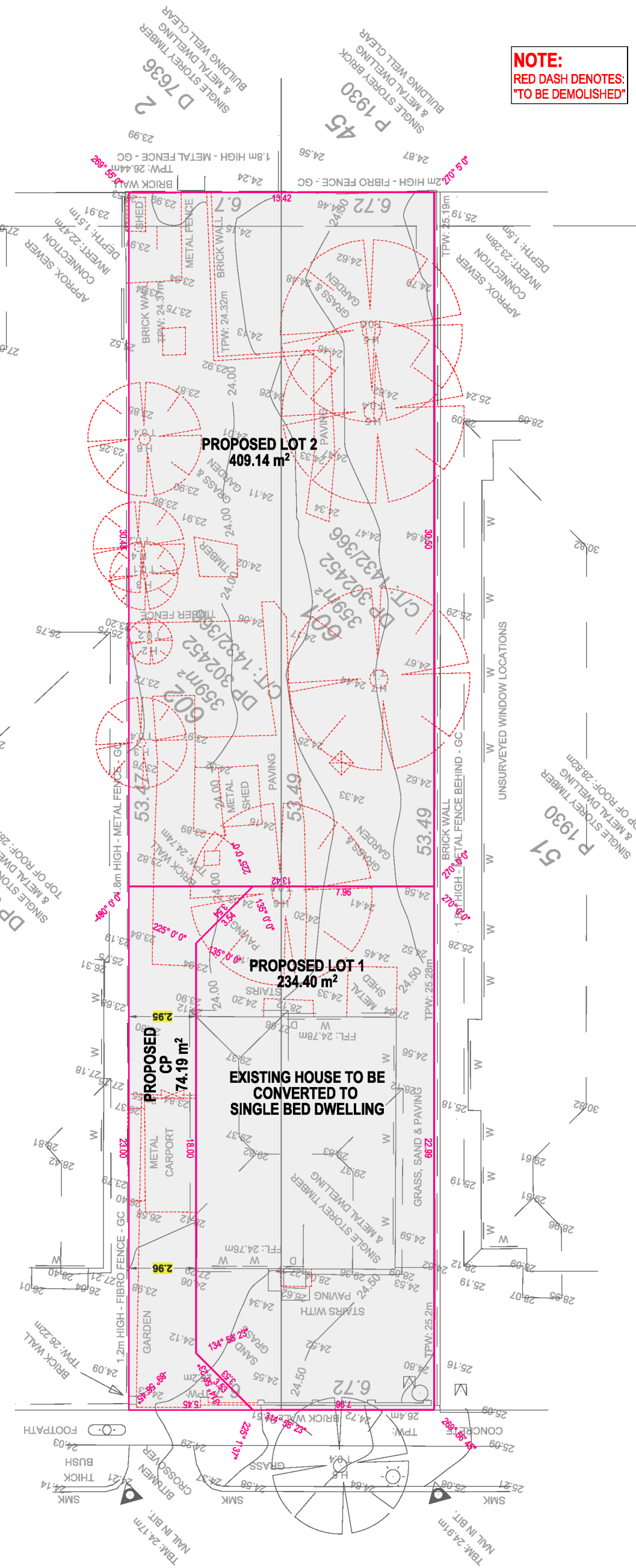
| Rev | Date | Description |
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|----------|-------------------------------|
| CLIENT: | |
| PROJECT: | 2xGrouped Dwellings (CLASS 1) |

| | |
|------------|---|
| ADDRESS: | Lots 601&602 (#74) Sussex Street, VICTORIA PARK |
| AUTHORITY: | Town of Victoria Park |

| | |
|--|------------|
| DRAWING TITLE: DEMOLITION/STRATA PLAN | |
| SCALE: | 1:200 @A3 |
| DATE DRN: | 24/03/2026 |
| DRAWN BY: | DB |
| CHKD BY: | YL |
| REVISION: | A |
| SHEET NO: | 01 |

| | |
|----------|------------|
| PLAN No. | PN25295 01 |
| SHEET | 1 of 1 |
| REVISION | B |
| SURVEYOR | JM |
| DRAWN | LF |
| APPROVED | PS |



NOTE:
RED DASH DENOTES:
"TO BE DEMOLISHED"

| SERVICES RECORD | STATUS | LOCATED | AVAILABLE | NO SERVICE | UNKNOWN |
|-----------------|--------|---------|-----------|------------|---------|
| WATER | ✓ | ✓ | ✓ | | |
| SEWER | ✓ | ✓ | ✓ | | |
| LEACH DRAINS | | | | | |
| GAS | ✓ | ✓ | ✓ | | |
| TELCOMMS | ✓ | ✓ | ✓ | | |
| POWER U/G | ✓ | ✓ | ✓ | | |
| POWER O/H | | | | | |

SERVICES MARKED UNKNOWN, REQUIRES ACTION FROM CLIENT

IMPORTANT PLAN NOTES

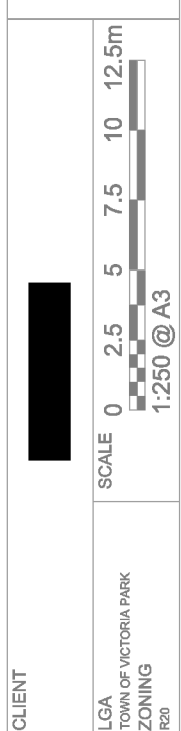
- Boundaries shown on this plan have been re-established but not pegged. These boundaries should be verified by a boundary re-pegging survey prior to demolition, excavation and/or construction.
- The plan shows visible services only. The location of underground services should be verified prior to demolition, excavation and/or construction. Developed takes no responsibility for the location of services shown on this plan.
- All dimensions shown are subject to final survey calculations.
- Check title for easements / covenants or any other limitations.
- Check with council for any other limitations to the land or zoning.
- Soil type has not been confirmed as part of this survey.
- The information shown on this plan is current only for the date of survey. Developed accepts no responsibility for any physical on site changes for the area shown on this plan after the date of survey.
- Extent and limit of survey completed as per the agreed scope between Developed and the client.
- This note, company logo and information below is an integral part of this plan and must not be removed.



PLAN OF
BOUNDARY IDENTIFICATION AND CONTOUR & FEATURE SURVEY OF LOTS 601 & 602 ON DEPOSITED PLAN 302452

CLIENT
LGA TOWN OF VICTORIA PARK ZONING R20

PARCEL ADDRESS
74 SUSSEX STREET, EAST VICTORIA PARK

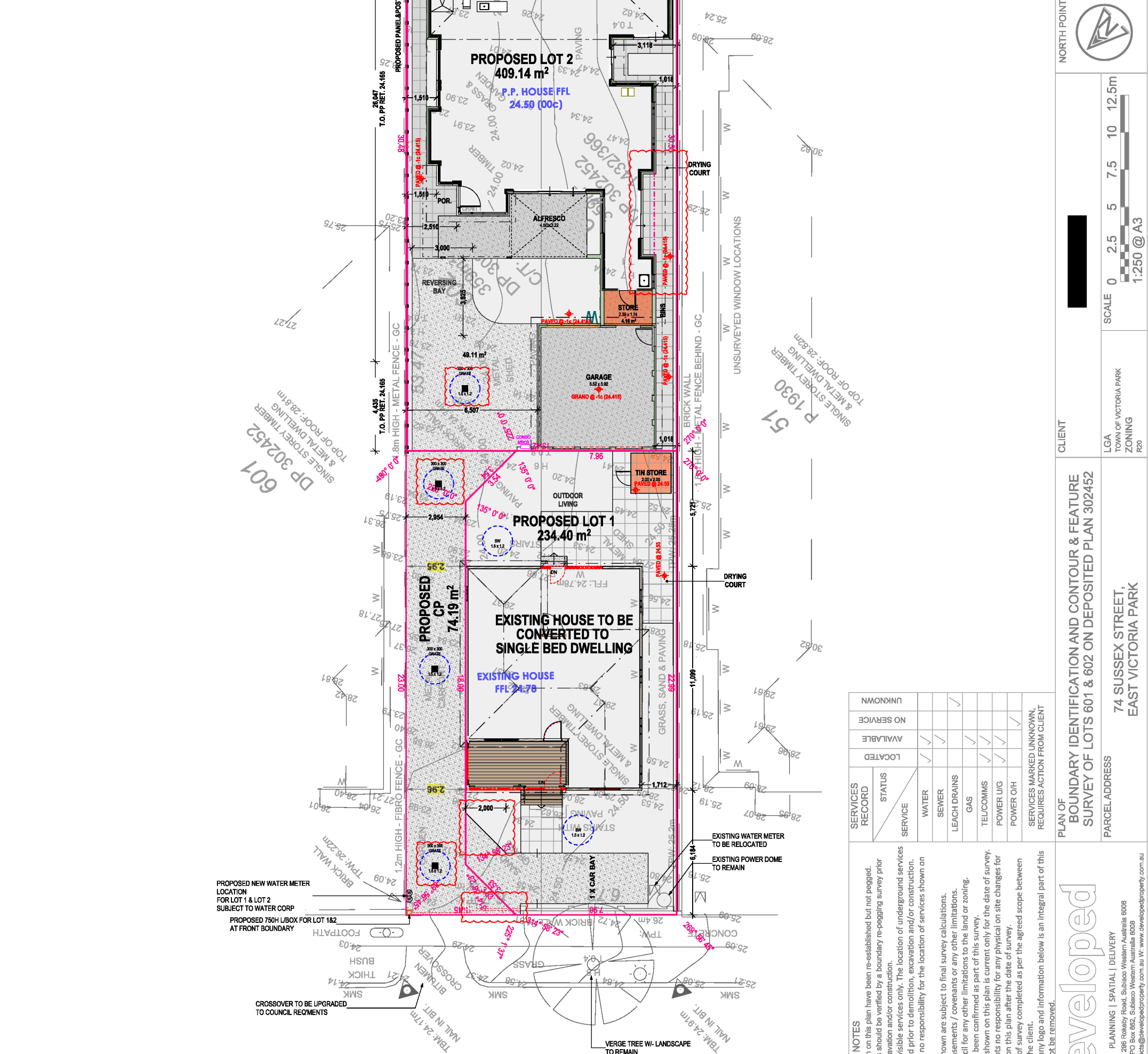


| | | |
|------------|--------------------|--------------------------|
| PROJECTION | PG 2020 AHD | |
| HORIZONTAL | (BASED ON RTK GPS) | |
| VERTICAL | | |
| REV. | DATE | DESCRIPTION |
| B | 28/08/2025 | BOUNDARY IDENTIFICATION |
| A | 17/07/2025 | CONTOUR & FEATURE SURVEY |

LOT 2 CALCULATIONS
ZONED: R20

SITE AREA
409.14+(74.19/2) = 483.33m²
SITE COVER CALCULATIONS
232.79 m²
SITE COVER RATIO
48.16%
OPEN SPACE RATIO
51.84%

| AREAS - NEW HOUSE | | |
|-------------------|------------|------------------------|
| | PERIM. (m) | AREA (m ²) |
| HOUSE | 73.80 | 190.82 |
| GARAGE & STORE | 27.86 | 41.96 |
| ALFRESCO | 22.67 | 22.12 |
| PORCH | 5.00 | 1.50 |
| | | 256.40 m ² |



SITE PLAN
1:200

| REVISION | PLAN No. | SHEET |
|----------|------------|--------|
| B | PN25295 01 | 1 of 1 |

PROJECTION
HORIZONTAL: PG 2020
VERTICAL: AHD (BASED ON RTK GPS)

DATE
28/08/2025

DESCRIPTION
BOUNDARY IDENTIFICATION AND CONTOUR & FEATURE SURVEY

REVISION
A: 17/07/2025
B: 28/08/2025

NORTH POINT

SCALE
0 2.5 5 7.5 10 12.5m
1:250 @ A3

| CLIENT | PLAN OF |
|--------------------------------------|---|
| LGA TOWN OF VICTORIA PARK ZONING R20 | BOUNDARY IDENTIFICATION AND CONTOUR & FEATURE SURVEY OF LOTS 601 & 602 ON DEPOSITED PLAN 302452 |
| 74 SUSSEX STREET, EAST VICTORIA PARK | |

| SERVICES RECORD | STATUS | LOCATED | AVAILABLE | NO SERVICE | UNKNOWN |
|-----------------|--------|---------|-----------|------------|---------|
| WATER | ✓ | ✓ | ✓ | | |
| SEWER | ✓ | ✓ | ✓ | | |
| LEACH DRAINS | ✓ | ✓ | ✓ | | |
| GAS | ✓ | ✓ | ✓ | | |
| TELECOMMS | ✓ | ✓ | ✓ | | |
| POWER U/G | ✓ | ✓ | ✓ | | |
| POWER O/H | ✓ | ✓ | ✓ | | |

SERVICES MARKED UNKNOWN, REQUIRES ACTION FROM CLIENT

IMPORTANT PLAN NOTES

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Developed

PLANNING | SPATIAL | DELIVERY

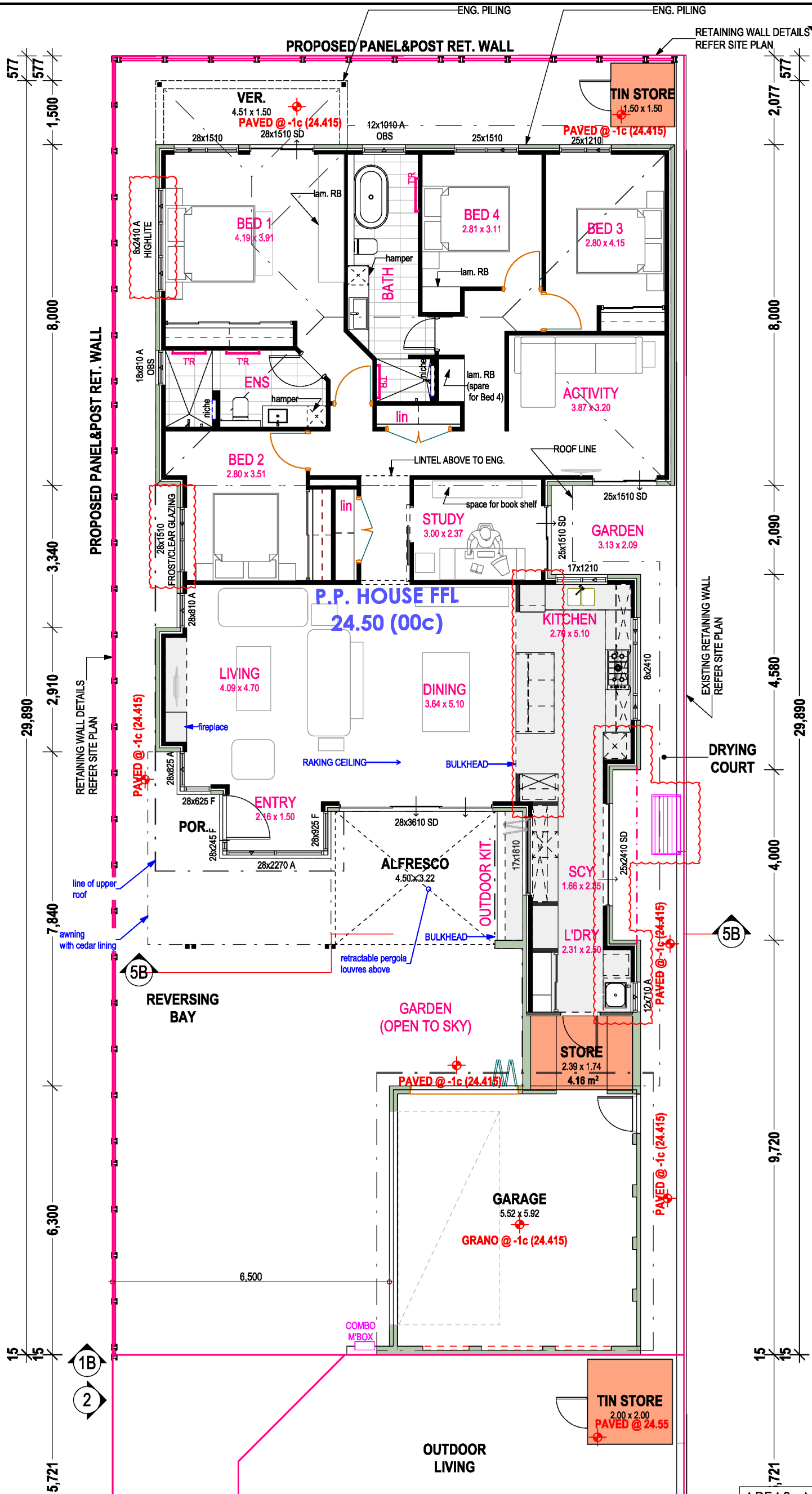
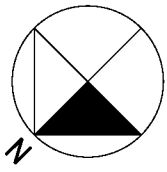
A: 1/294 - 296 Rokeby Road, Subiaco Western Australia 6008
P: PO Box 682, Subiaco Western Australia 6008
P: (08) 6119 9175 E: projects@developedproperty.com.au www.developedproperty.com.au

| Rev | Date | Description | Rev | Date | Description |
|-----|----------|-------------|-----|------|-------------|
| A | 24.03.26 | DA | | | |

| | |
|-----------------|-------------------------------|
| CLIENT: | |
| PROJECT: | 2xGrouped Dwellings (CLASS 1) |

| | |
|-------------------|---|
| ADDRESS: | Lots 601&602 (#74) Sussex Street, VICTORIA PARK |
| AUTHORITY: | Town of Victoria Park |

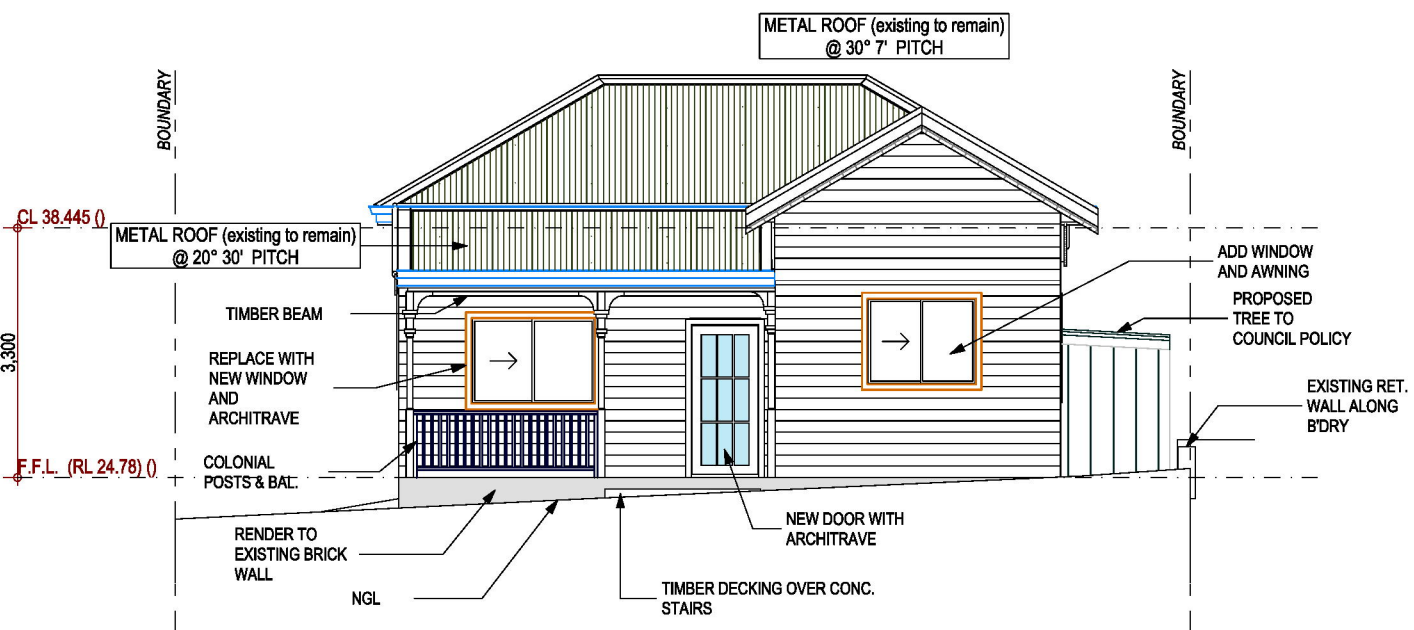
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|-----------------------|-------------------|
| DRAWING TITLE: | OVERALL SITE PLAN |
| SCALE: | 1:200 @A3 |
| DATE DRN: | 24/03/2026 |
| DRAWN BY: | DB |
| CHKD BY: | YL |
| REVISION: | A |
| SHEET NO: | 02 |



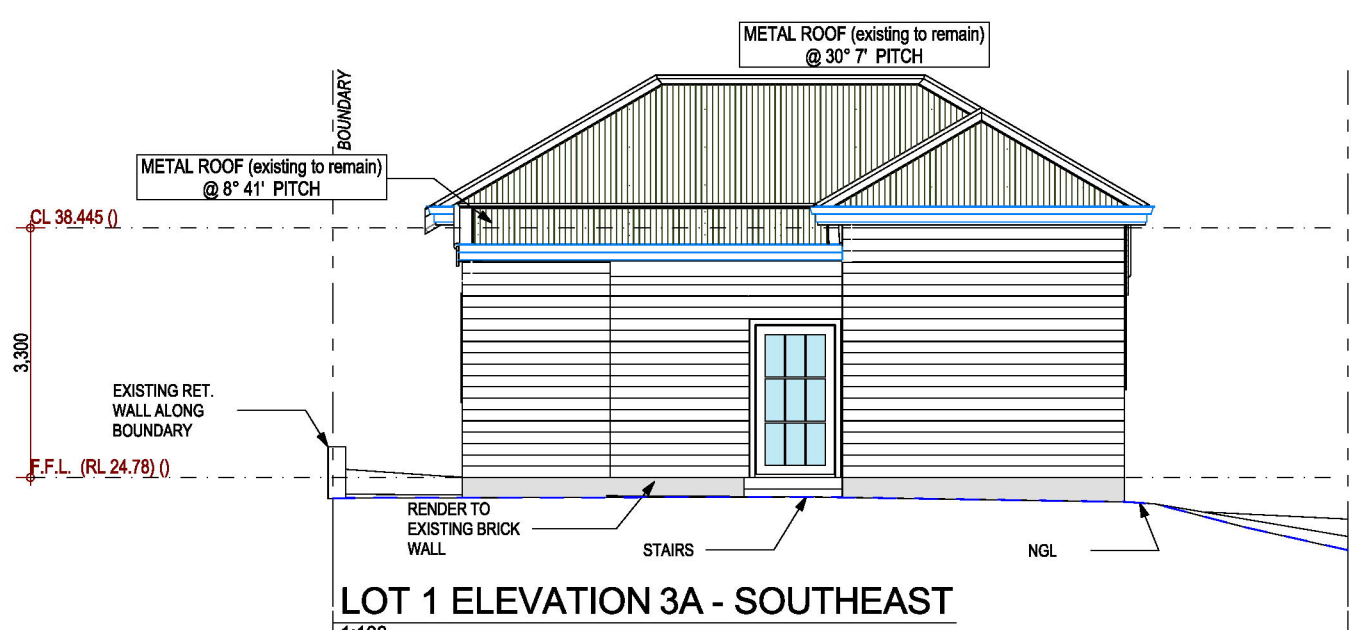
| AREAS - NEW HOUSE | | |
|-------------------|------------|------------------------|
| | PERIM. (m) | AREA (m ²) |
| HOUSE | 73.80 | 190.82 |
| GARAGE & STORE | 27.86 | 41.96 |
| ALFRESCO | 22.67 | 22.12 |
| PORCH | 5.00 | 1.50 |
| | | 256.40 m ² |

LOT 2 FLOOR PLAN - PROPOSED NEW HOUSE
1:100

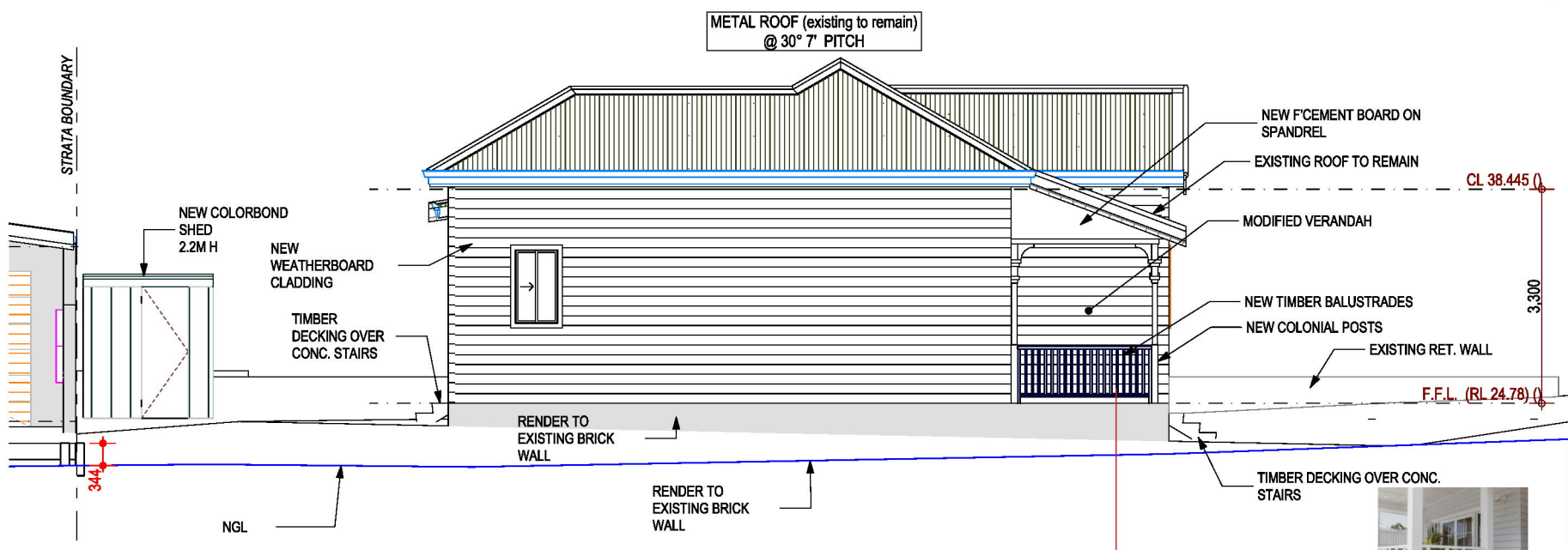
| | | | | | | | | | | |
|----|-----|----------|-------------|-----|------|-------------|--|---|--|--|
| DA | Rev | Date | Description | Rev | Date | Description | CLIENT: | ADDRESS: Lots 601&602 (#74) Sussex Street, VICTORIA PARK AUTHORITY: Town of Victoria Park | DRAWING TITLE: LOT 2 FLOOR PLAN - PROPOSED SCALE: 1:100 @A3 DATE DRN: 24/03/2026 DRAWN BY: DB REVISION: A | DATE DRN: 24/03/2026 CHKD BY: YL SHEET NO: 03 |
| | A | 24.03.26 | DA | | | | PROJECT: 2xGrouped Dwellings (CLASS 1) | | | |



LOT 1 FRONT ELEVATION 1A - NORTHWEST
1:100



LOT 1 ELEVATION 3A - SOUTHEAST
1:100



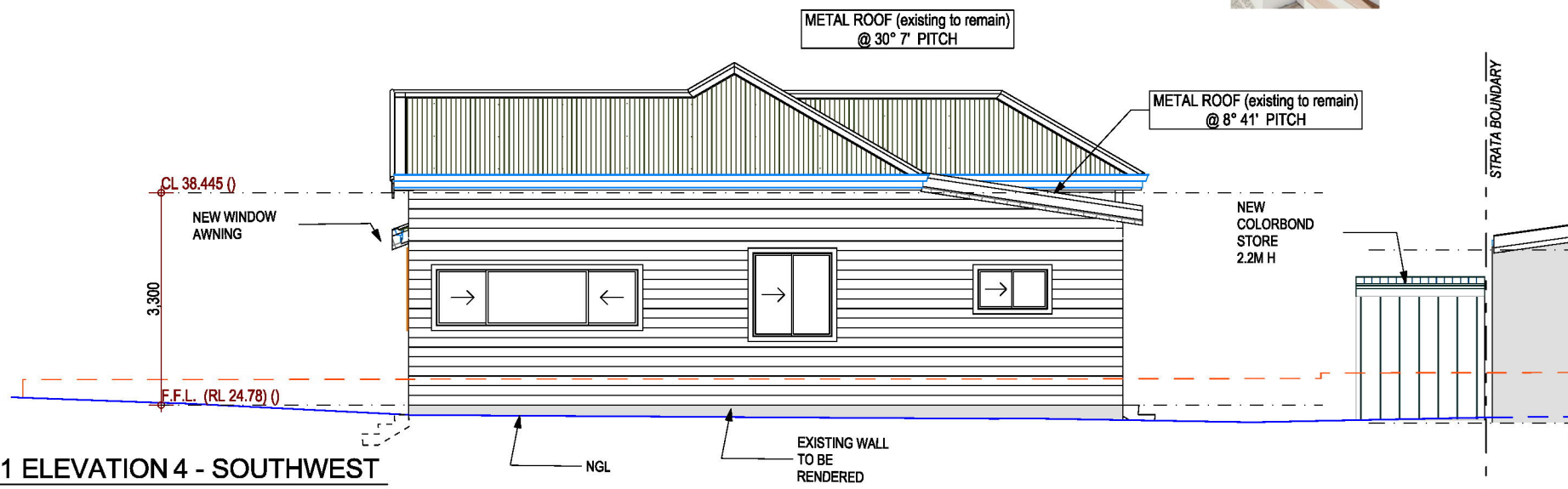
LOT 1 ELEVATION 2 - NORTHEAST
1:100

RENOVATION NOTES:
ALL EXTERNAL WEATHERBOARDS TO BE REPAINTED AND REPAIRED/REPLACED WHERE REQUIRED.
ALL WINDOWS AND DOORS TO BE REPLACED WITH NEW GLAZING AND NEW ARCHITRAVES.
EXISTING ROOFS TO REMAIN EXCEPT THAT EXISTING METAL STORE AT THE BACK TO BE REMOVED.

ROOF
COLORBOND
METAL/CORRUGATED
WHITE
PITCH AS SHOWN



PAINT ON EXTERIOR:
DULUX NATURAL WHITE



LOT 1 ELEVATION 4 - SOUTHWEST
1:100

| | |
|-----------------------|---------------------------|
| DRAWING TITLE: | LOT 1 PROPOSED ELEVATIONS |
| SCALE: | 1:100 |
| DATE DRN: | 24/03/2026 |
| CHKD BY: | YL |
| DRAWN BY: | DB |
| REVISION: | A |
| SHEET NO.: | 08 |

ADDRESS:
Lots 601&602 (#74) Sussex Street
VICTORIA PARK
AUTHORITY:
Town of Victoria Park

CLIENT:
2xGrouped Dwellings (CLASS 1)

| Rev | Date | Description |
|-----|------|-------------|
| | | |
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| Rev | Date | Description |
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| A | 24.03.26 | DA |
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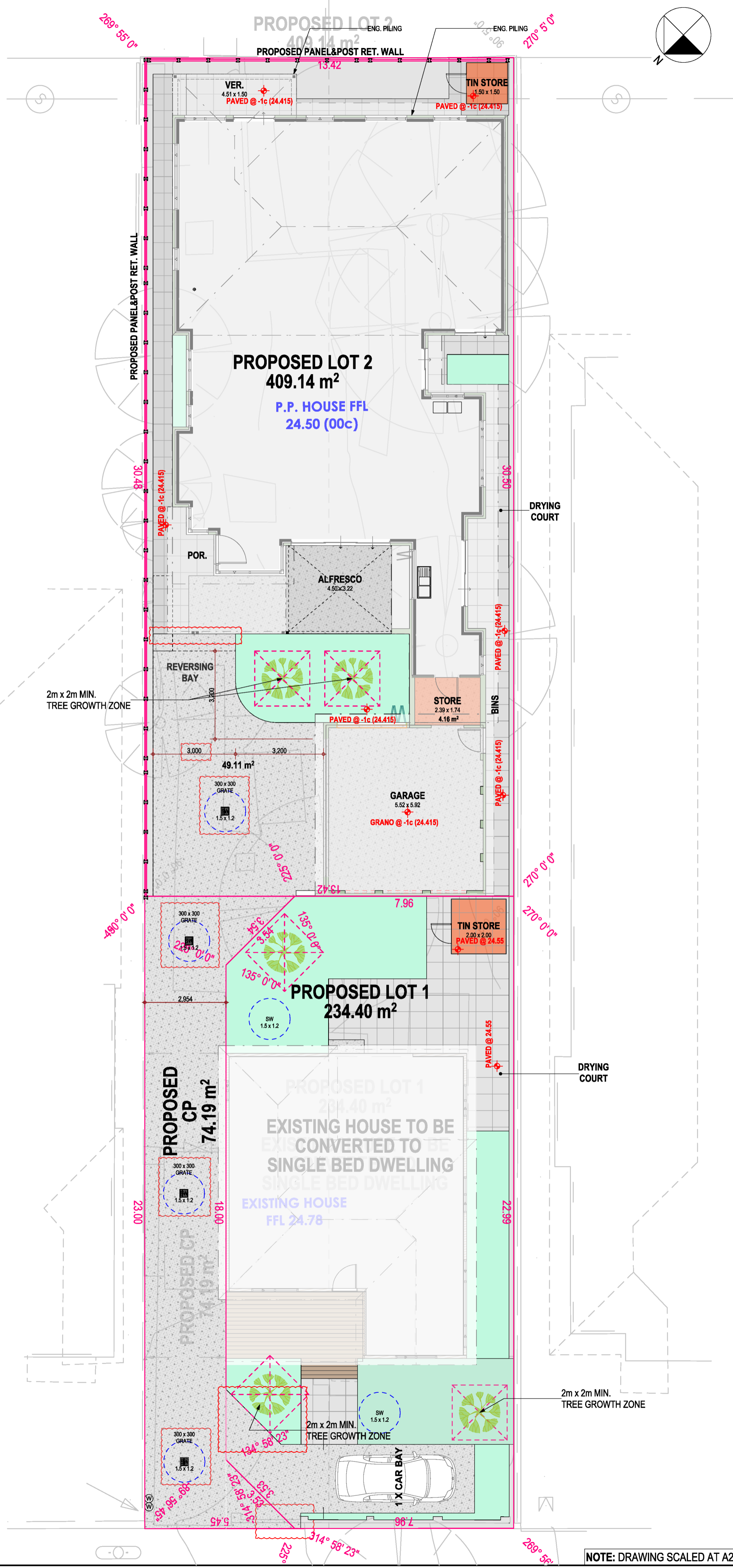
DA

LEGEND

| | |
|--|----------------|
| | CONCRETE |
| | BRICK PAVEMENT |
| | SOFT LANDSCAPE |
| | SOAKWELL |

| No. | Soak Well Type |
|----------|-----------------------------------|
| 12.7 m3 | 6 SW 1500x1200 |
| 12.7 m3 | Total Capacity |
| 395.6 m2 | Roof Area GF |
| 181.2 m2 | Paved Area |
| 576.8 m2 | Total Area |
| 8.7 m3 | Capacity Required (Area x 0.0150) |
| 4.1 m3 | Extra Capacity Provided |

PROPOSED TREE TO COUNCIL POLICY



| Rev | Date | Description |
|-----|----------|-------------|
| A | 24.03.26 | DA |

| | | |
|-------------------------------|---|---------------------------------|
| CLIENT: | ADDRESS: | DRAWING TITLE: |
| | Lots 601&602 (#74) Sussex Street, VICTORIA PARK | OVERALL L'SCAPE/STORMWATER PLAN |
| PROJECT: | AUTHORITY: | SCALE: |
| 2xGrouped Dwellings (CLASS 1) | Town of Victoria Park | 1:100 @ A2 |
| | | DATE DRN: |
| | | 24/03/2026 |
| | | DRAWN BY: |
| | | DB |
| | | CHKD BY: |
| | | YL |
| | | REVISION: |
| | | A |
| | | SHEET NO: |
| | | 09 |

NOTE: DRAWING SCALED AT A2