

112 Sussex Street East Victoria Park

Block Area = $45.2 \times 18.43\text{m} = 833\text{m}^2$

Area A = $3 \times 3 = 9\text{m}^2$
Area B =
 $14.27 \times 4.37 = 62.36\text{m}^2$
Area C = 265.76m^2
Area D = $3.7 \times 0.7 = 2.59\text{m}^2$
Area E = $6 \times 6 = 36\text{m}^2$

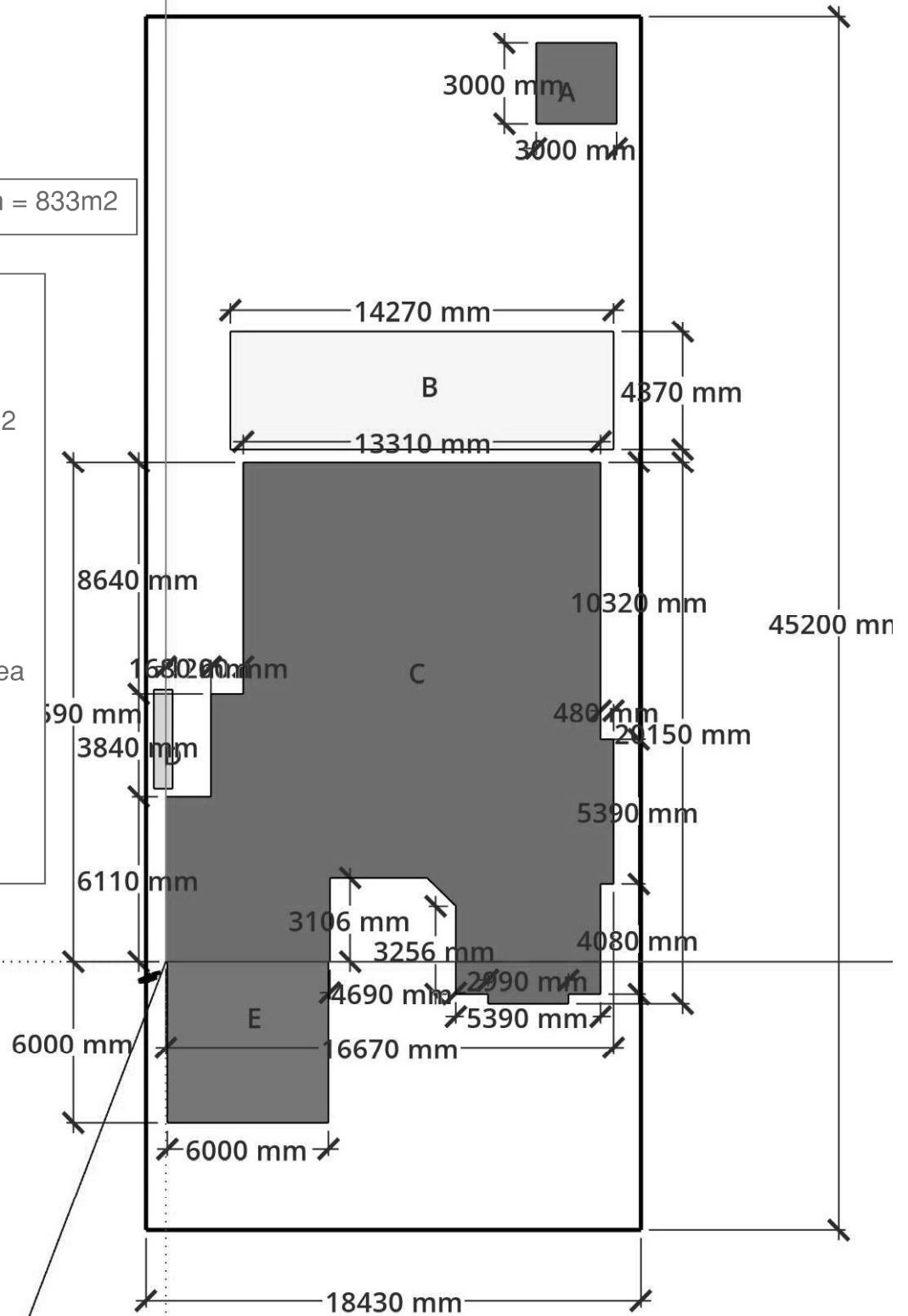
$A+B+C+D+E=375.71\text{m}^2$

Open Area =
 $833-375.71=457.3\text{m}^2$

R20 Zone = 50% open area

$457.3/833= 55\%$

55% satisfies open area requirement



A = garden shed
B=patio roof > 50m² hence cannot be considered open area.
C=House footprint
D=Garden tool shed
E = Proposed carport

COTTAGE & ENGINEERING SURVEYS

Licensed Surveyors

WA 219 ONSLOW ROAD, SHENTON PARK, 6008.
Telephone (08) 9381 6211 Fax (08) 9382 2503
QLD CHATSWOOD RD & PACIFIC HWY, SPRINGWOOD, 4127.
Telephone (07) 3808 7244 Fax (07) 38087349

J/N: 113883 DATE: 12/08/04 SCALE: 1:200 DRAWN: B. Colella

20 AMBROSE ST, ROCKINGHAM 6168

BUILDER TEL: 9527 1012 ABN 73 058 672 076

CLIENT: MR + MRS BROWN

LOT 18 (#112) Sussex Street, East Victoria Park

PLAN 3612

LEGEND:
SEC Dome
Power Pole
Phone
Conc. Path
Conc. slabs

SOIL DESCRIPTION

Sandy
See Survey

PRELIMINARY DRAWING

SHEET 5 OF 6

STORMWATER:

SOAKWELLS BY CLIENT

NOTE: Approximate Sewer Only
Check Water Corporation For Junction
Invert and Depth

NOTE: All Sewer details plotted from information supplied by Water Corporation.

NOTE / BEWARE:

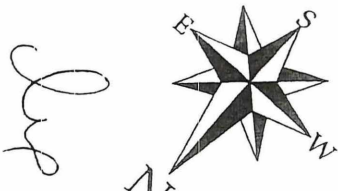
DUE TO LACK OF SURVEY MARKS/ PEGS ALL BUILDING OFFSET DIMENSIONS & FEATURES ARE APPROX ONLY AND POSITIONED FROM EXISTING PEGS/ FENCES AND WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED. ANY DESIGN THAT INVOLVES ADDITIONS TO ANY STRUCTURES SHOWN OR PORTION OF STRUCTURES REMAINING AFTER ANY DEMOLITION HAS TAKEN PLACE, BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS PROVIDED TO YOUR DESIGNER /ARCHITECT BEFORE ANY PLANS ARE PRODUCED AND BEFORE ANY WORK IS STARTED ON SITE.

NOTE/BEWARE:ADVISE TRADES
O/Head power lines

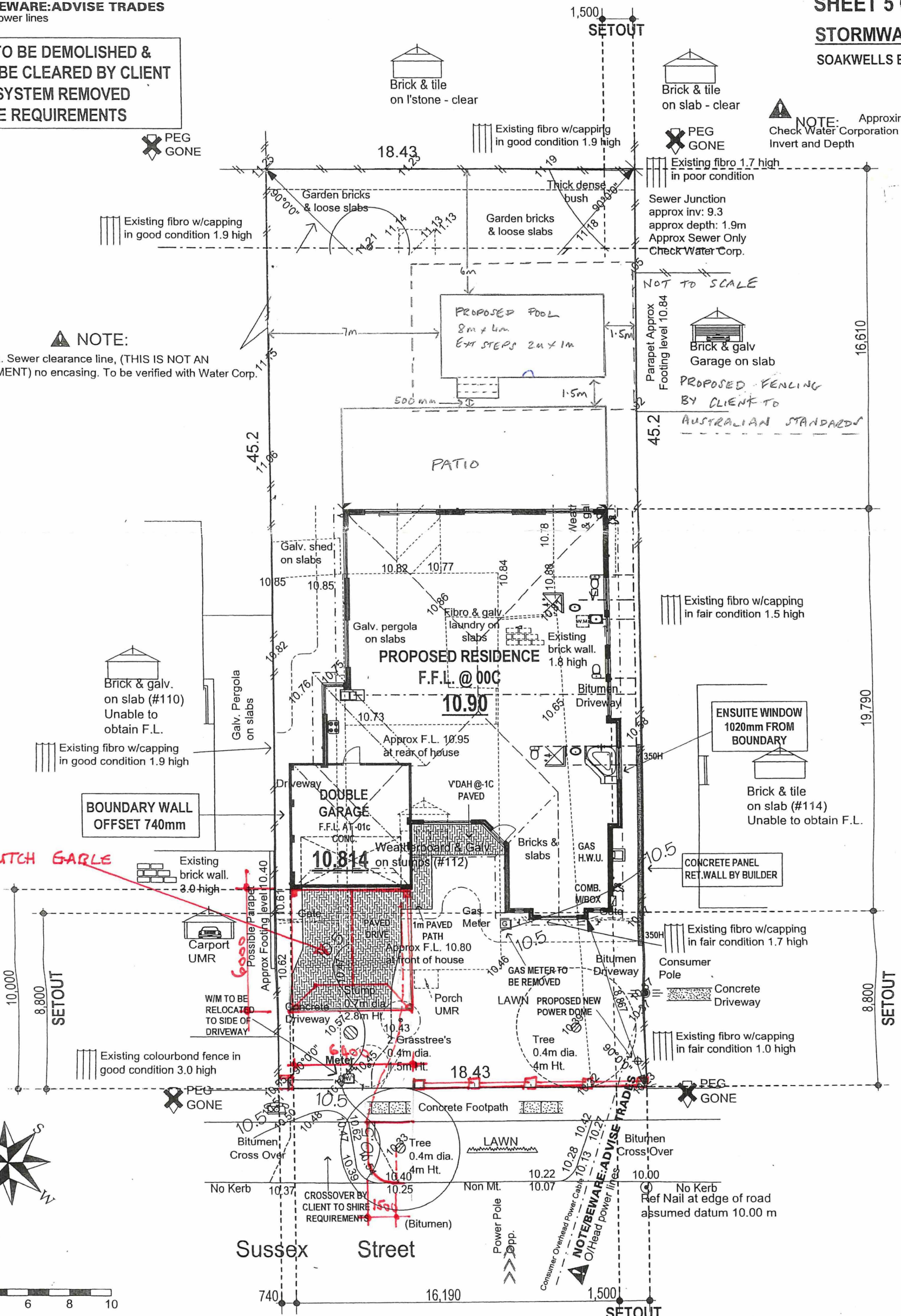
HOUSE TO BE DEMOLISHED &
SITE TO BE CLEARED BY CLIENT
SEPTIC SYSTEM REMOVED
TO SHIRE REQUIREMENTS

NOTE:
Approx. Sewer clearance line, (THIS IS NOT AN
EASEMENT) no encasing. To be verified with Water Corp.

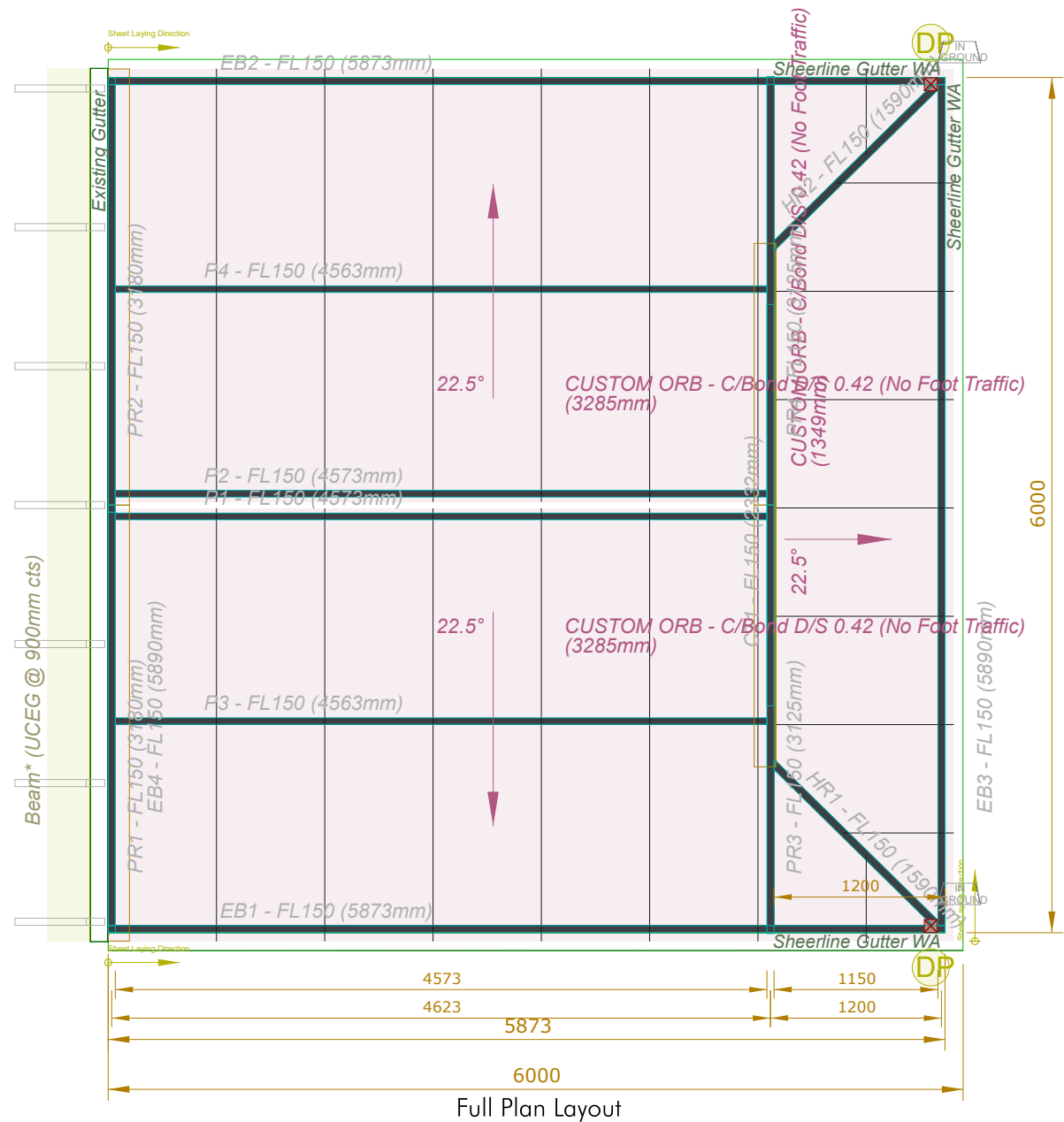
PROPOSED DUTCH GARLE
GARPORT

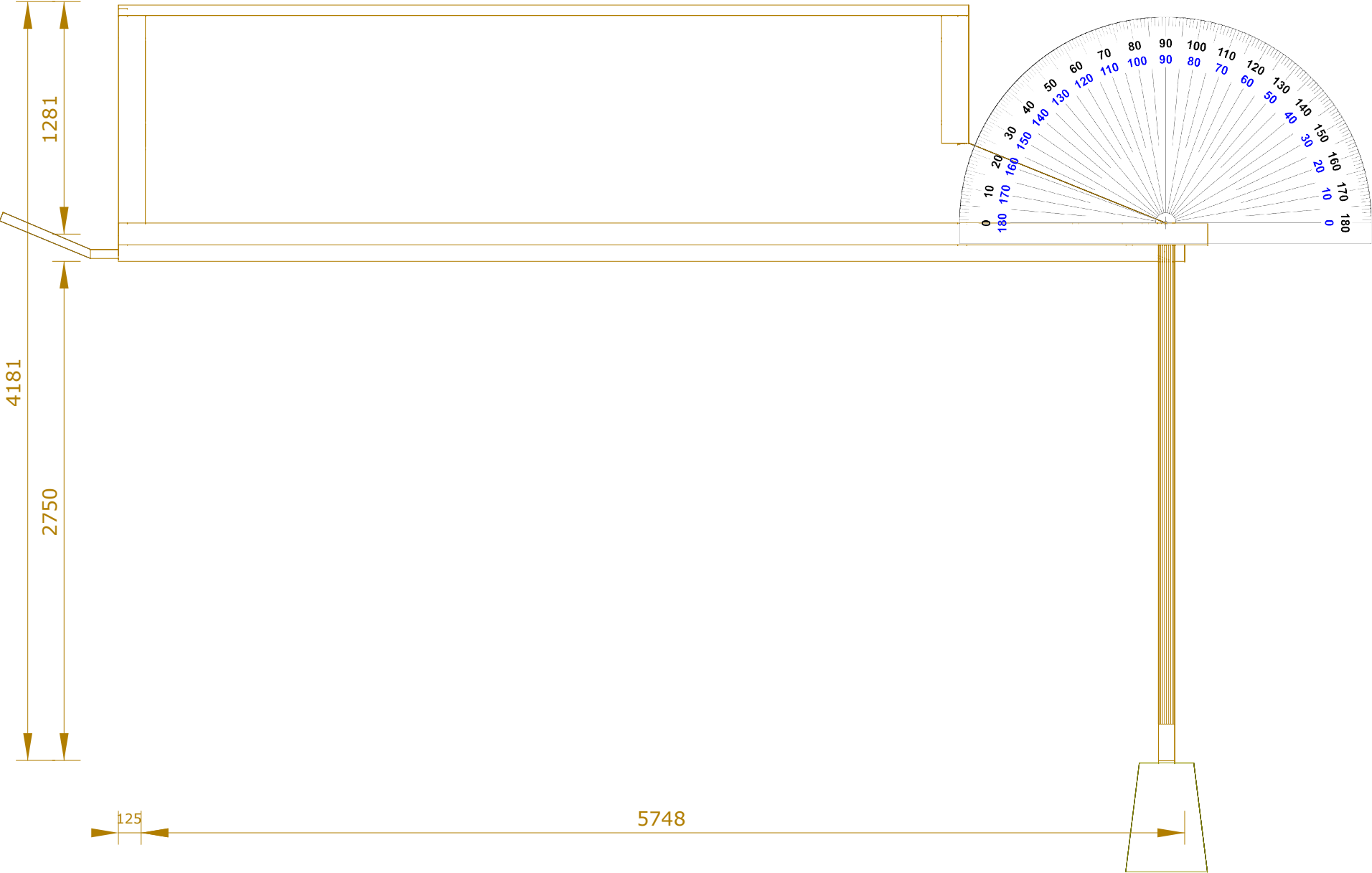


Scale 1:200

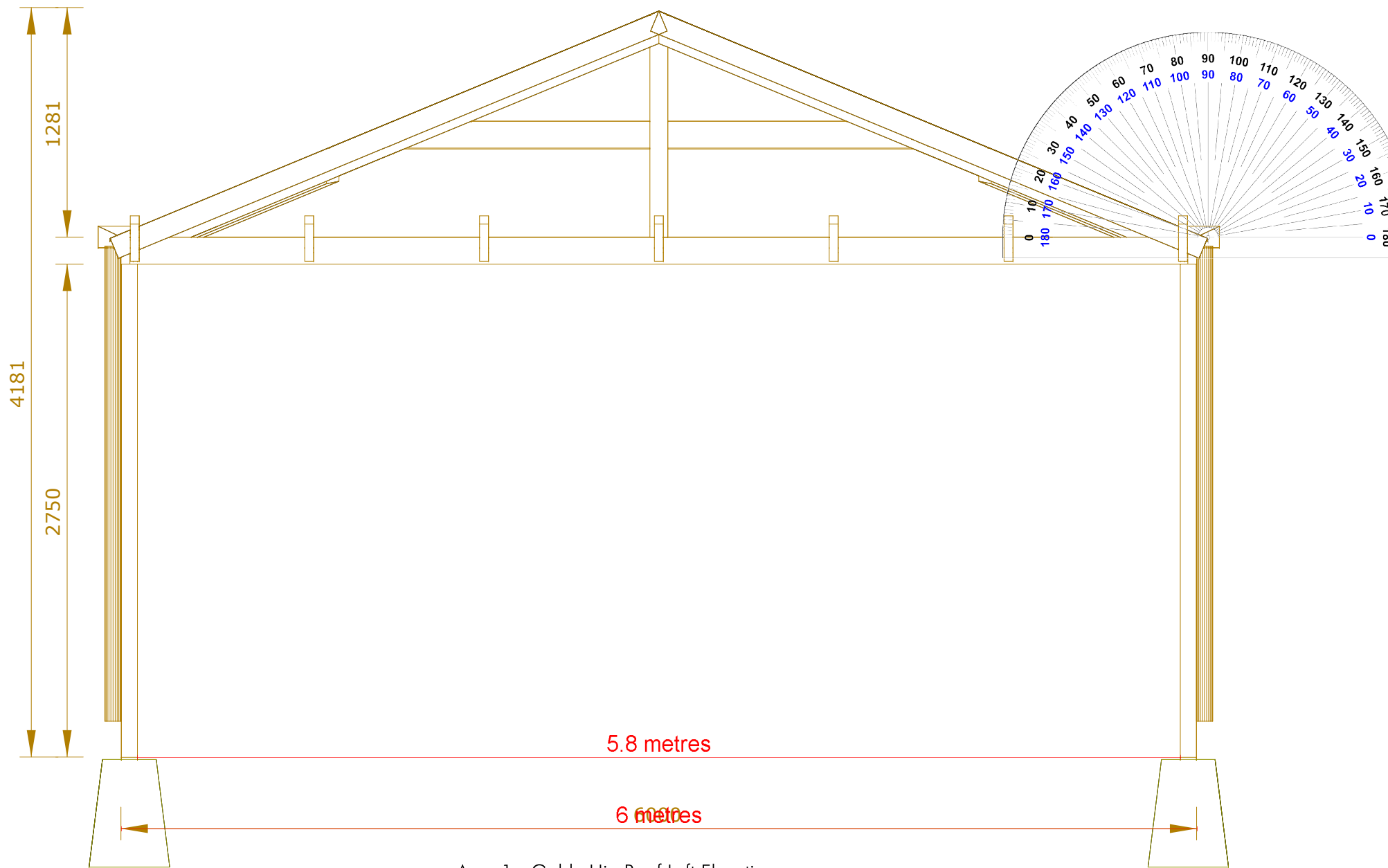


NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE
CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY
ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.





Area 1 - Gable Hip Roof Front Elevation



Area 1 - Gable Hip Roof Left Elevation