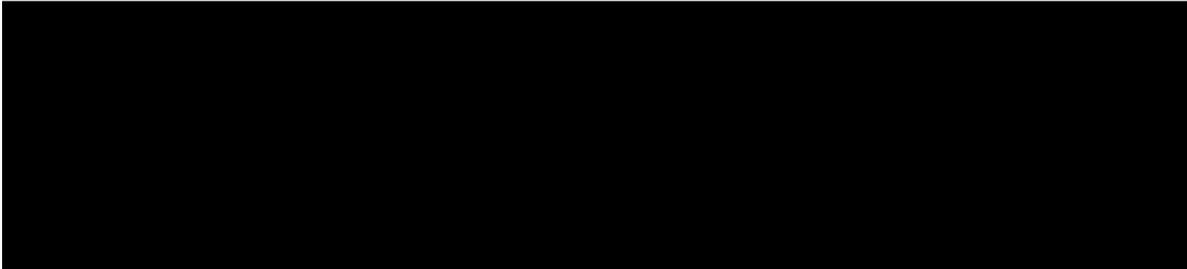
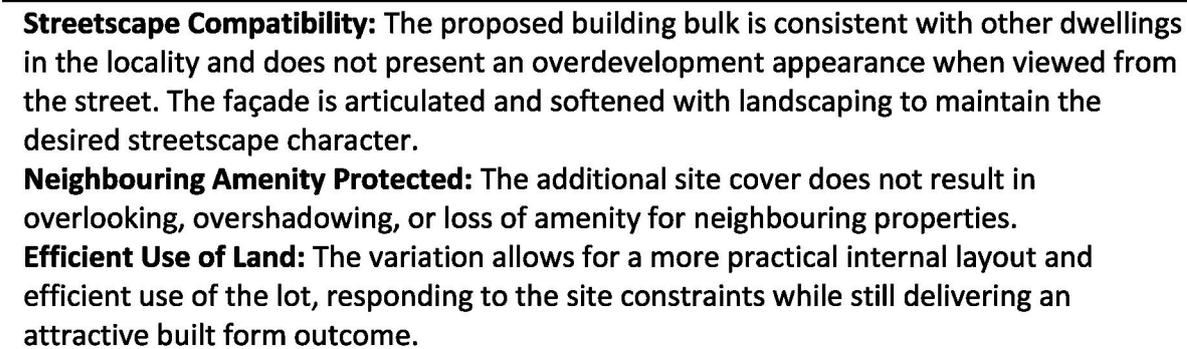


Our Reference:	25-1401
Client:	Lichen
Site Address:	9 & 9A Paltridge Ave, Carlisle

The proposed development comprises of 2 single storey houses on a R30 site with concrete, brick and metal deck roof construction. Whilst every attempt has been taken to design the houses to fully comply to the R codes and the Town of Victoria Park’s policies justification is required for the following:



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Conclusion:
Although site cover is increased to 59% and 58.2% , the proposal continues to achieve the objectives of Clause 5.1.4 by providing adequate outdoor living, protecting neighbour amenity, and maintaining a high-quality streetscape. The variation therefore satisfies the **Design Principles** and is considered acceptable.

Office Use Only

Accepting officer’s initials:

Date received:

Council reference no: