



BC103132

PROJECT No:

SHEET No:

251009

1 OF 10

CLIENT SIGNATURE	DATE
CLIENT SIGNATURE	DATE
BUILDERS REPRESENTATIVE	DATE

DATE: 08.04.25

DRAWN BY: SS

CHECKED BY: JS

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SC DRAFTING

ABN: 48 365 708 393

FEATURE SURVEY

JOB DETAILS

MISCLOSE	0.000m
AREA	616m²
COASTAL	NIL

SERVICES

NOTE:
ADVISE TRADES: OVERHEAD POWER LINES

NOTE:

NOTE:
DUE TO LACK OF SURVEY MARKS / PEGS, ALL BUILDING OFFSETS,
DIMENSIONS & FEATURES ARE POSITIONED FROM EXISTING PEGS /
FENCES / WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT
AND ARE TO BE VERIFIED WITH A REPEG CERTIFICATE.

NOTE:
ALL SEWER DETAILS PLOTTED FROM WATER CORP. INFORMATION

▲ NOTE:
SC DRAFTING ACCEPTS NO RESPONSIBILITY FOR ANY ON SITE PHYSICAL CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

WHITEHURST SURVEYS

A.B.N 95 726 454 206

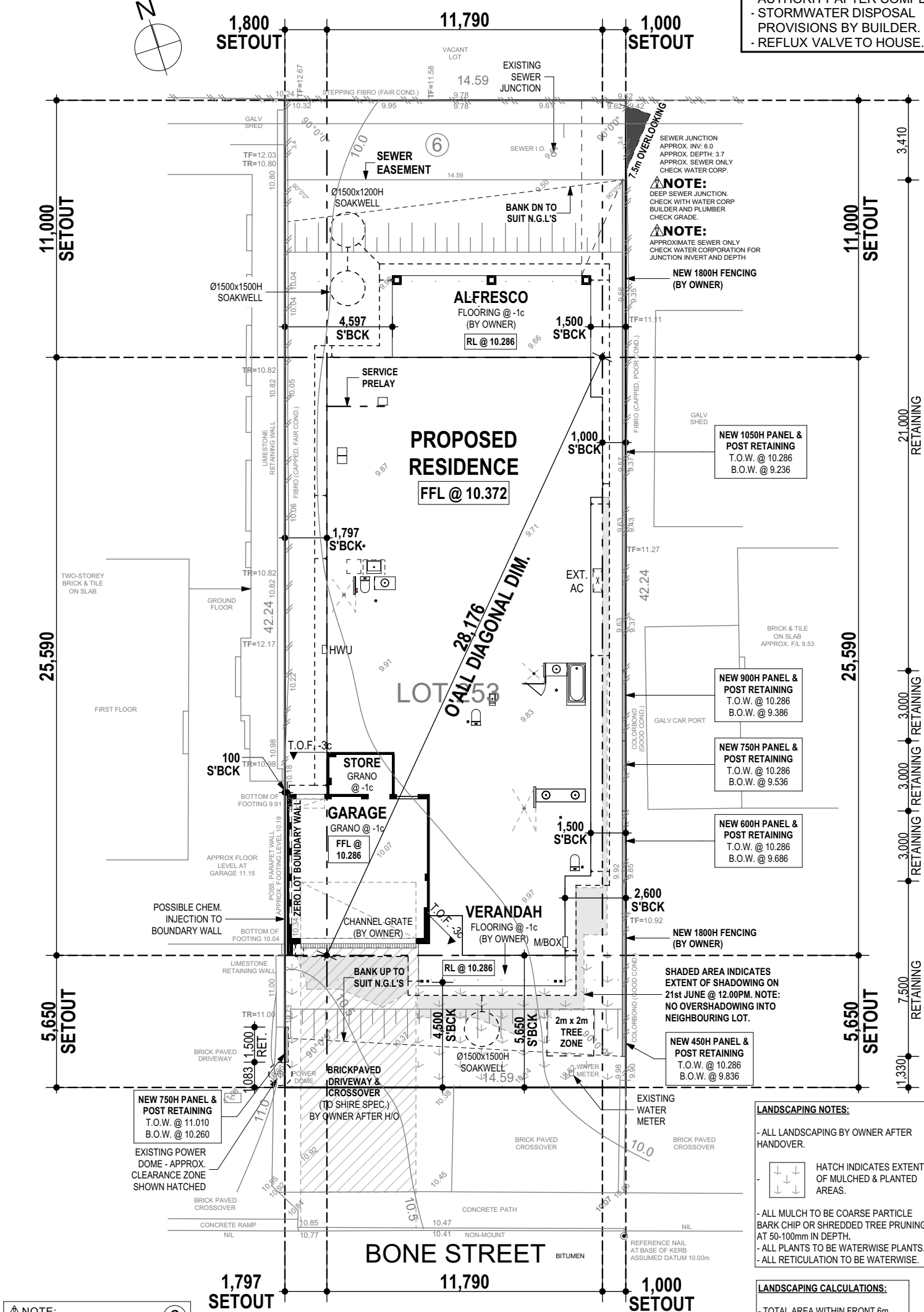
P.O. BOX 3036 LESMURDIE W.A. 6076

E-MAIL info@whitehurstsurveys.com.au

MOBILE 0409 492 963

NOTE:
RETAINING WALLS TO
CONTRACTORS DETAILS. EXTENT
SHOWN ON SITEPLAN.

NOTE:
DO NOT SCALE FROM THIS
DRAWING. CHECK ALL DIMENSIONS
ON SITE PRIOR TO SETTING OUT
AND COMMENCING ANY WORK.
REFER TO ENGINEERS
SPECIFICATION FOR WIND
CLASSIFICATION.
SEWER RUN TO BE LOCATED BY
PLUMBER TO THEIR DISCRETION.
PLUMBER TO SUBMIT AS-CON
PLANS TO THE RELEVANT
AUTHORITY AFTER COMPLETION.
STORMWATER DISPOSAL
PROVISIONS BY BUILDER.
REFLUX VALVE TO HOUSE.



SITE PLAN

SCALE 1:200

SITE INFORMATION

SITE CLASSIFICATION: A
WIND REGION: A
SHEILDING: FS
TOPOGRAPHY CLASS: T0
WIND CLASSIFICATION: N1
CORROSION CLASSIFICATION: R1

STORMWATER CALCULATIONS

HOUSE ROOF AREA =	411.58m ²
FUTURE DRIVEWAY PAVED AREA =	51.39m ²
DRAINAGE REQUIRED = (x0.015) =	6.95m ³
1x Ø1500 x 1200H =	2.12m ³
2x Ø1500 x 1500H =	5.30m ³
TOTAL S/WELL VOLUME =	7.42m³

LANDSCAPING NOTES

- ALL LANDSCAPING BY OWNER AFTER
HANDOVER.



HATCH INDICATES EXTENT OF MULCHED & PLANTED AREAS.

- ALL MULCH TO BE COARSE PARTICLE BARK CHIP OR SHREDDED TREE PRUNINGS AT 50-100mm IN DEPTH.
- ALL PLANTS TO BE WATERWISE PLANTS.
- ALL RETICULATION TO BE WATERWISE.

LANDSCAPING CALCULATIONS:

- TOTAL AREA WITHIN FRONT 6m
SETBACK: 87.48m²
- TOTAL PERVIOUS / SOFT
LANDSCAPED AREA: 46.32m² (52.95%)
- TOTAL IMPERVIOUS / HARD
LANDSCAPED AREA: 41.16m² (47.05%)

SCALE 1:200@A3

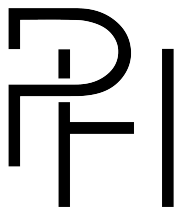
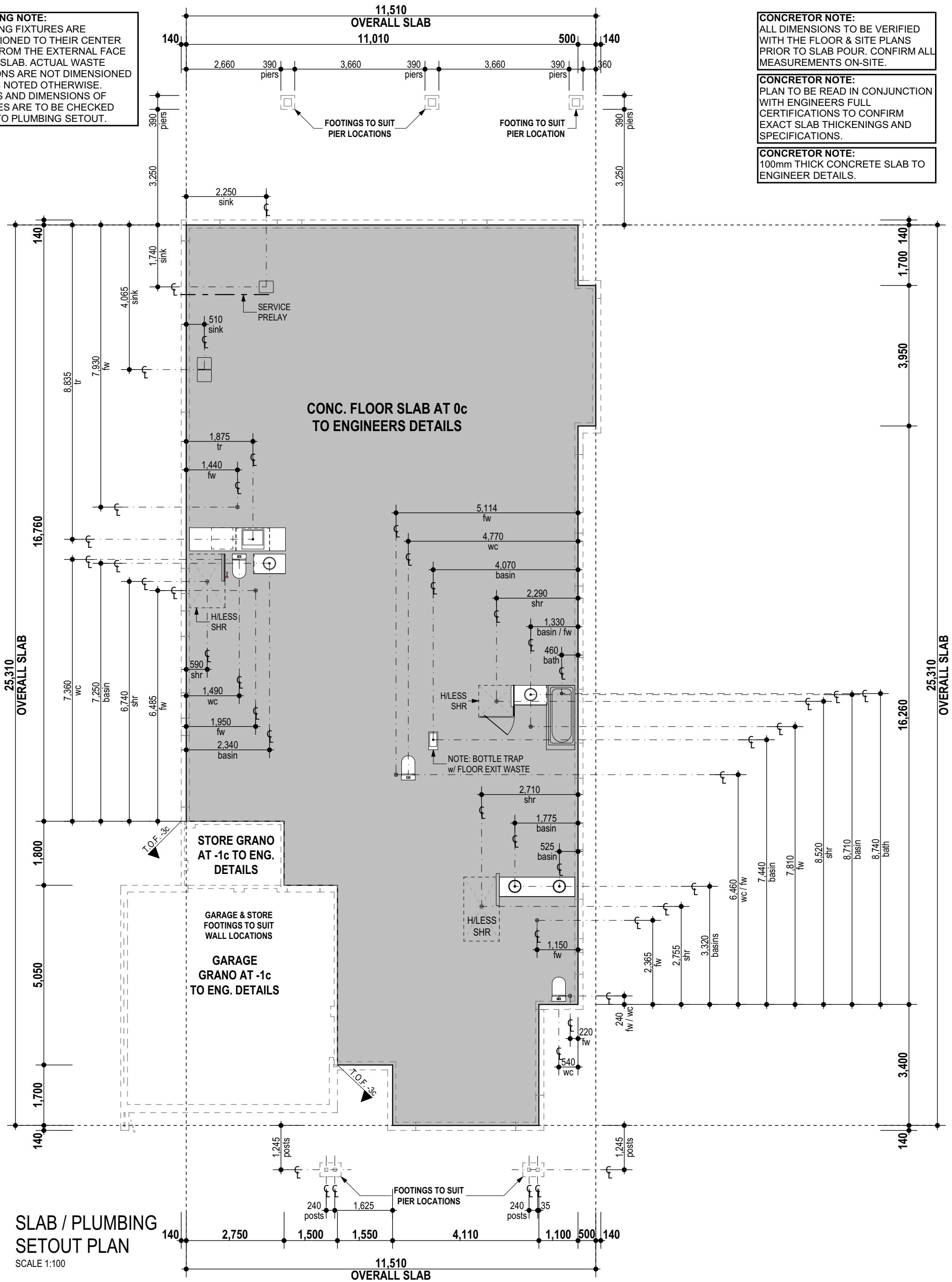


PLUMBING NOTE:
PLUMBING FIXTURES ARE
DIMENSIONED TO THEIR CENTER
LINES FROM THE EXTERNAL FACE
OF THE SLAB. ACTUAL WASTE
POSITIONS ARE NOT DIMENSIONED
UNLESS NOTED OTHERWISE.
MODELS AND DIMENSIONS OF
FIXTURES ARE TO BE CHECKED
PRIOR TO PLUMBING SETOUT.

CONCRETOR NOTE:
ALL DIMENSIONS TO BE VERIFIED
WITH THE FLOOR & SITE PLANS
PRIOR TO SLAB POUR. CONFIRM ALL
MEASUREMENTS ON-SITE.

CONCRETOR NOTE:
PLAN TO BE READ IN CONJUNCTION
WITH ENGINEERS FULL
CERTIFICATIONS TO CONFIRM
EXACT SLAB THICKENINGS AND
SPECIFICATIONS.

CONCRETOR NOTE:
100mm THICK CONCRETE SLAB TO
ENGINEER DETAILS.



PROGEN HOMES

BC103132

ADDRESS:
18 BONE STREET, ST. JAMES W.A.
6102

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REVISION	DATE
Prepare Working Drawings	10.04.25
Planning Amendments	13.05.25
Contract DFTFIX	27.05.25
Add post-demo survey	26.06.25

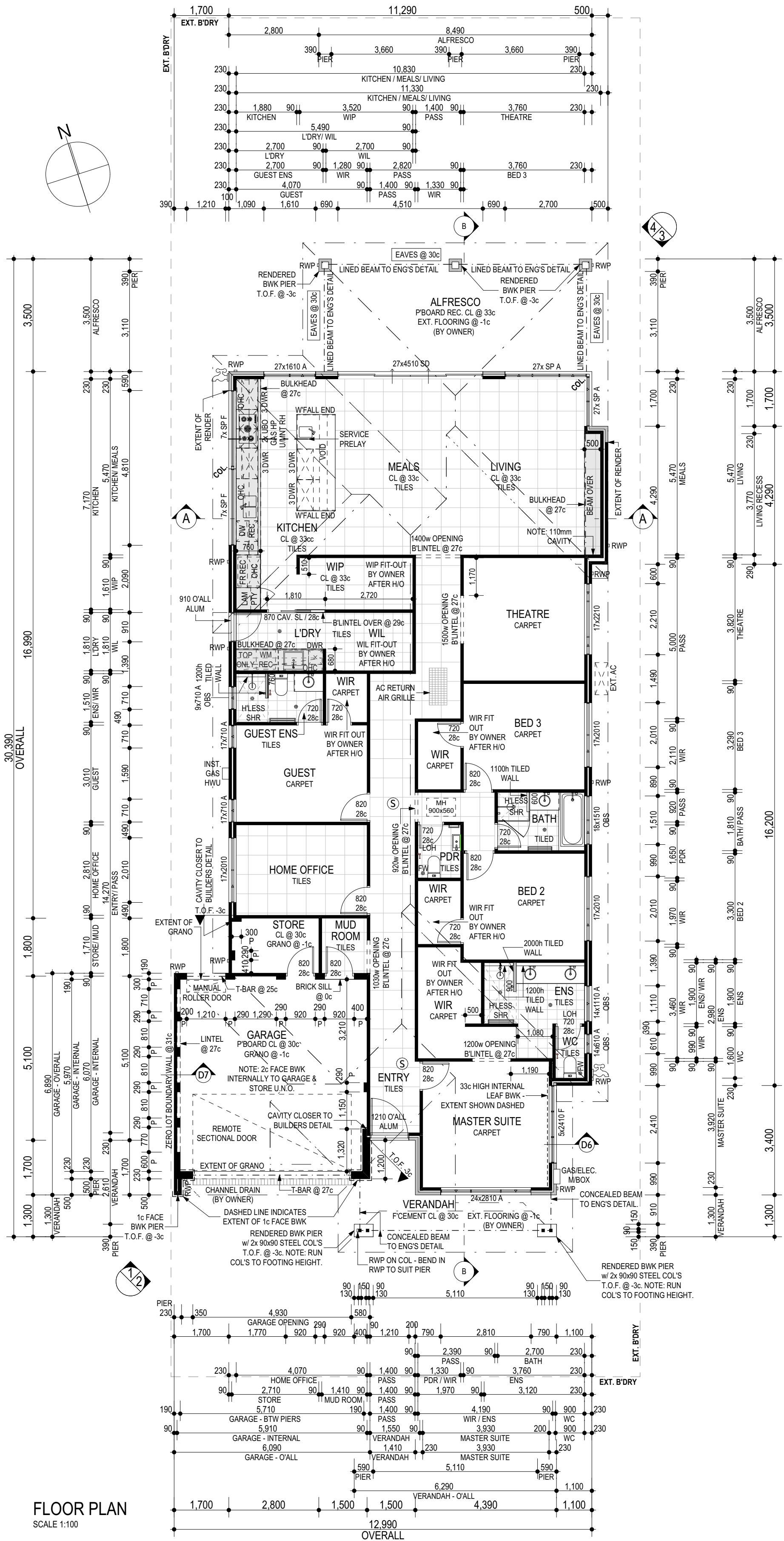
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DRAWN BY:	SS
CHECKED BY:	JS

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AREAS:		
	PERIM. (m)	AREA (m²)
HOUSE	74.76	250.49
GARAGE	28.38	43.10
ALFRESCO	23.98	29.72
VERANDAH	18.54	10.78
		334.09 m²



- NOTE:**
SMOKE ALARMS TO BE INTERCONNECTED AND HARDWIRED AS PER AS 3786:2014
- NOTE:**
LOCATION OF DOWNPIPES ARE INDICATIVE ONLY & MAY BE CHANGED AT BUILDER'S DISCRETION.
- NOTE:**
230 CAVITY FACE BRICKWORK LAID 1/3 BOND THROUGHOUT EXTERNALLY U.O.N. EXTENT OF RENDERED BRICKWORK SHOWN SHADED ON PLANS AND ELEVATIONS.
- NOTE:**
TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND NCC PART 3.1.4.
- NOTE:**
PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS FULL CERTIFICATION PLANS.
- NOTE:**
DRYWALL LINING TO INTERNAL WALLS.
- NOTE:**
KEEP AREA 500mm OF RANGEHOOD CENTER LINE CLEAR OF BEAMS AND JOISTS.
- NOTE:**
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ENGINEERS DETAILS, RELEVANT AUSTRALIAN STANDARDS & THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA.
- NOTE:**
DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING ANY WORK.

NOTE:
30c CEILINGS
THROUGHOUT UNLESS
OTHERWISE NOTED.

REVISION
Prepare Working Drawings
Planning Amendments
Contract DFTFIX
Add post-demo survey

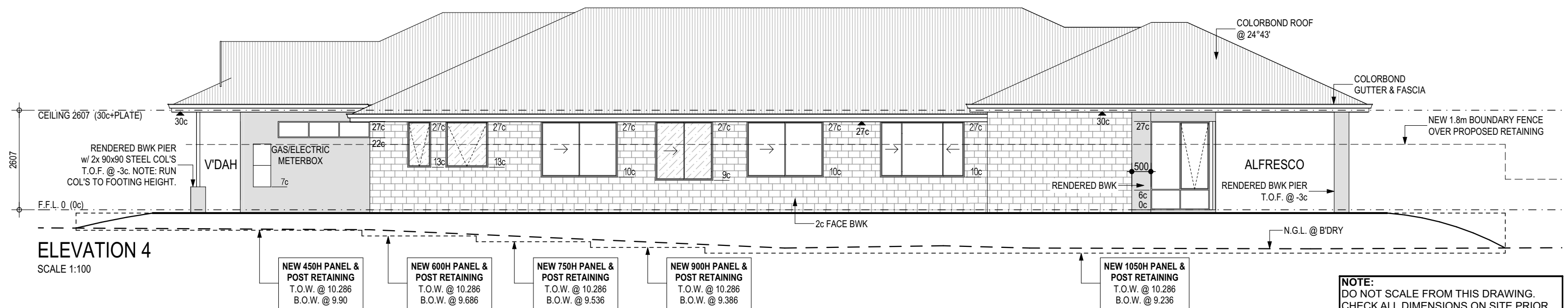
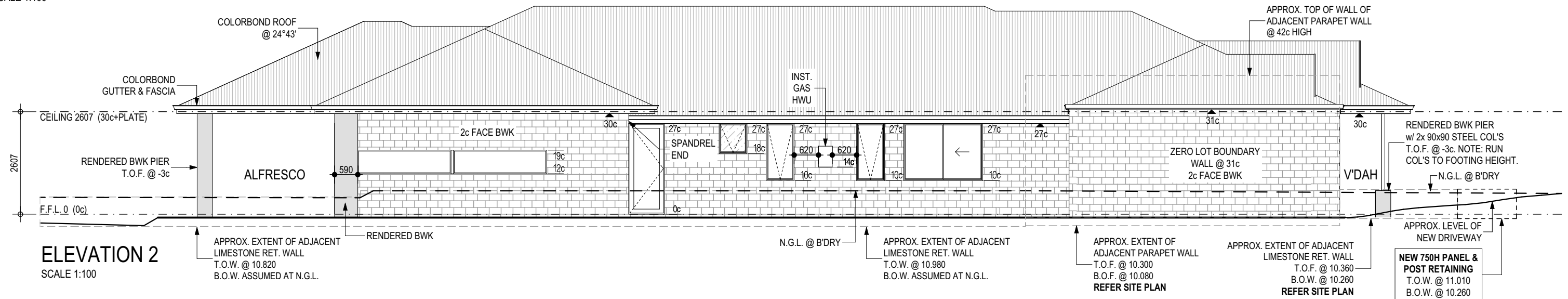
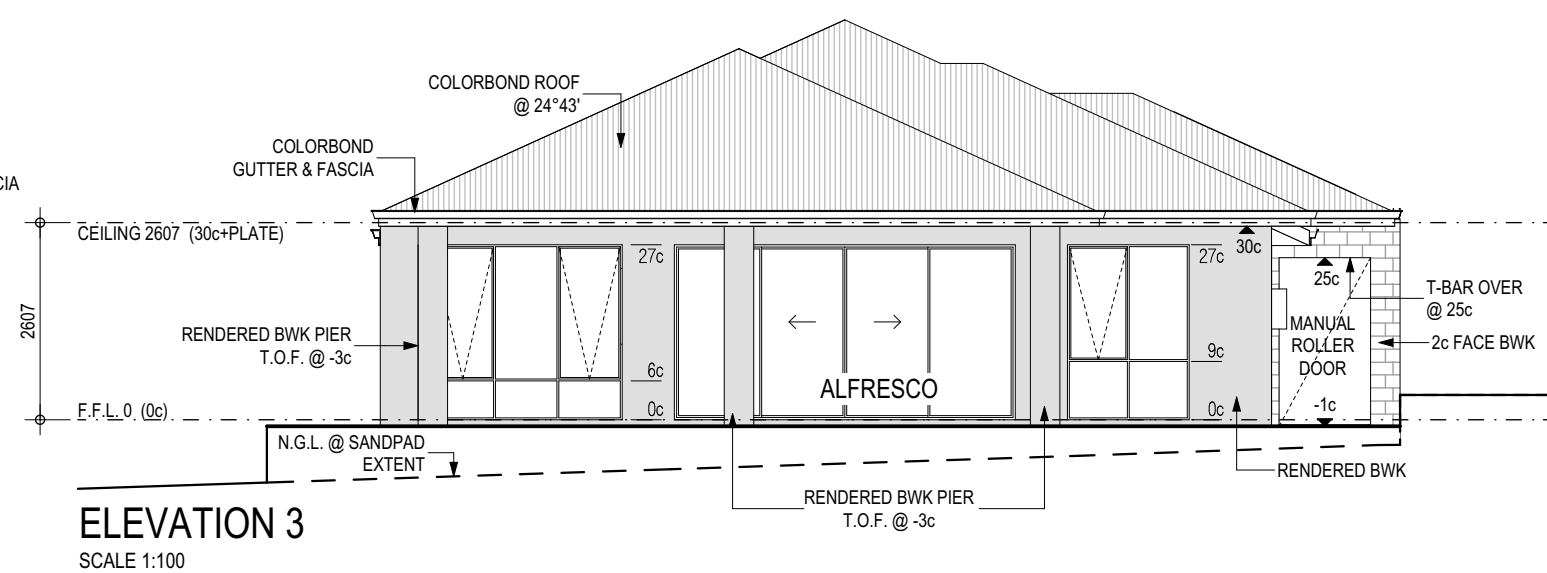
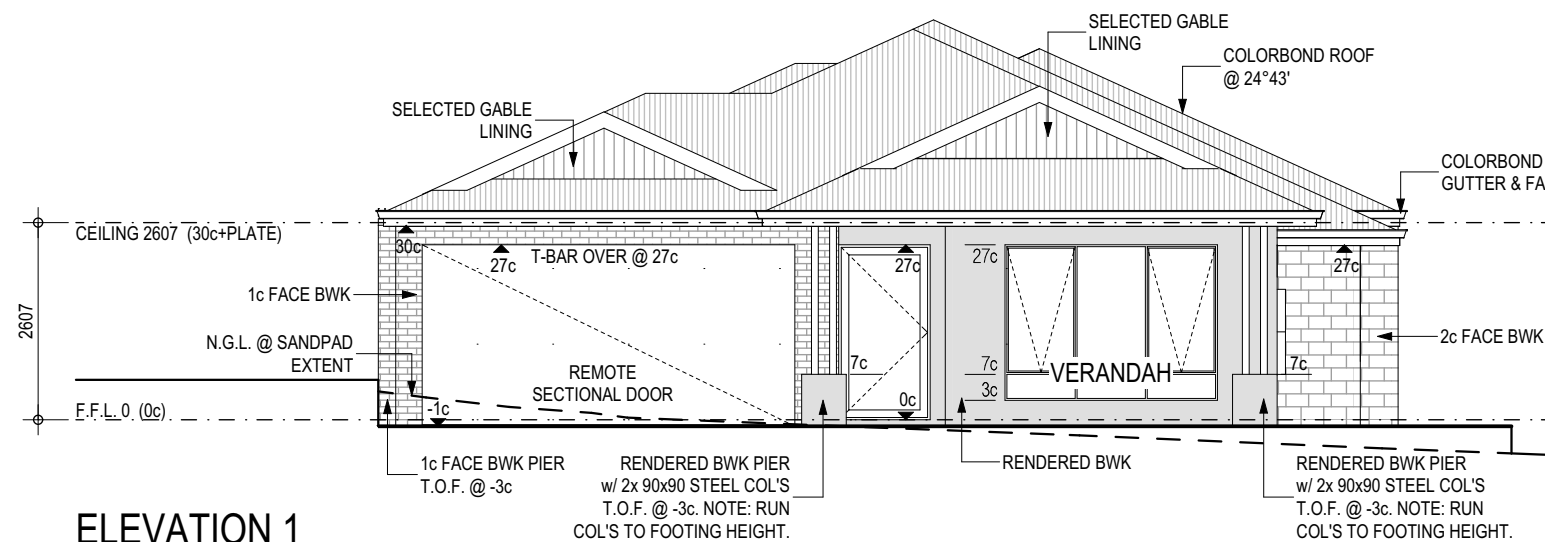
DATE
10.04.25
13.05.25
27.05.25
26.06.25

CLIENT SIGNATURE
CLIENT SIGNATURE
BUILDERS REPRESENTATIVE

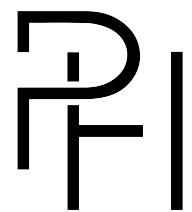
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251009	3 OF 10



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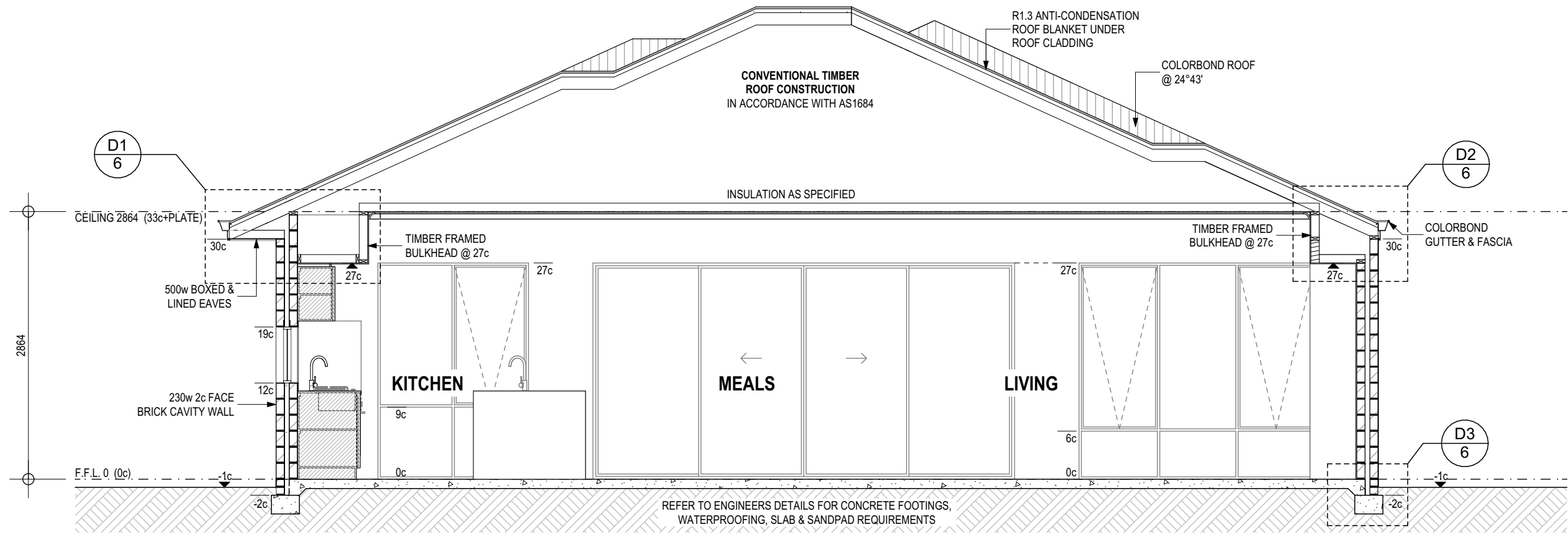
PROGEN HOMES

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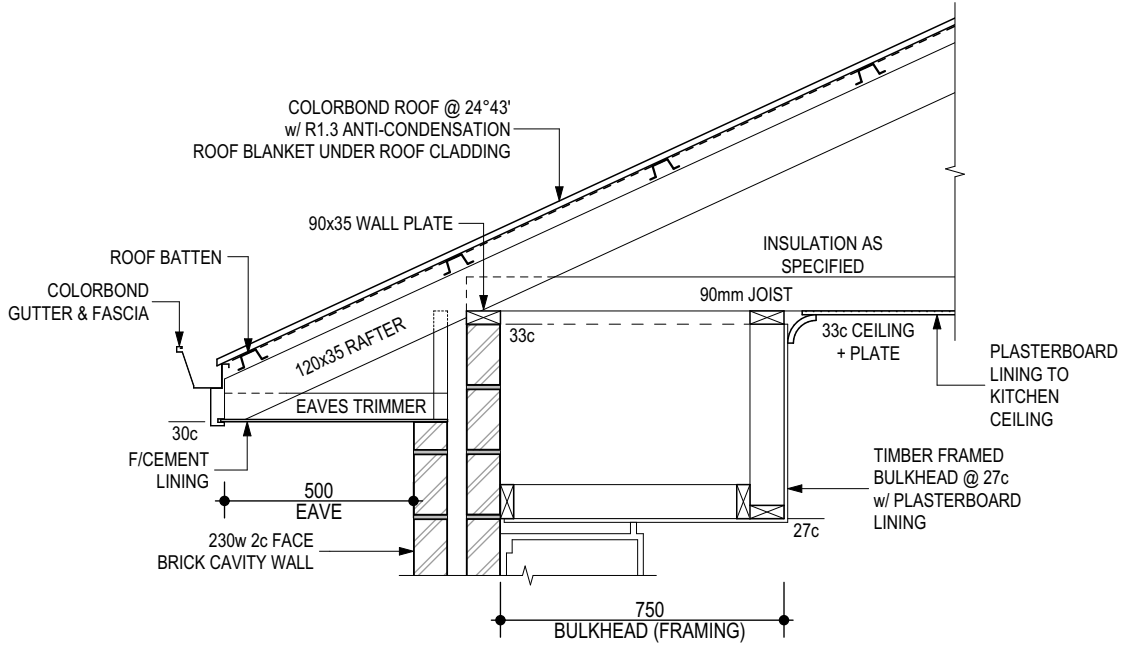
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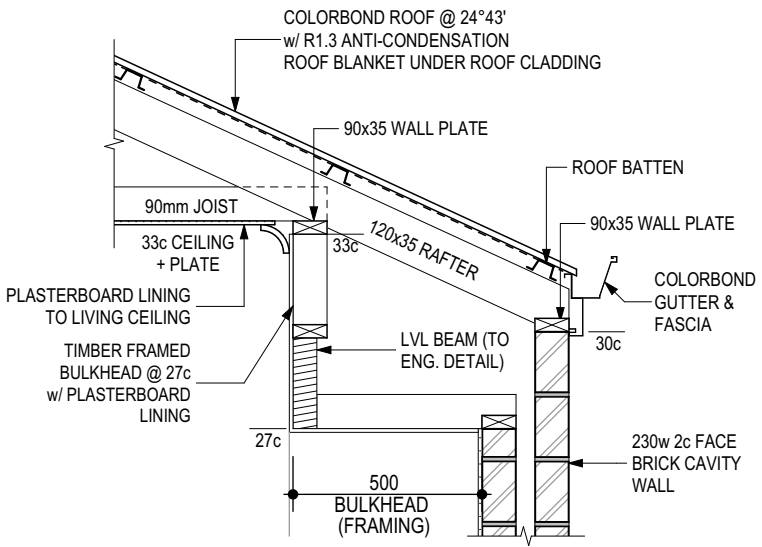
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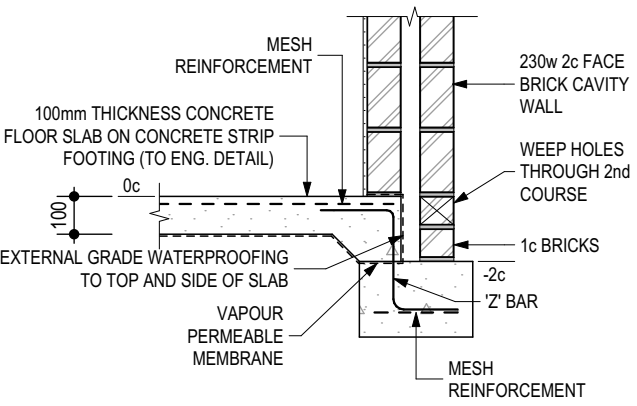
SECTION A
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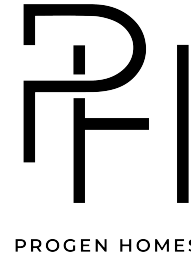
D1: EAVE / KITCHEN BULKHEAD DETAIL
SCALE 1: 20



D2: LIVING BULKHEAD DETAIL
SCALE 1: 20



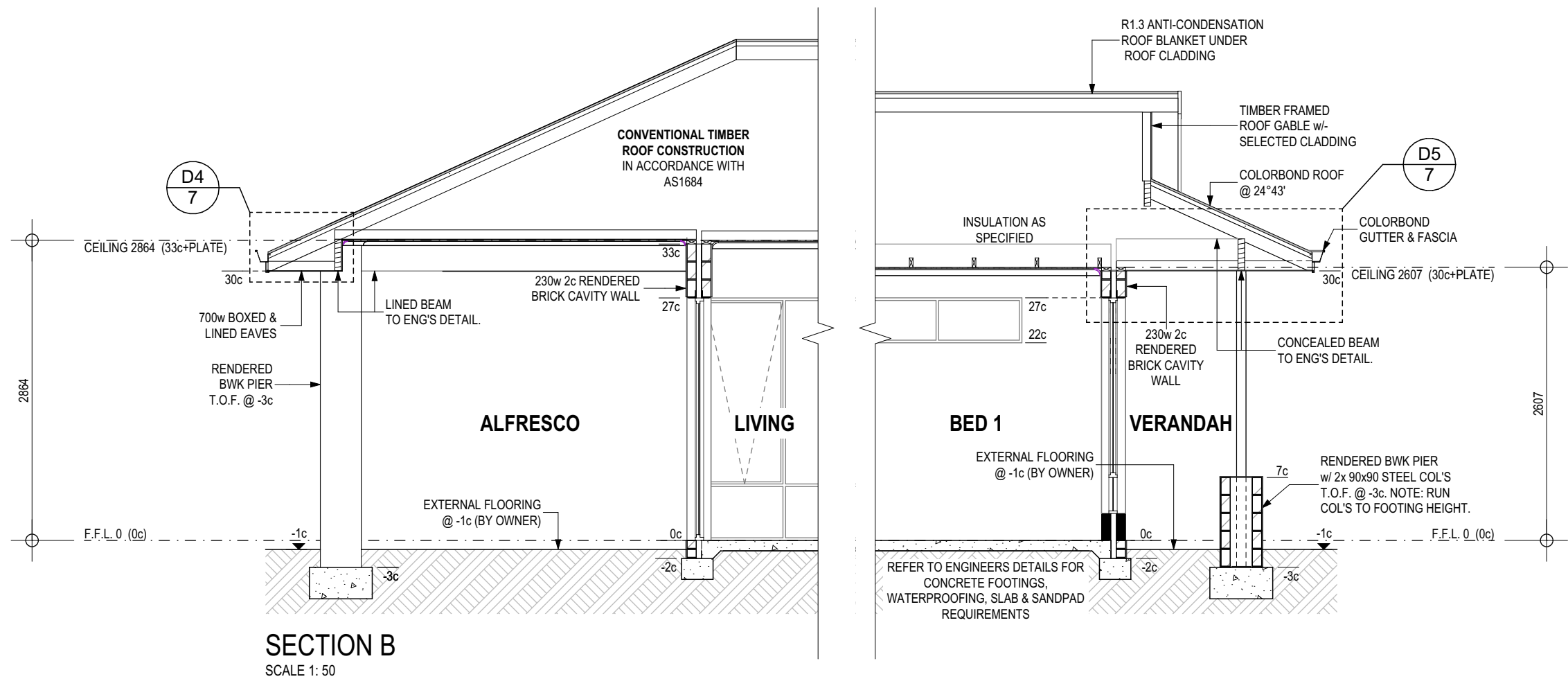
D3: TYP. FOOTING DETAIL
SCALE 1: 20



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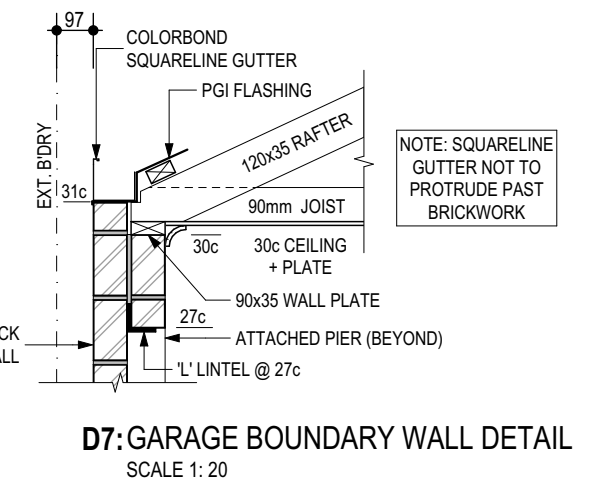
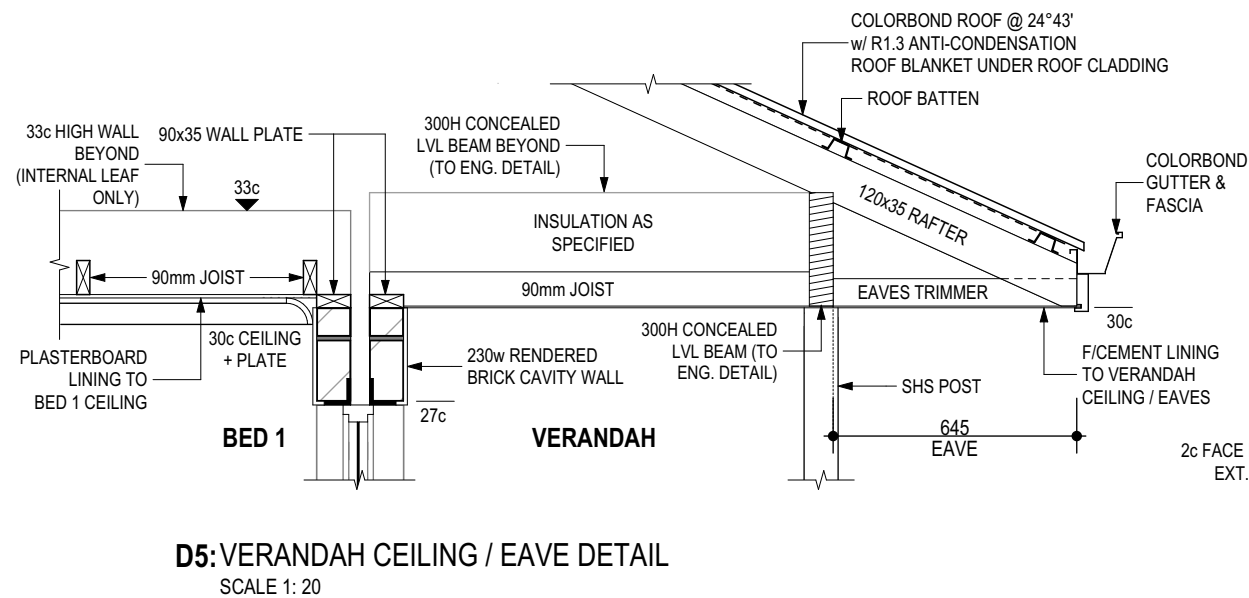
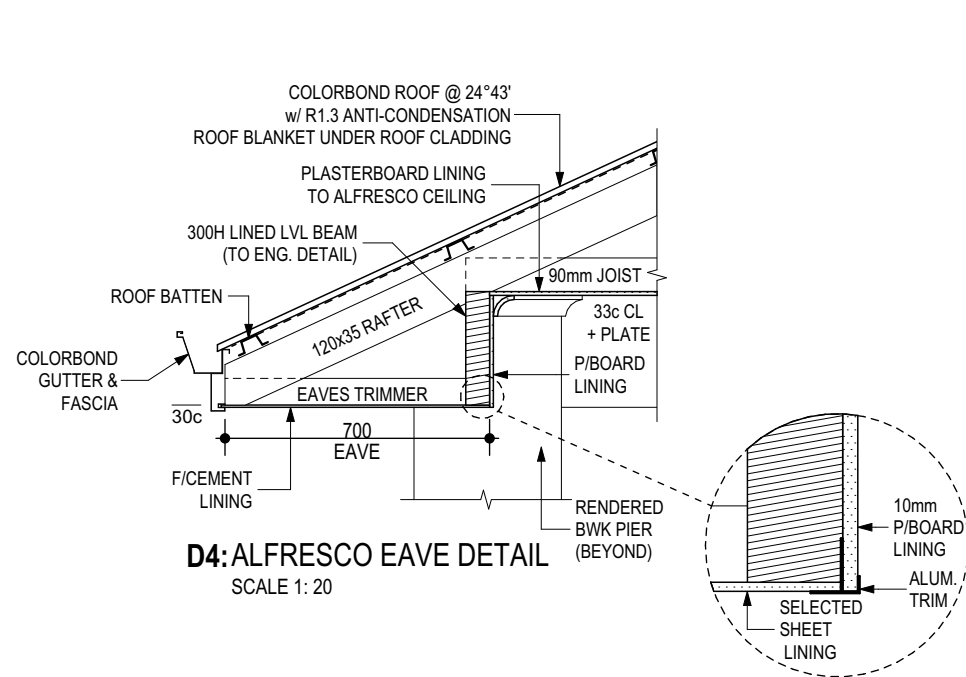
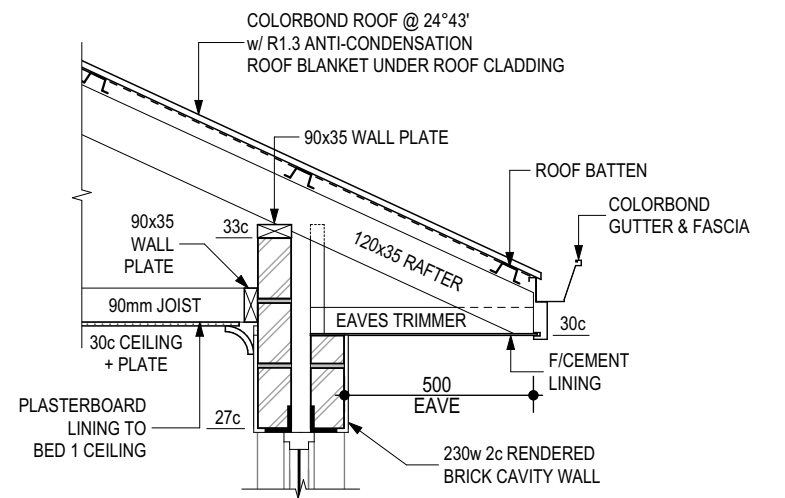
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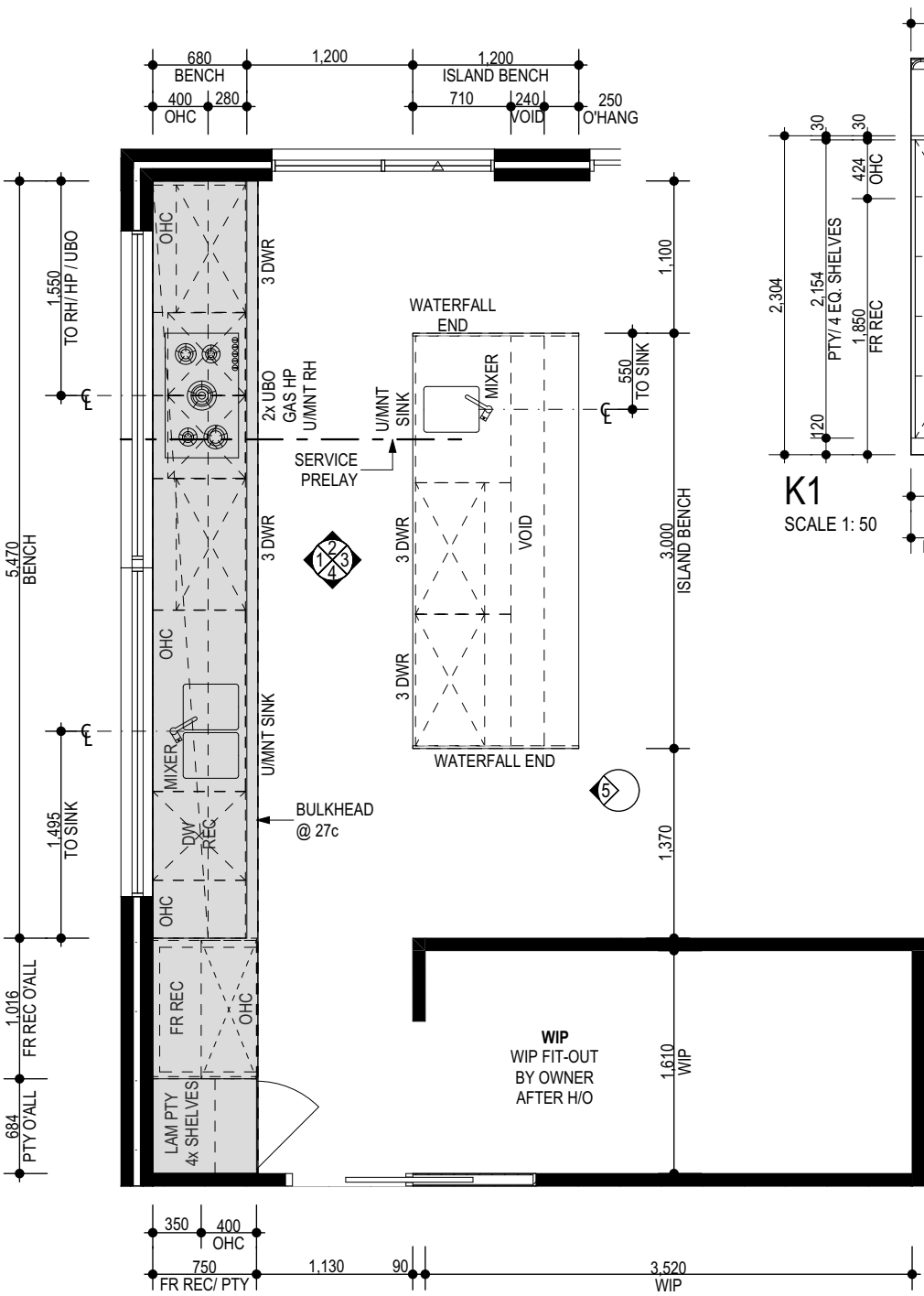
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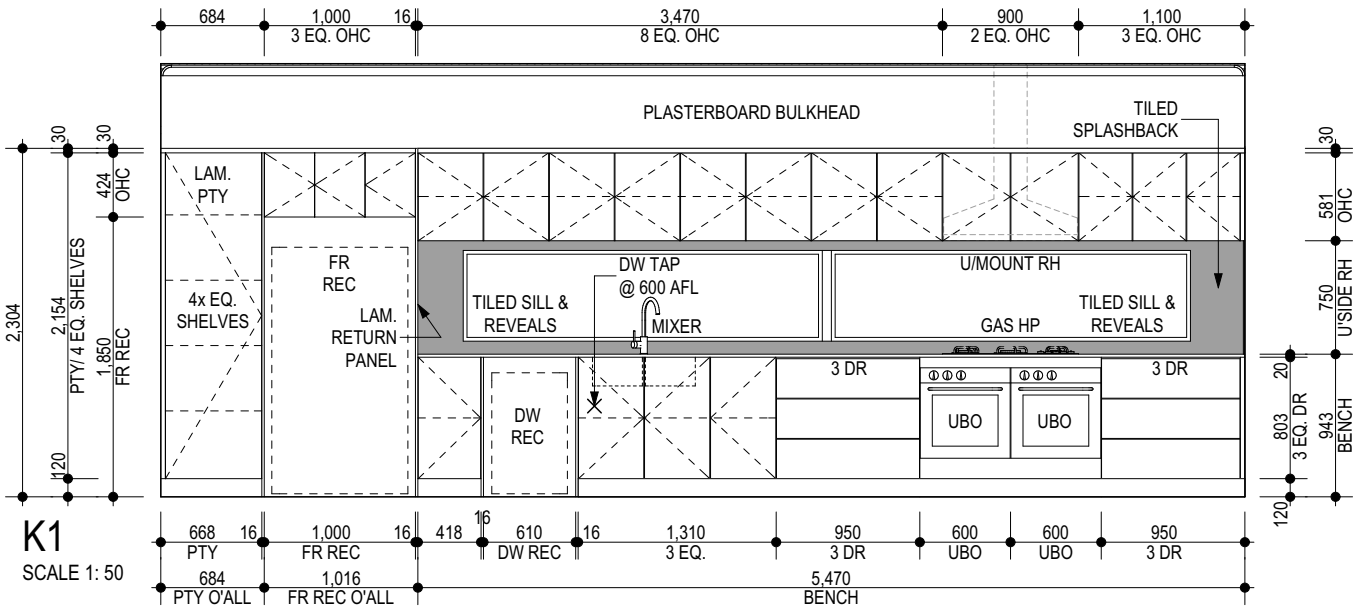
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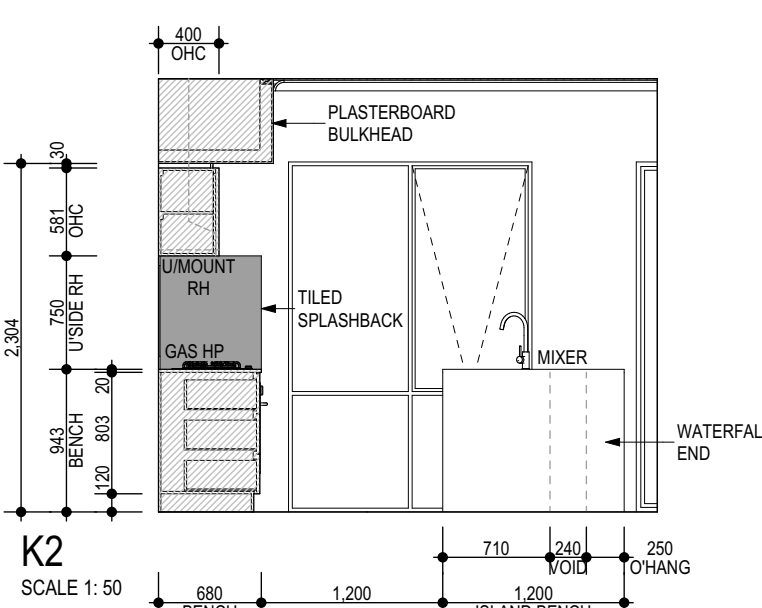




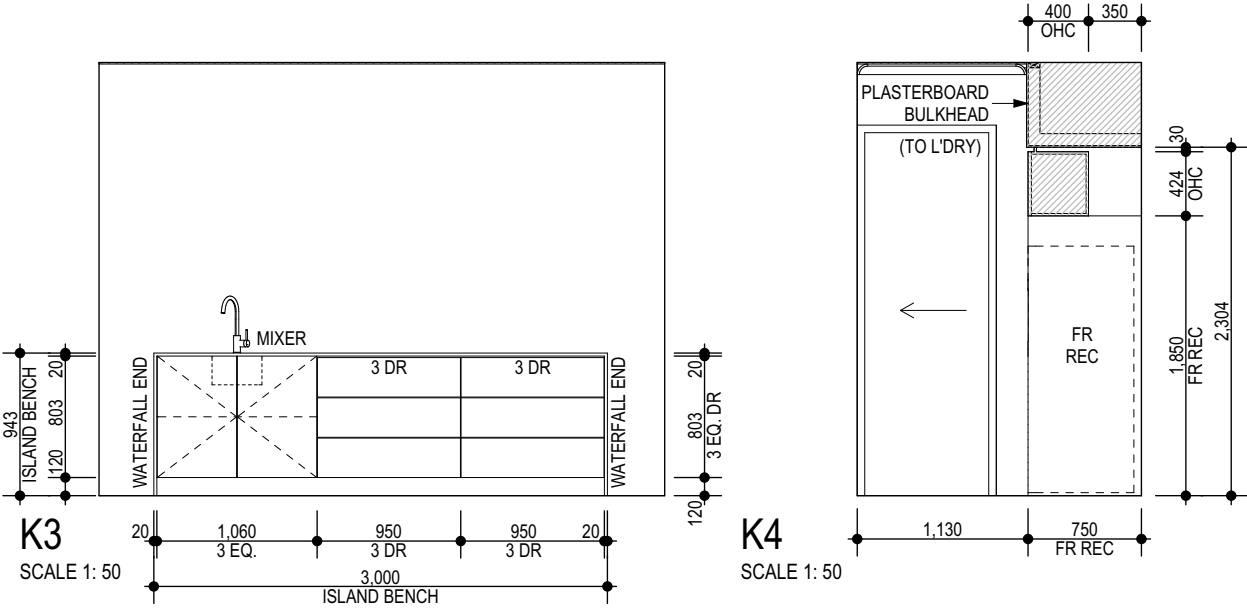
KITCHEN LAYOUT
SCALE 1: 50



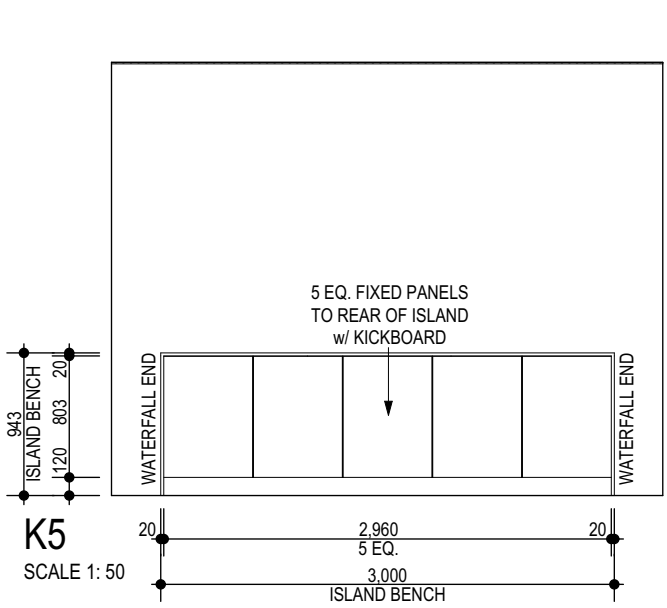
K1
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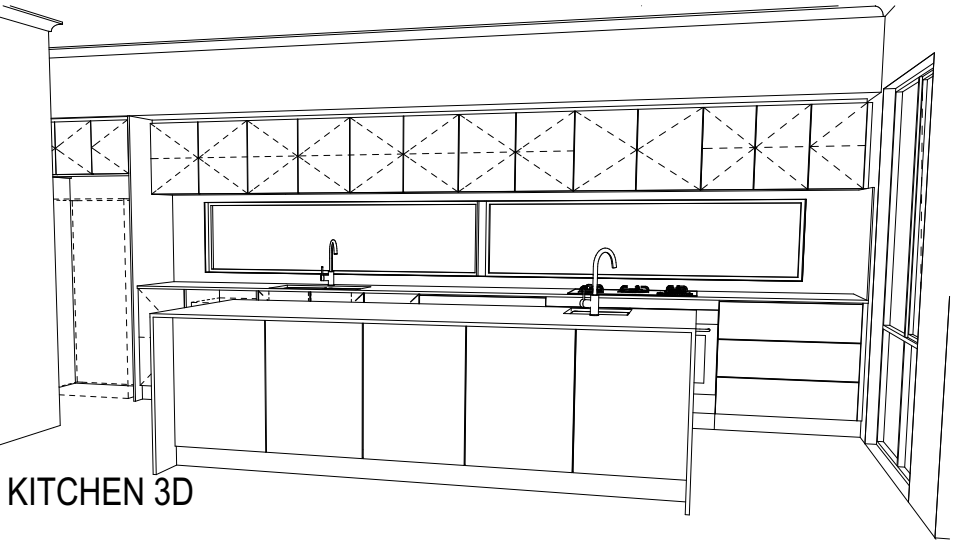
K2
SCALE 1: 50



K4
SCALE 1: 50



K5
SCALE 1: 50

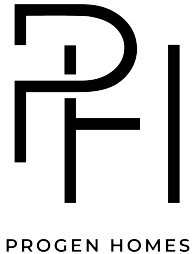


KITCHEN 3D

NOTE:
CABINETMAKER TO OBTAIN CUT-OUT SIZES FROM MANUFACTURER TO SUIT APPLIANCES & FITTINGS SELECTED IN ADDENDA.

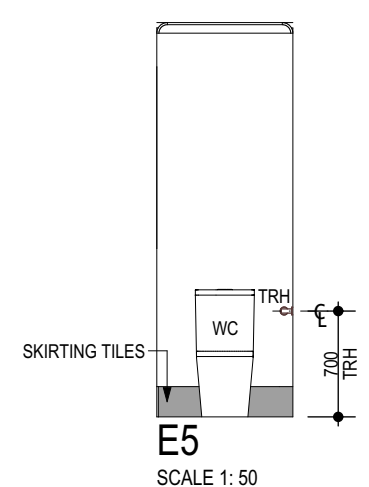
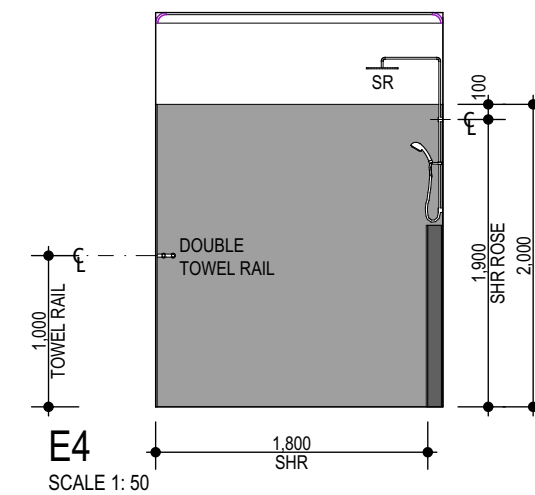
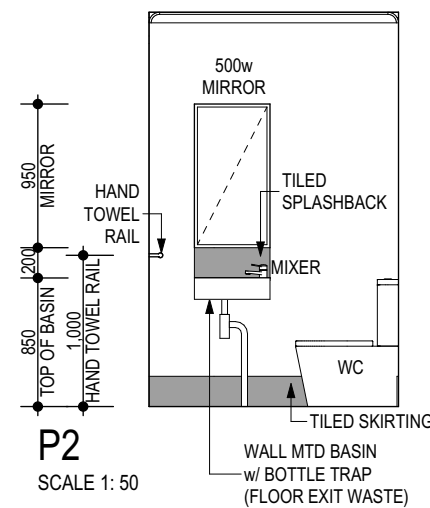
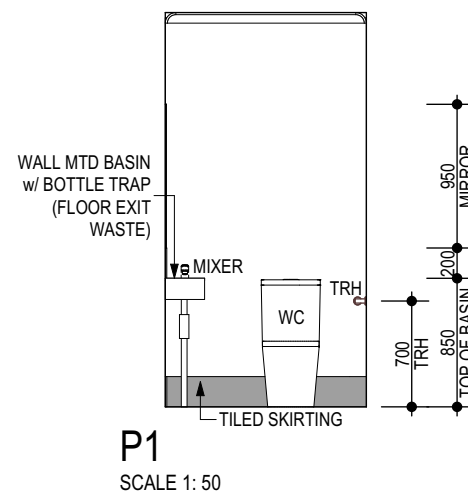
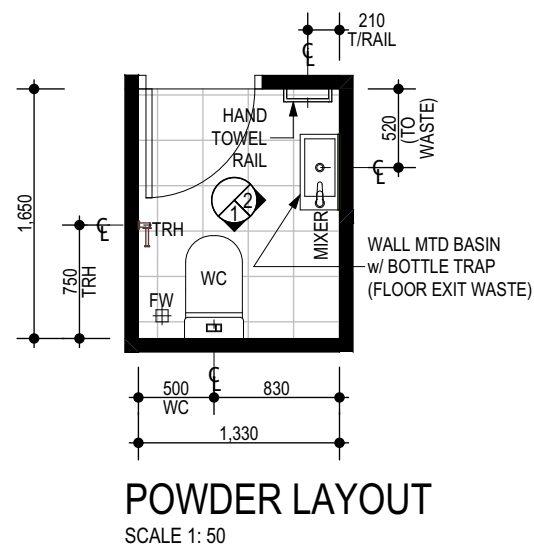
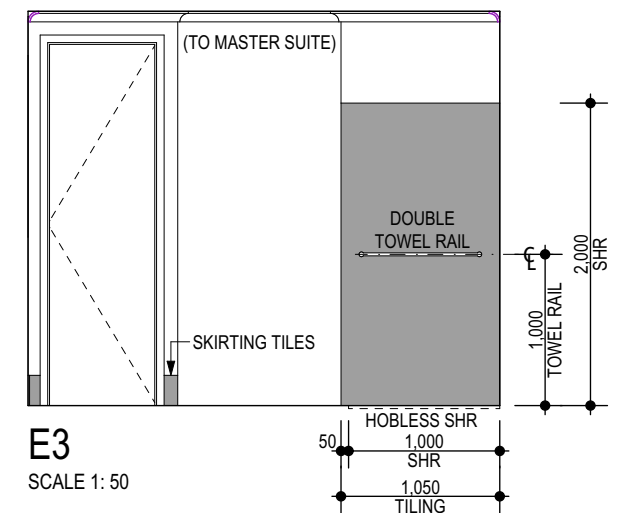
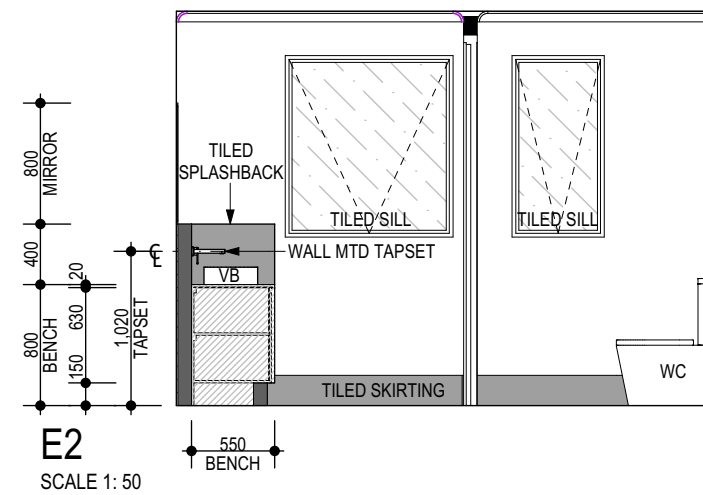
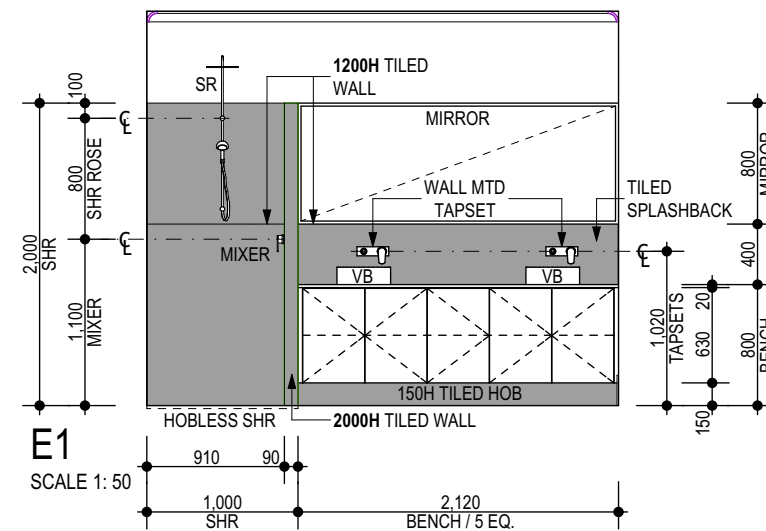
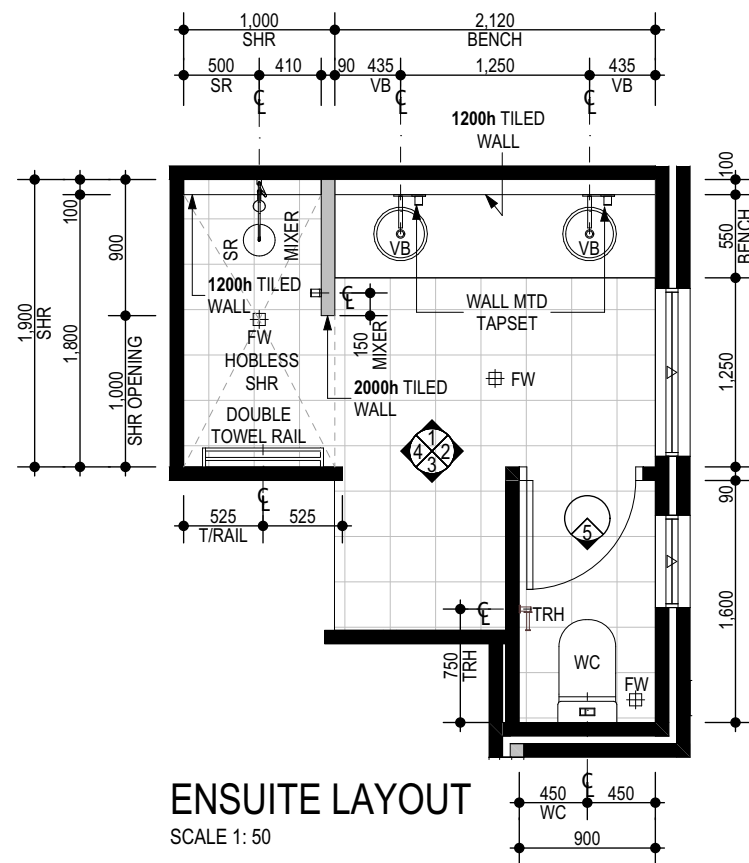
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NOTE:
EXTENT OF TILING SHOWN SHADED. PROVIDE MITRED TILING T/OUT WHERE APPLICABLE.



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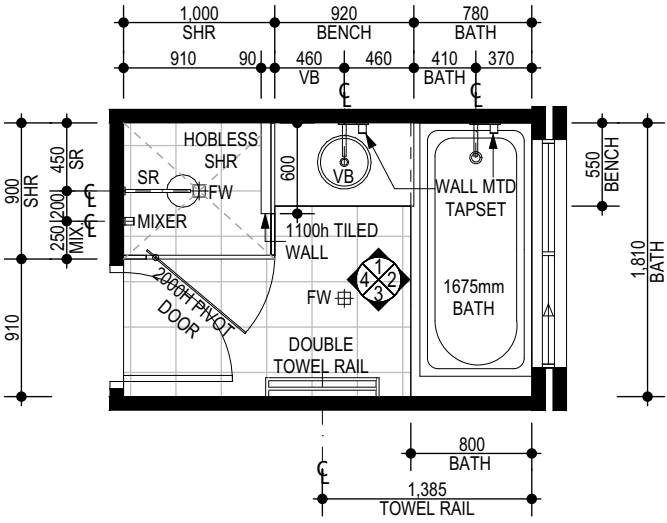
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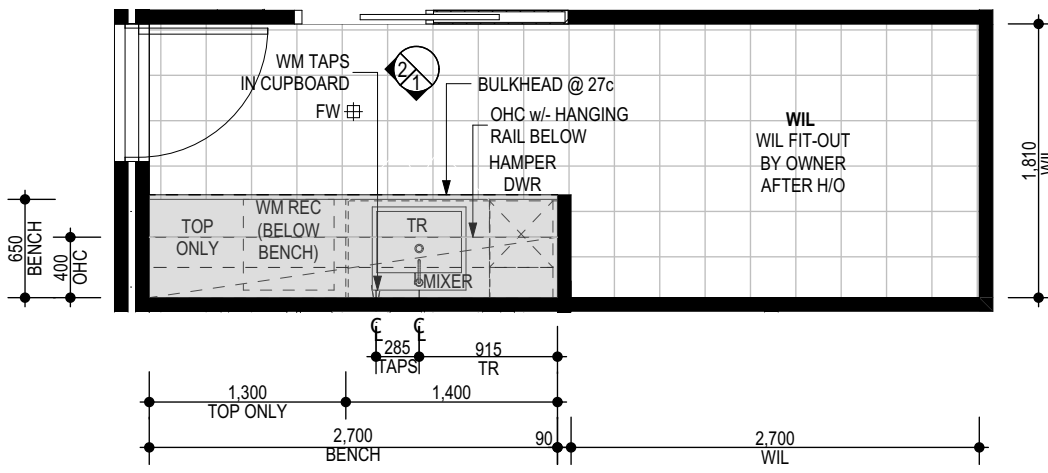
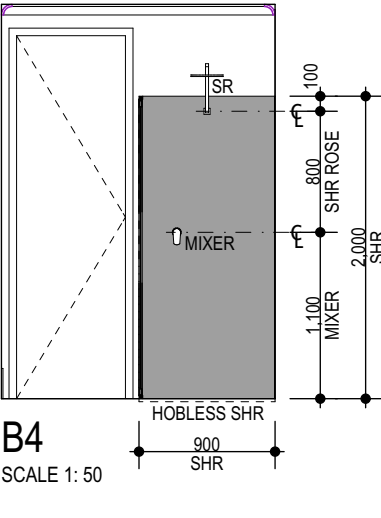
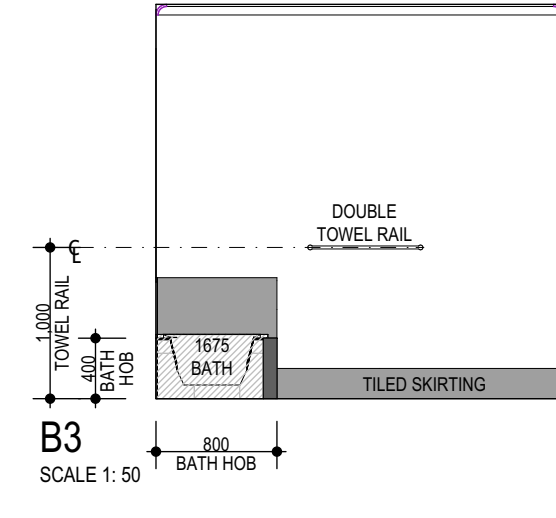
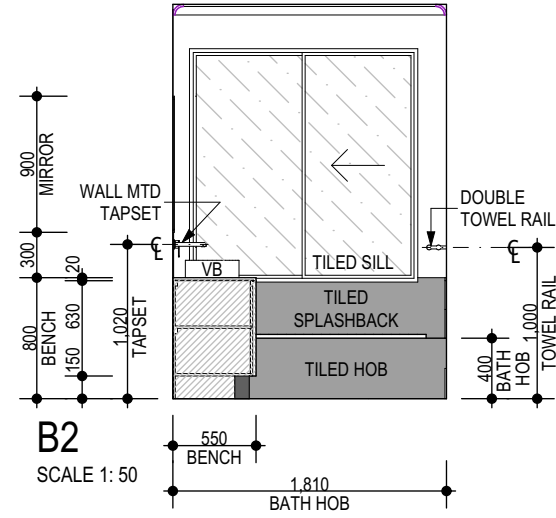
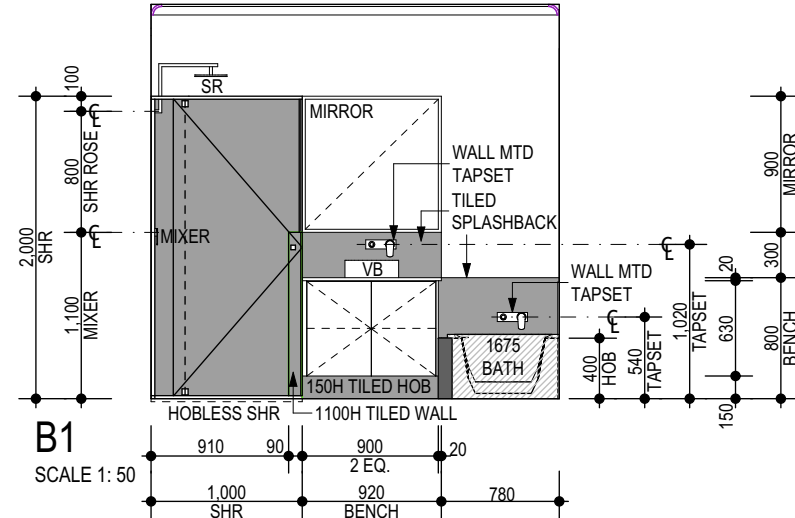
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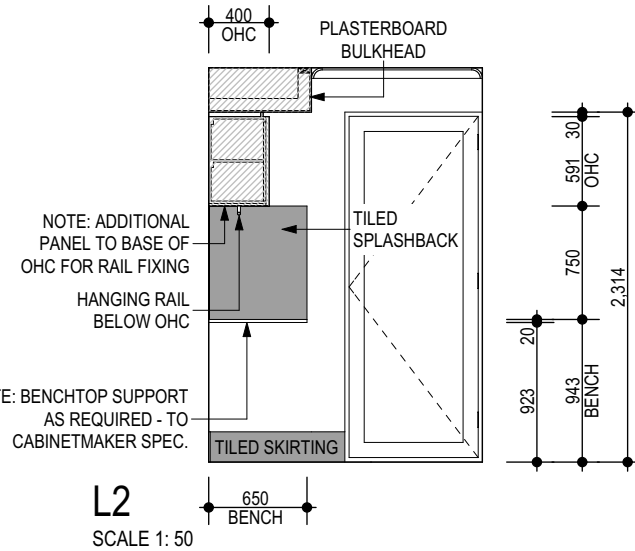
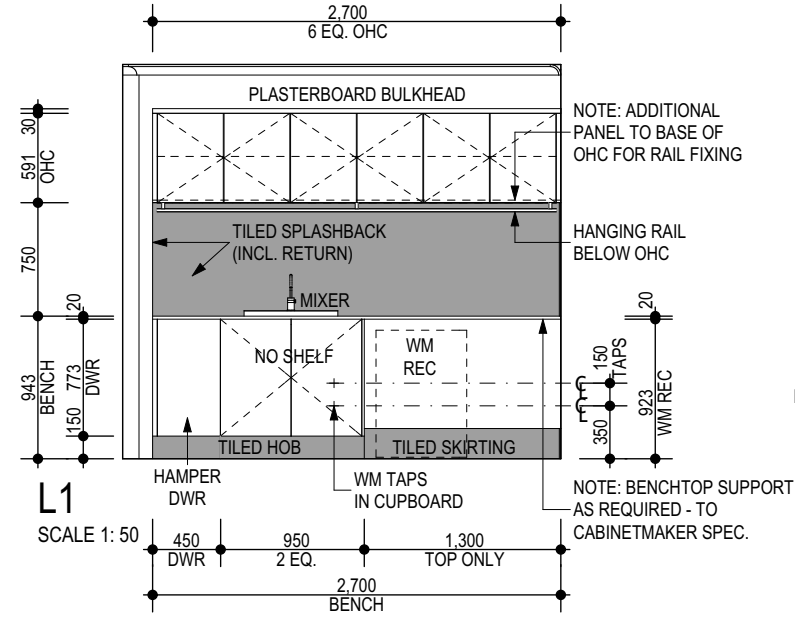
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BATHROOM LAYOUT
SCALE 1: 50



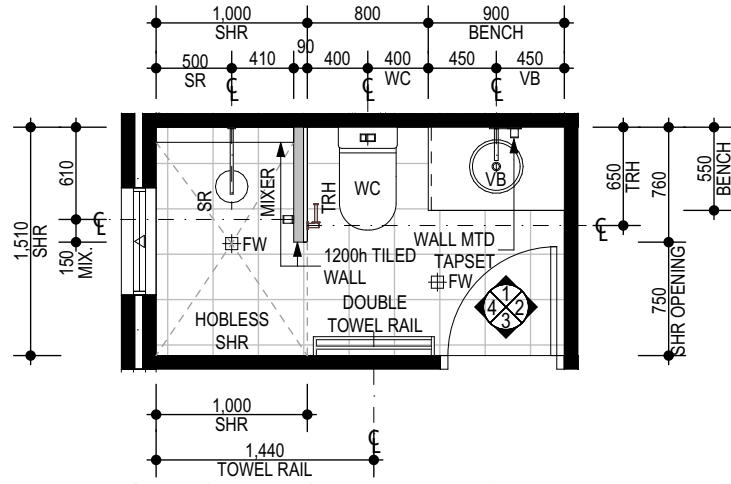
LAUNDRY LAYOUT
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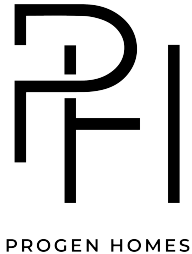
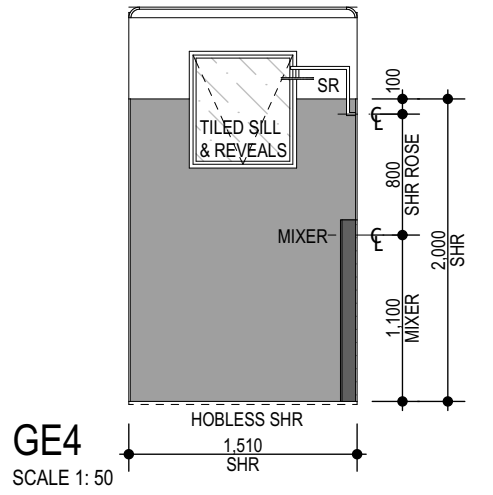
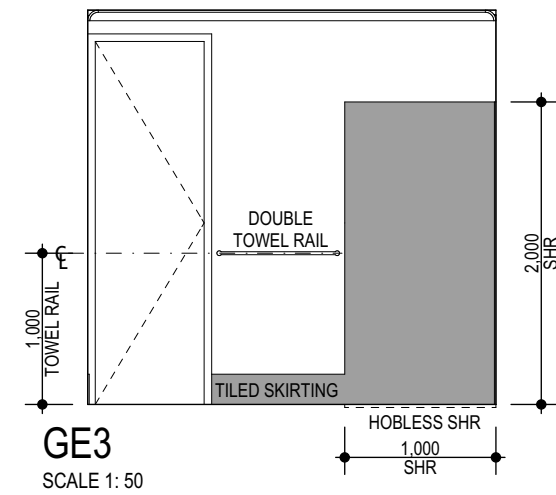
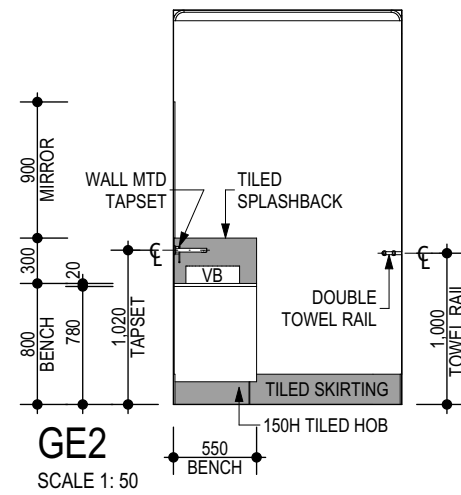
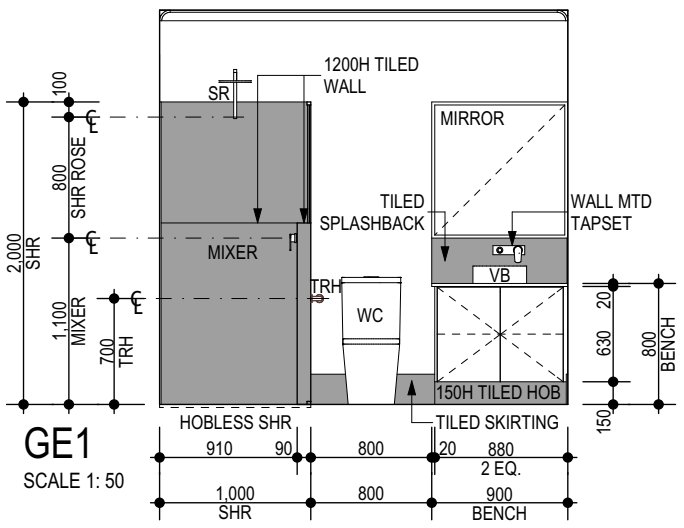
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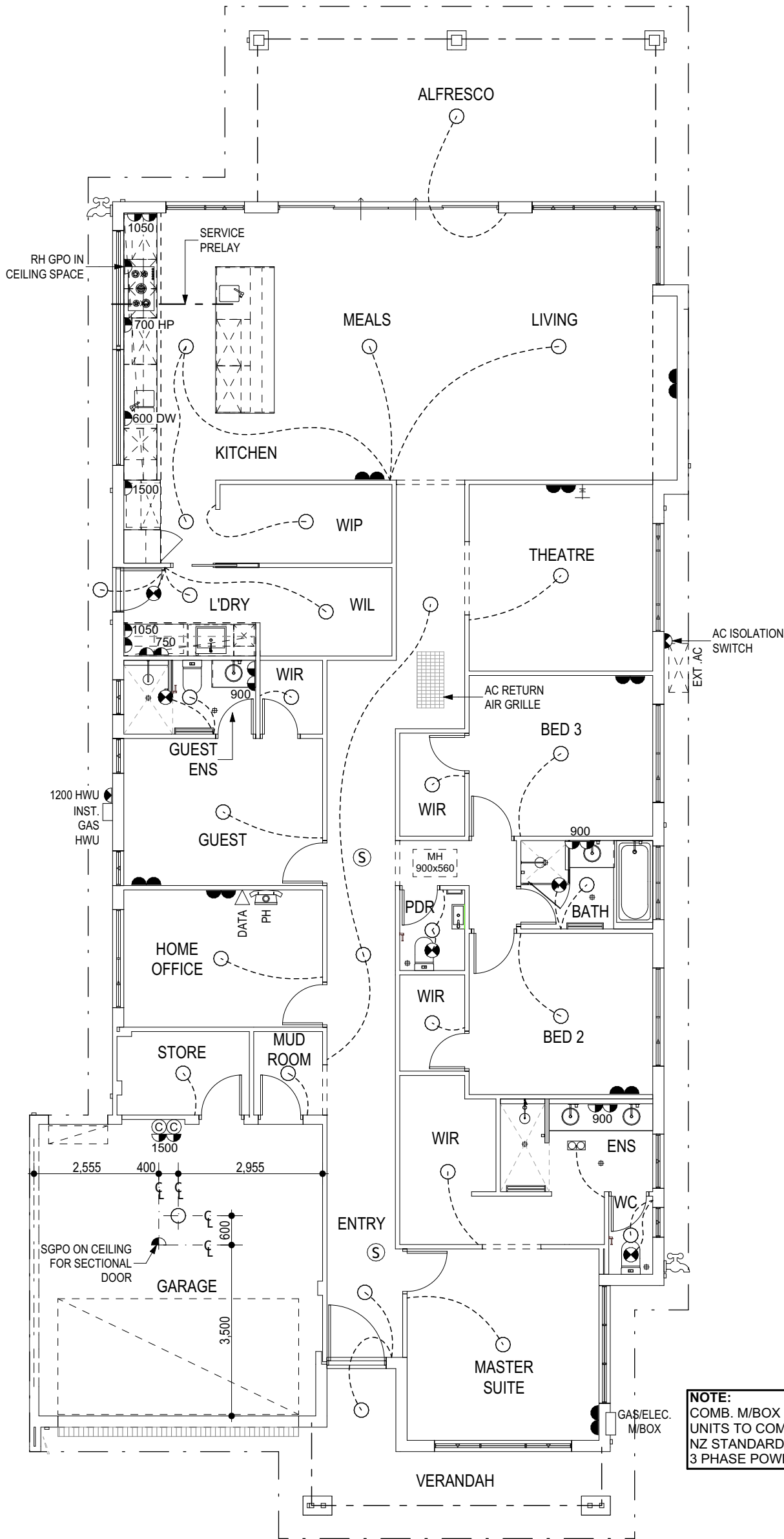
GUEST ENSUITE LAYOUT
SCALE 1: 50



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AIR CONDITIONING NOTES:

- FULLY DUCTED, SINGLE PHASE REVERSE CYCLE AIR CONDITIONING - BY BUILDER.
- LOCATION OF CEILING OUTLETS, RETURN AIR GRILLE, EXTERNAL AC UNIT & WALL MOUNTED CONTROLLER TO BE CONFIRMED ON RECEIPT OF TRADE QUOTE.
- NUMBER OF ZONES AND CEILING OUTLETS TO BE CONFIRMED ON RECEIPT OF FINAL TRADE QUOTE.
- TOUCH SCREEN MYAIR WALL CONTROLLER INCLUDED.
- ROUND CEILING OUTLETS INCLUDED.

NOTE:

- KEEP AREA 500mm OF RANGEHOOD CENTER LINE CLEAR OF BEAMS AND JOISTS.

NOTE:

- ELECTRICAL POINTS MAY BE RELOCATED ON SITE TO SUIT CURRENT STATUTORY REQUIREMENTS.
- UNLESS SPECIFIC MEASUREMENTS ARE SUPPLIED PRIOR TO PREWIRE, IT WILL BE UP TO THE INSTALLER'S DISCRETION FOR THE FINAL PLACEMENT OF ALL ELECTRICAL ITEMS.
- ALL LIGHT SWITCHES AT 1400 AFL UNLESS OTHERWISE NOMINATED.
- WALL LIGHTS AT 1800 AFL UNLESS OTHERWISE NOMINATED.
- GPOs AT 300 AFL UNLESS OTHERWISE NOMINATED.

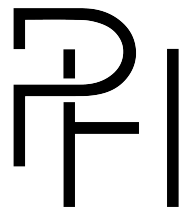
NOTE:

- HWU CONTROLLER LOCATION TO BE DETERMINED AT PRESTART.

ELECTRICAL LEGEND		
CEILING LIGHT		30
DOUBLE GPO @ 300mm AFL		8
DOUBLE GPO @ NOM. HT		7
EXHAUST FAN (FLUMED)		5
SINGLE GPO @ NOM. HT		5
CONDUIT (25mm)		2
SMOKE DETECTOR (HARD WIRED & INTERCONNECTED)		2
WEATHERPROOF SINGLE GPO @ NOM. HT		1
2x FAN/LIGHT/HEATER (FLUMED)		1
AC ISOLATION SWITCH		1
DATA POINT		1
TV POINT		1
AC EXTERNAL UNIT		1
AC RETURN AIR GRILLE		1
PHONE POINT		1

ELECTRICAL PLAN
SCALE 1:100

NOTE:
COMB. M/BOX WITH RCD
UNITS TO COMPLY WITH AUS/
NZ STANDARDS.
3 PHASE POWER TO HOME.



PROGEN HOMES

BC103132

ADDRESS:
18 BONE STREET, ST. JAMES W.A.
6102

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REVISION	DATE
Prepare Working Drawings	10.04.25
Planning Amendments	13.05.25
Contract DFTFIX	27.05.25
Add post-demo survey	26.06.25

CLIENT SIGNATURE	DATE
CLIENT SIGNATURE	DATE
BUILDERS REPRESENTATIVE	DATE

DATE:	08.04.25
DRAWN BY:	SS
CHECKED BY:	JS

PROJECT No: 251009 | SHEET No: 10 OF 10