

25-1355 PLANNING DWGS

PROPOSED DEVELOPMENT: 2xTWO STOREY DWELLING
ADDRESS: 13 CARNARVON ST (BUTLER LANE) VICTORIA PARK
LOCAL GOVERNMENT: TOWN OF VICTORIA PARK
APPLICANT: [REDACTED]

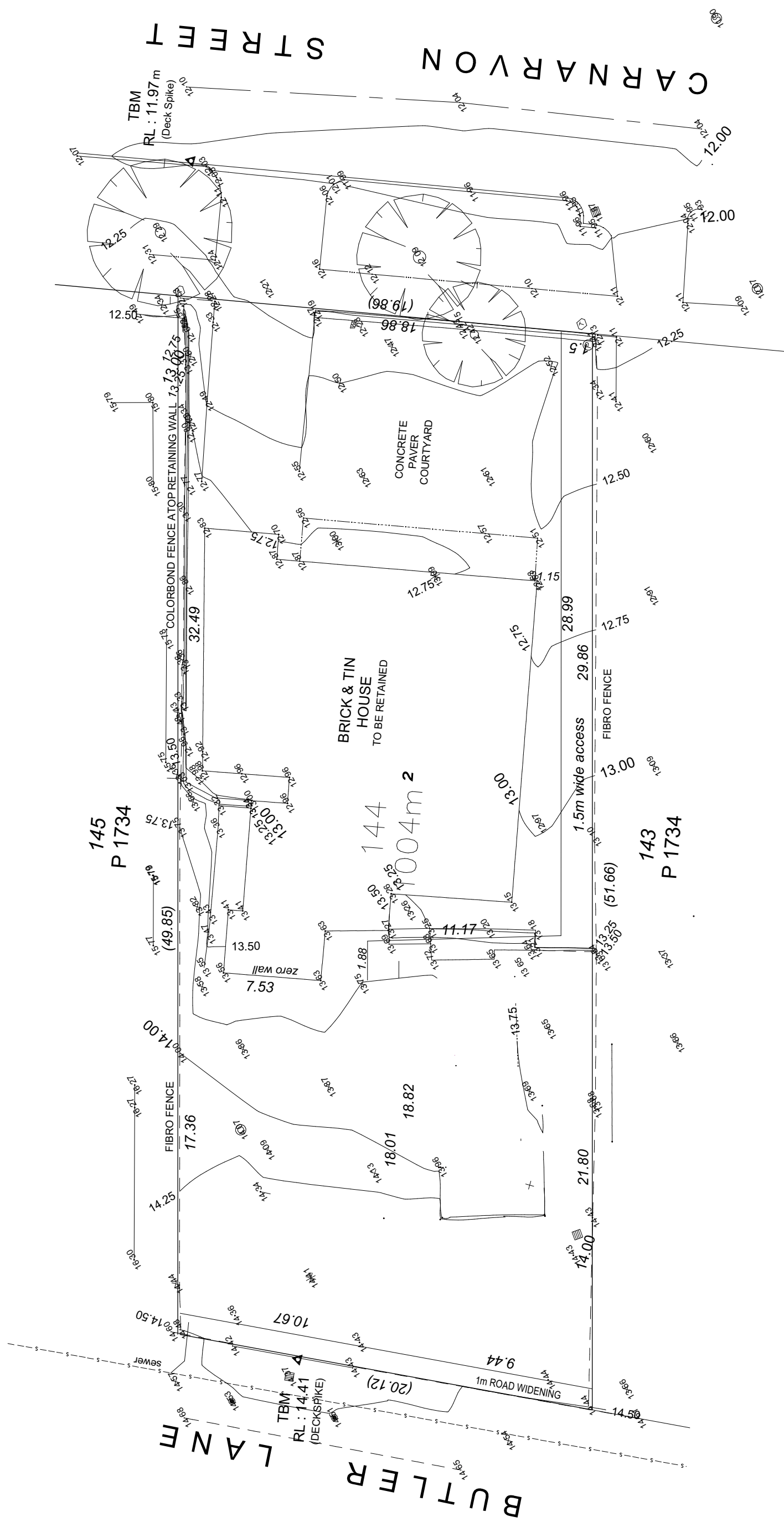


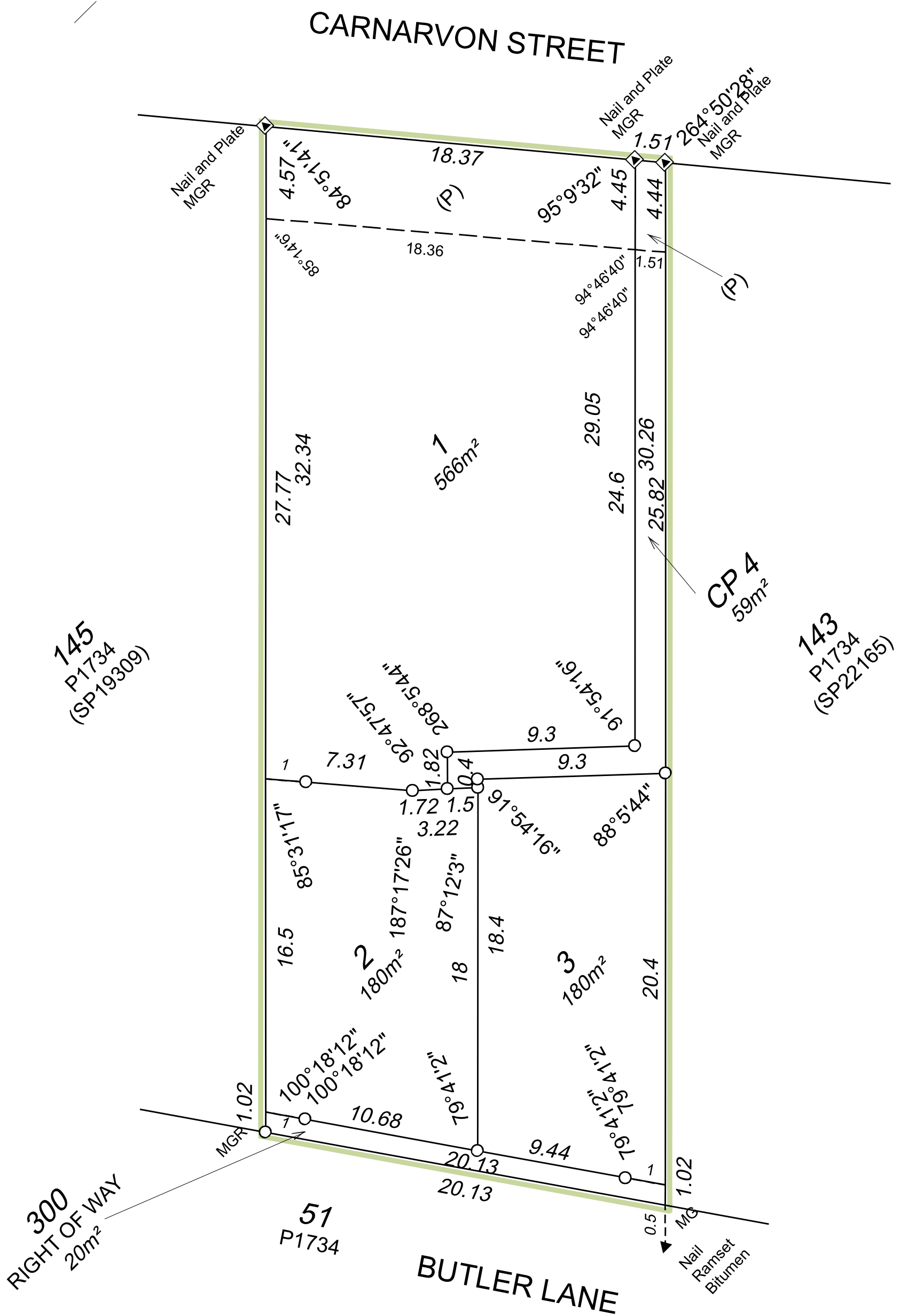
SHEET INDEX

- 1 COVER
- 2 ORIGINAL SITE PLAN
- 3 SITE SUBDIVISION
- 4 SITE PLAN
- 5 GF FLOOR PLAN
- 6 FF FLOOR PLAN
- 7 ELEVATIONS 1 & 2
- 8 ELEVATIONS 3 & 4
- 9 ELEVATIONS 5&6
- 10 PERSPECTIVES



BLEND
RESIDENTIAL DESIGNS





RE-PEG RECOMMENDED
PRIOR TO ANY NEW WORKS

POSSIBLE UNDERMINING TO EXISTING
RETAINING / SCREEN WALLS TO BE
REVIEWED BY ENGINEER

BANKING NOTE:
SOIL RETENTION TO ALL EMBANKMENTS IS
BY OWNER IN ACCORDANCE WITH
NCC TABLE 3.1.1.1

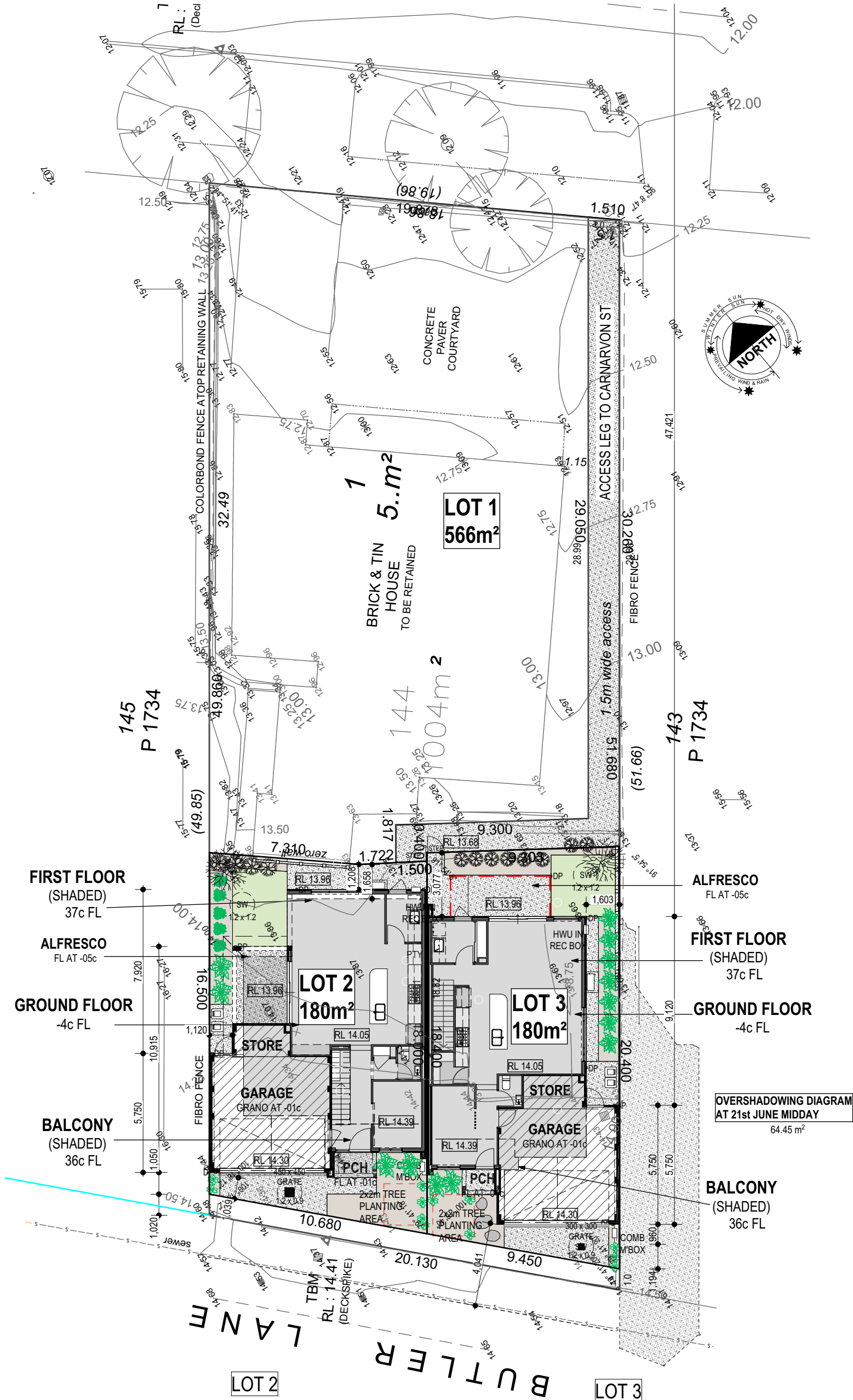
TERMITE TREATMENT IS TO BE IN
ACCORDANCE WITH THE NATIONAL
CONSTRUCTION CODE 2019

RETAINING WALL NOTE:
HEIGHTS NOTED ARE NOMINAL ONLY & MUST
BE ADJUSTED TO SUIT ACTUAL SITE LEVELS

REFER TO ENGINEERS DRAWINGS FOR
STRUCTURAL DETAILS & LAYOUT

REFER TO SLAB SETOUT PLAN FOR SLAB,
PRE-LAYS & WET AREA SETOUT

PLUMBER NOTE:
REFLUX VALVE TO INTERNAL SEWER LINE



LOT 2
SITE COVER
R40 = 65% SITE COVER
LOT 2 180m²
SITE COVER 113.01m² = 62%
SOFTSCAPING
SOFTSCAPING 15% MIN
LOT 2 180m²
SOFTSCAPING 31.68m² = 17.6%
SOFTSCAPING TO
FRONT S/BACK AREA
SOFTSCAPING 50% MIN
LOT 2 FRONT SETBACK AREA 25m²
SOFTSCAPING 12.31m² = 49.2%
PRIMARY GARDEN AREA
LOT 161-190m² - 30m²
PGA = 30.47m² MIN 3m WIDE
COVERED AREA LESS THAN 1/3

Soak Well Type	No.
SW 1200x900	1
SW 1200x1200	1
Total Capacity	2.4 m3
Roof Area GF	30.6 m2
Paved Area	30.7 m2
Roof Area UF	104.9 m2
Total Area	166.2 m2
Capacity Required (Area x 0.0131)	2.2 m3
Extra Capacity Provided	0.2 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.

LOT 3
SITE COVER
R40 = 65% SITE COVER
LOT 3 180m²
SITE COVER 114.54m² = 63.6%
SOFTSCAPING
SOFTSCAPING 15% MIN
LOT 3 180m²
SOFTSCAPING 34.07m² = 18.9%
SOFTSCAPING TO
FRONT S/BACK AREA
SOFTSCAPING 50% MIN
LOT 2 FRONT S'BACK AREA 20.8m²
SOFTSCAPING 10.86m² = 52%
PRIMARY GARDEN AREA
LOT 161-190m² - 30m²
PGA = 30m² MIN 3m WIDE
COVERED AREA LESS THAN 1/3

Soak Well Type	No.
SW 1200x900	1
SW 1200x1200	1
Total Capacity	2.4 m3
Roof Area GF	33.0 m2
Paved Area	27.6 m2
Roof Area UF	102.0 m2
Total Area	162.6 m2
Capacity Required (Area x 0.0131)	2.1 m3
Extra Capacity Provided	0.3 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.

NOTE: TO SCALE ON A3 SHEET

SHEET No: 4 OF 10

REV D

JOB No: 25-1355

CLIENT:

13 CARNARVON ST (BUTLER LANE) VICTORIA PARK

TOWN OF VICTORIA PARK

OWNER

DATE

OWNER

DATE

DESIGNER

DATE

DRAWING NAME: SITE PLAN

DRAWN BY: BLEND

DATE DRAWN: JUNE/ 2025

SCALE: 1:200

The contractor / builder / client is responsible for setting out and checking all levels and measurements on site. All dimensions and other construction related information are to be checked and verified by the owner / builder / client and any discrepancies in this document must be resolved before ordering or commencement of any works.

These plans have been prepared for exclusive use by the client of Blend Residential Designs for the purpose expressly notified to the designer. The plans shall remain the sole property of Blend Residential Designs and must not be given, lent, resold or otherwise disposed of copied without the permission in writing from Blend Residential Designs.

Blend Pty (08) 6465 4425
A PO Box 1124 Canning Bridge, Applecross WA
E: info@blenddesigns.com.au
W: www.blenddesigns.com.au



PLAN AREAS LOT 2

ID	AREA LOT 2	M²	PERIM.
01	GROUND FLOOR	75.59	39.44
02	GARAGE	32.88	23.96
02	STORE	4.45	8.76
03	PCH	2.45	6.48
04	ALFRESCO	9.82	12.72
		125.19 m²	91.36 m

PLAN AREAS LOT 2 FF

ID	AREAS LOT 2	M²	PERIM.
05	FIRST FLOOR	88.44	39.40
06	BALCONY	6.54	12.24
		94.99 m²	51.64 m

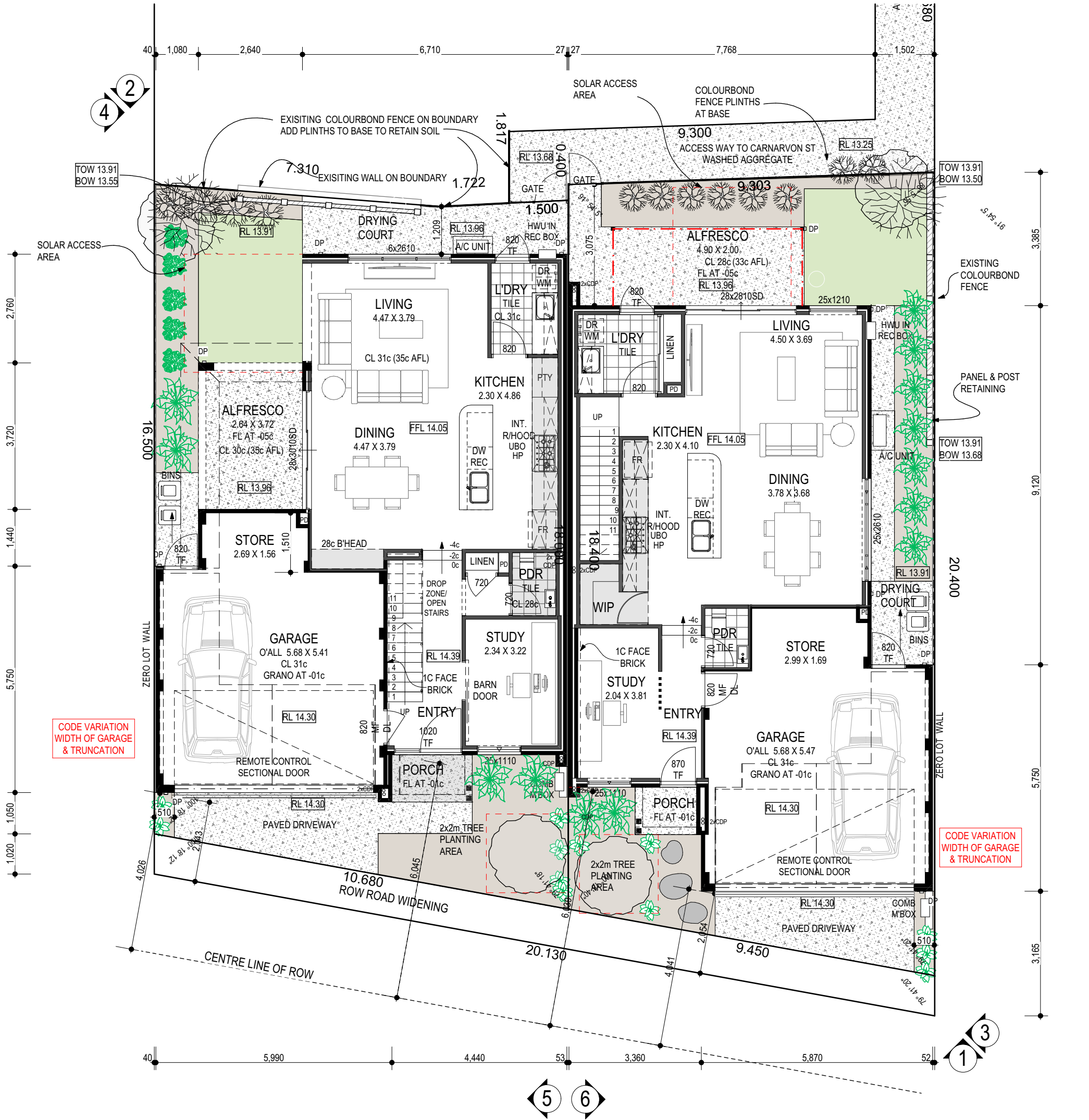
PLAN AREAS LOT 3

ID	AREA LOT 3	M²	PERIM.
01	GROUND FLOOR	76.79	41.50
02	GARAGE	32.67	23.24
02	STORE	5.12	9.44
03	PCH	2.12	5.94
04	ALFRESCO	8.00	12.00
		124.70 m²	92.12 m

PLAN AREAS LOT 3 FF

ID	AREA LOT 3	M²	PERIM.
06	BALCONY	6.33	11.75
06	FIRST FLOOR	85.49	38.60
		91.82 m²	50.35 m

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES
LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.
CEILINGS THROUGHOUT 31c OR OTHERWISE NOTED
DESIGN CREATED TO SUIT 1c FACE BRICKS
EXPOSED RAFTERS TO UPPER FLOOR EAVES
DOUBLE GLAZED WINDOWS WITH COMMERCIAL FRAMES
SEWER CONNECTION LEVEL AND PROPOSED HOUSE FFL ARE TO BE CHECKED BY A LIC. PLUMBER AND ANY ISSUES RELATING TO THE LEVELS OR FUNCTION OF THE PLUMBING ARE TO BE REPORTED TO BLEND RESIDENTIAL DESIGNS PRIOR TO CONSTRUCTION.
EXTERNAL LIGHT TO GARAGE AND PORCH TO COMPLY WITH COUNCIL REQUIREMENTS
STREET NUMBER TO BE POSITIONED FACING ROW TO COMPLY WITH COUNCIL REQUIREMENTS



The contractor / builder / client is responsible for setting out and checking all levels and measurements on site. All dimensions and other construction related information are to be checked and verified by the owner / builder / client and any discrepancies in this document must be resolved before ordering or commencement of any works.

These plans have been prepared for exclusive use by the client of Blend Residential Designs for the purpose expressly notified to the designer. The plans shall remain the sole property of Blend Residential Designs and must not be given, lent, resold or otherwise disposed of or copied without the permission in writing from Blend Residential Designs.

Blend Ph: (08) 6465 4425
A: PO Box 1124 Canning Bridge, Applecross WA

E: info@blenddesigns.com.au
W: www.blenddesigns.com.au

DRAWING NAME:
GF FLOOR PLAN

OWNER DATE

OWNER DATE

DESIGNER DATE

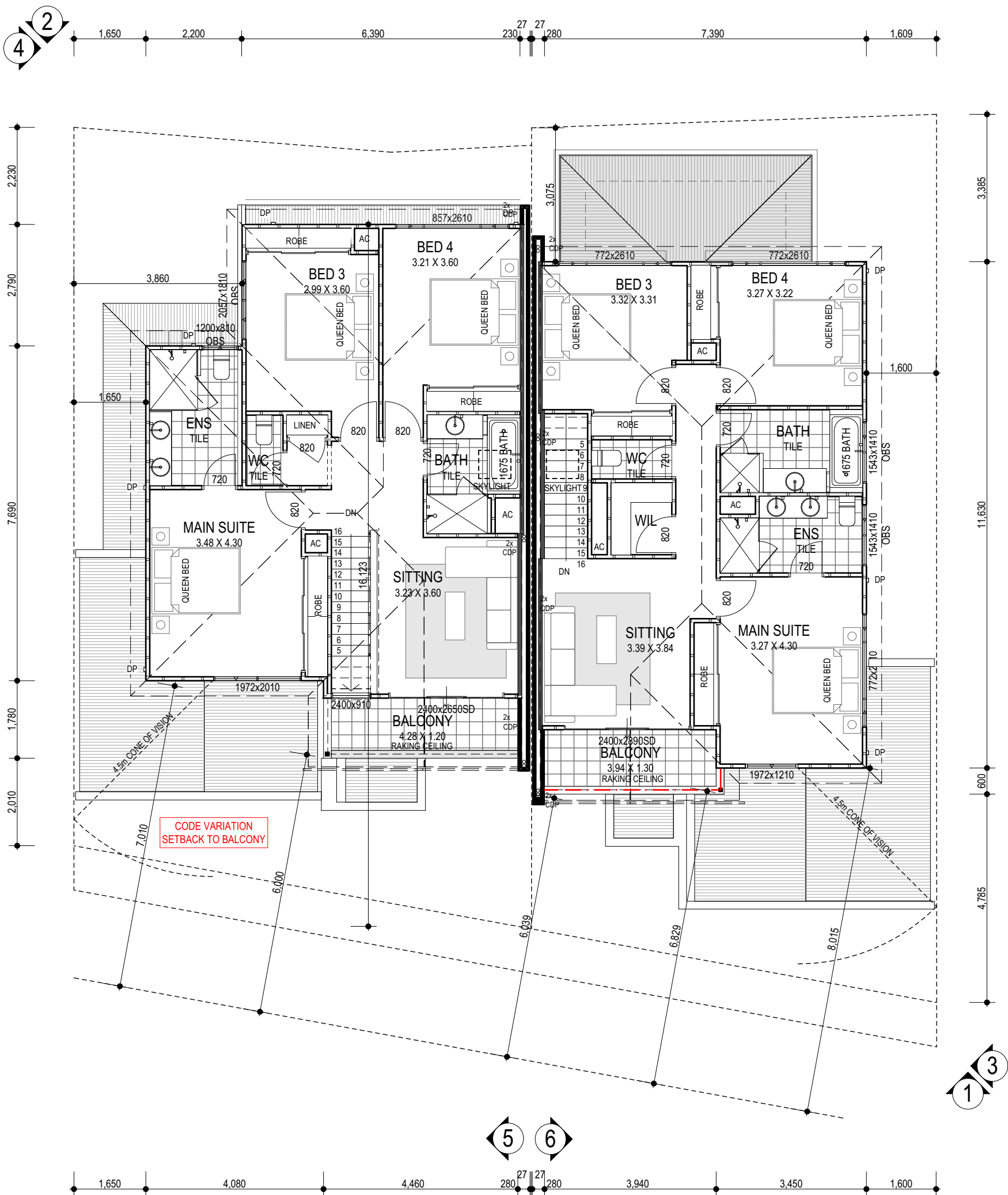
SHEET No: 5 OF 10
REVISION: REV D
JOB No: 25-1355

CLIENT: [REDACTED]
ADDRESS: 13 CARNARVON ST (BUTLER LANE) VICTORIA PARK
TOWN OF VICTORIA PARK

DRAWN BY: BLEND
DATE DRAWN: JUNE/ 2025
SCALE: 1:100, 1:1

NOTE: TO SCALE ON A3 SHEET

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES
LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.
CEILINGS THROUGHOUT 31c OR OTHERWISE NOTED
DESIGN CREATED TO SUIT 1c FACE BRICKS
EXPOSED RAFTERS TO UPPER FLOOR EAVES
DOUBLE GLAZED WINDOWS WITH COMMERCIAL FRAMES
SEWER CONNECTION LEVEL AND PROPOSED HOUSE FFL ARE TO BE CHECKED BY A LIC. PLUMBER AND ANY ISSUES RELATING TO THE LEVELS OR FUNCTION OF THE PLUMBING ARE TO BE REPORTED TO BLEND RESIDENTIAL DESIGNS PRIOR TO CONSTRUCTION.
EXTERNAL LIGHT TO GARAGE AND PORCH TO COMPLY WITH COUNCIL REQUIREMENTS
STREET NUMBER TO BE POSITIONED FACING ROW TO COMPLY WITH COUNCIL REQUIREMENTS



The contractor / builder / client is responsible for setting out and checking all levels and measurements on site. All dimensions and other construction related information are to be checked and verified by the owner / builder / client and any discrepancies in this document must be resolved before ordering or commencement of any works.

These plans have been prepared for exclusive use by the client of Blend Residential Designs for the purpose expressly notified to the designer. The plans shall remain the sole property of Blend Residential Designs and must not be given, lent, resold or otherwise disposed or copied without the permission in writing from Blend Residential Designs.

Blend Ph: (08) 6465 4425
A: PO Box 1124 Canning Bridge, Applecross WA

E: info@blendresidentialdesigns.com.au
W: www.blendresidentialdesigns.com.au

DRAWING NAME:
FF FLOOR PLAN

OWNER DATE

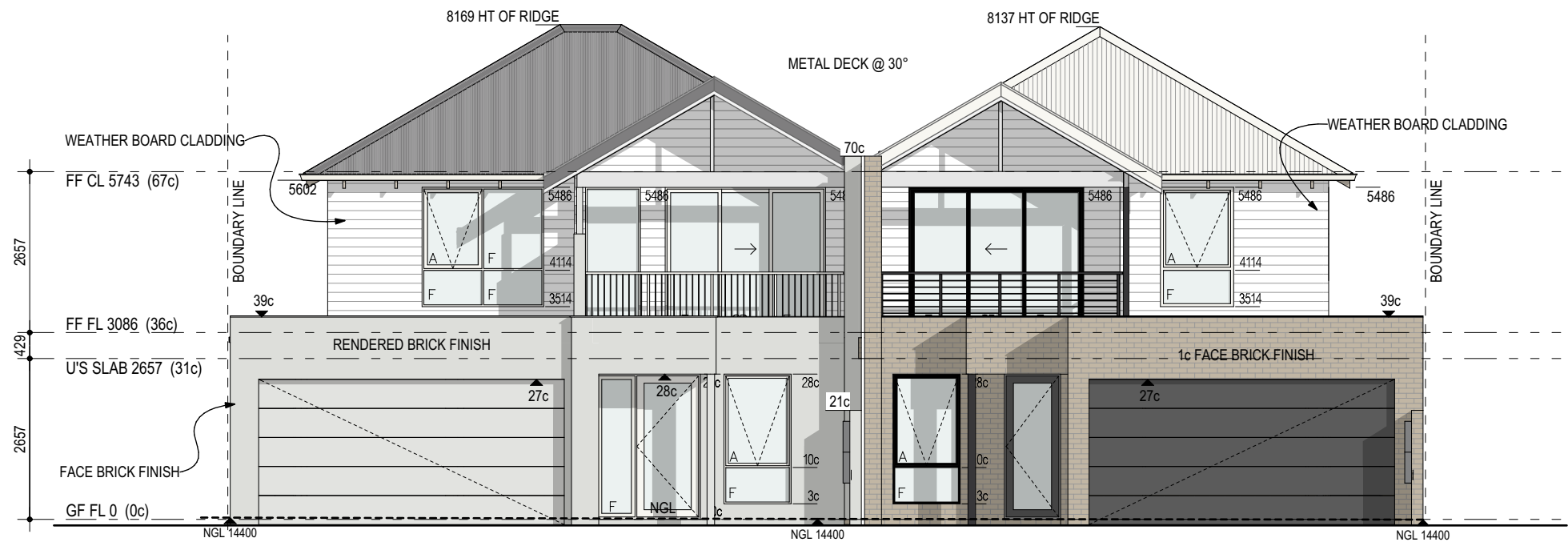
OWNER DATE

DESIGNER DATE

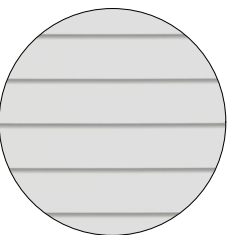
SHEET No: 6 OF 10	REVISION: REV D	JOB No: 25-1355
CLIENT: [REDACTED]		
ADDRESS: 13 CARNARVON ST (BUTLER LANE) VICTORIA PARK TOWN OF VICTORIA PARK		
DRAWN BY: BLEND	DATE DRAWN: JUNE/ 2025	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET

THIS DESIGN MAY BE SUBJECT TO FURTHER
CHANGES DUE TO ADDITIONAL REQUIREMENTS
IMPOSED BY LOCAL AUTHORITIES



ELEVATION 1
1:100



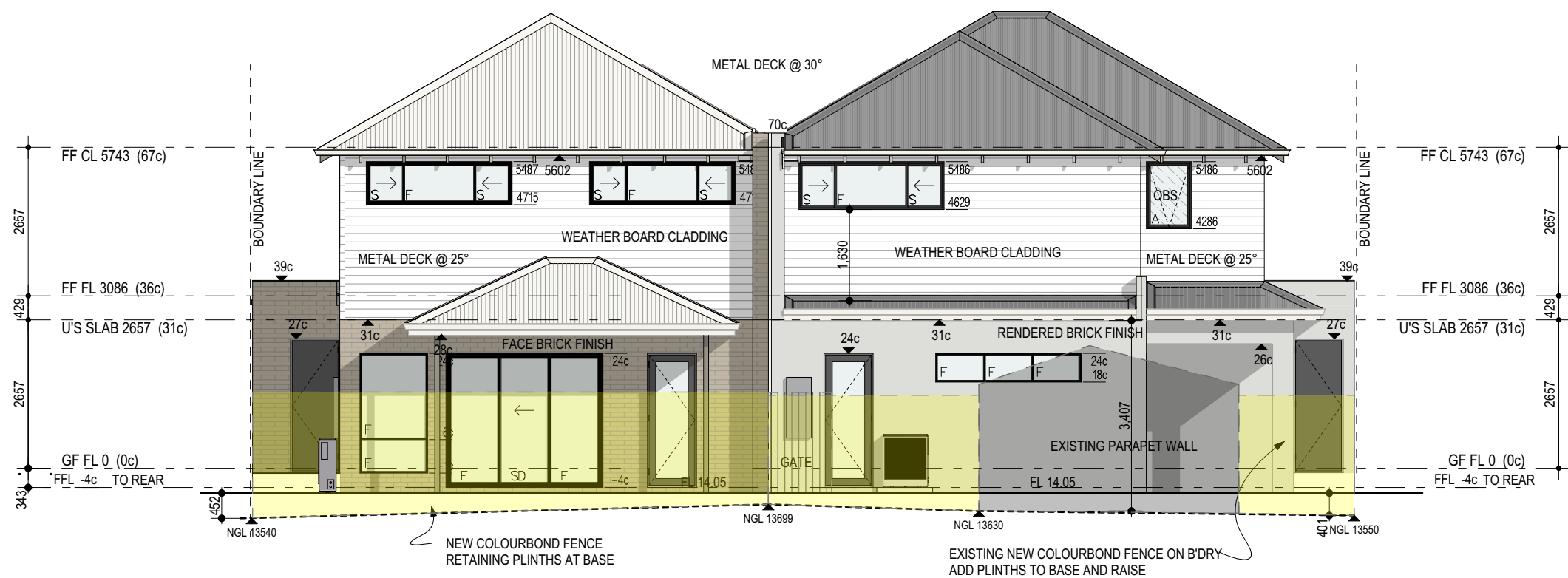
WEATHERBOARD CLADDING



FACE BRICK- LOT 3



RENDER FINISH-LOT 2



ELEVATION 2
1:100



The contractor / builder / client is responsible for setting out and checking all levels and measurements on site. All dimensions and other construction related information are to be checked and verified by the owner / builder / client and any discrepancies in this document must be resolved before ordering or commencement of any works.

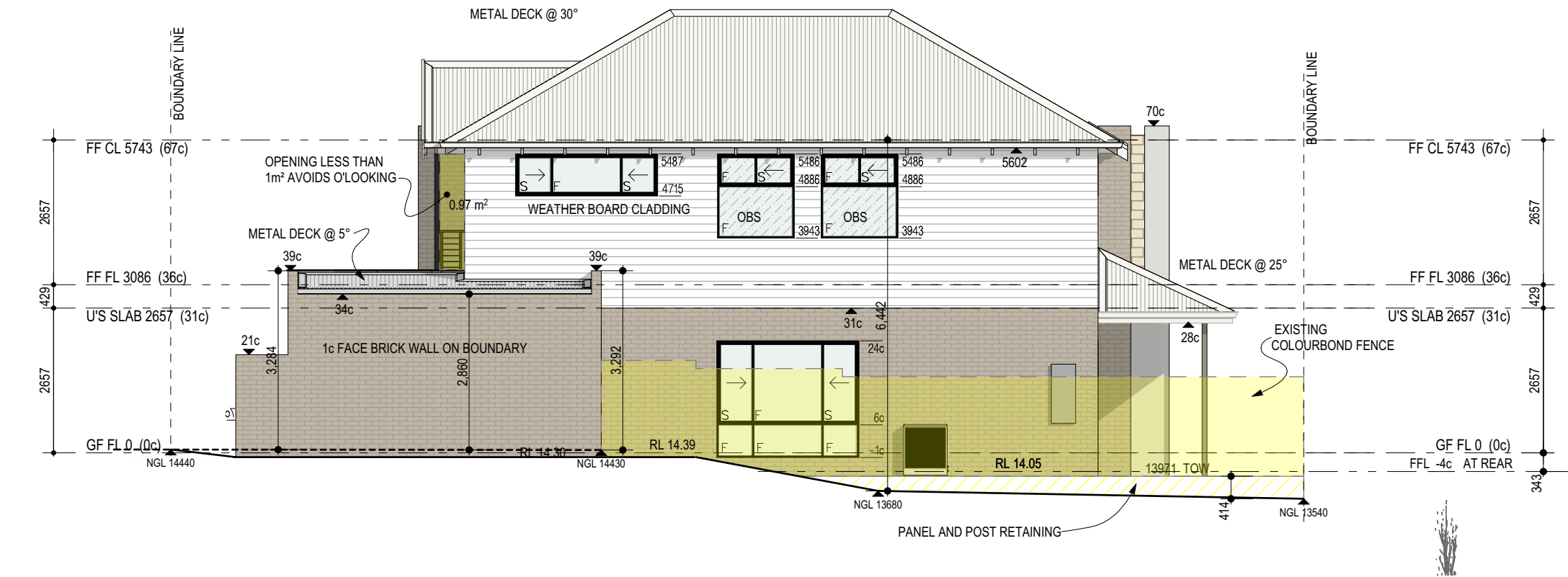
These plans have been prepared for exclusive use by the client of Blend Residential Designs for the purpose expressly notified to the designer. The plans shall remain the sole property of Blend Residential Designs and must not be given, lent, resold or otherwise disposed of or copied without the permission in writing from Blend Residential Designs.

Blend Pty: (08) 6465 4425
A: PO Box 1124 Canning Bridge, Applecross WA
E: info@blenddesigns.com.au
W: www.blenddesigns.com.au

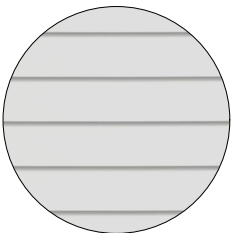
DRAWING NAME: ELEVATIONS 1 & 2		SHEET No: 7 OF 10	REVISION: REV D	JOB No: 25-1355
OWNER	DATE	CLIENT: [REDACTED]		
OWNER	DATE	ADDRESS: 13 CARNARVON ST (BUTLER LANE) VICTORIA PARK TOWN OF VICTORIA PARK		
DESIGNER	DATE	DRAWN BY: BLEND	DATE DRAWN: JUNE/ 2025	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET

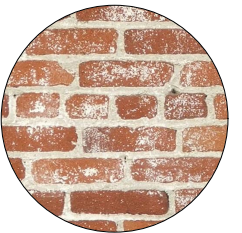
THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES



ELEVATION 3
1:100



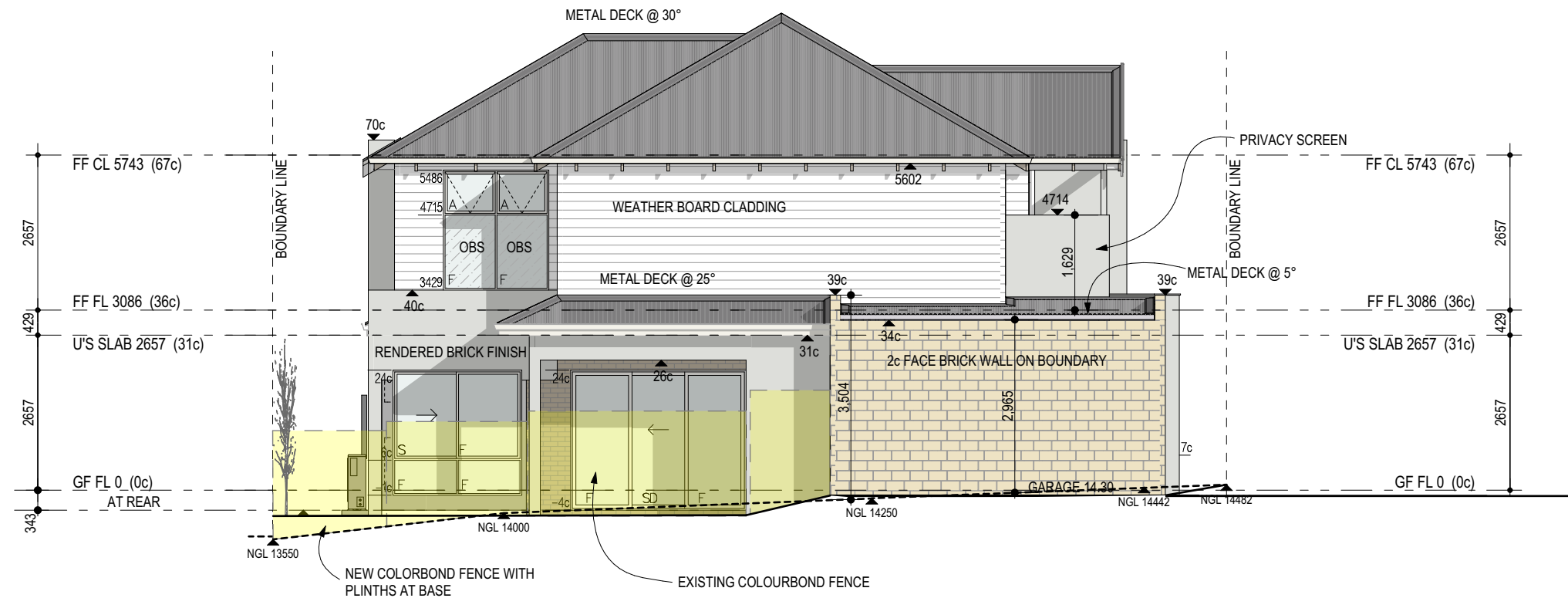
WEATHERBOARD CLADDING



FACE BRICK- LOT 3



RENDER FINISH-LOT 2



ELEVATION 4
1:100



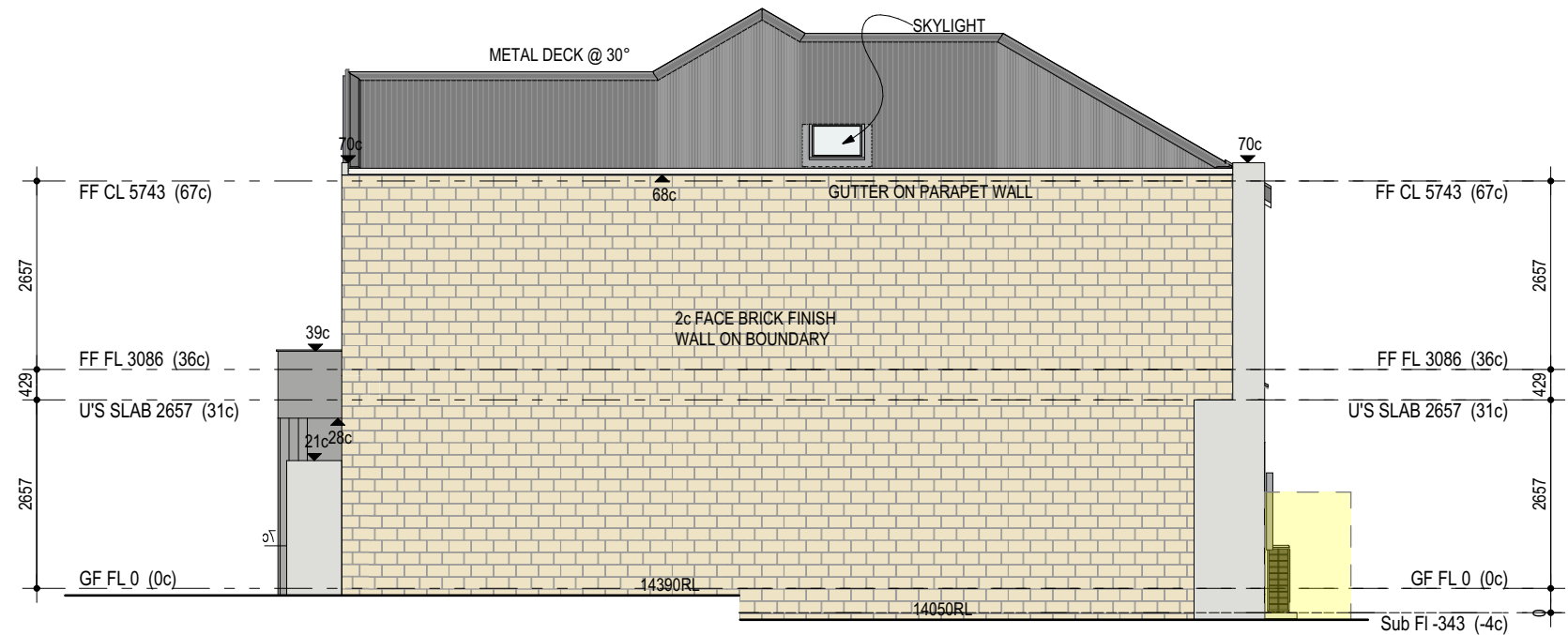
The contractor / builder / client is responsible for setting out and checking all levels and measurements on site. All dimensions and other construction related information are to be checked and verified by the owner / builder / client and any discrepancies in this document must be resolved before ordering or commencement of any works.

These plans have been prepared for exclusive use by the client of Blend Residential Designs for the purpose expressly notified to the designer. The plans shall remain the sole property of Blend Residential Designs and must not be given, lent, resold or otherwise disposed or copied without the permission in writing from Blend Residential Designs.

Blend Ph: (08) 6465 4425
A: PO Box 1124 Canning Bridge, Applecross WA
E: info@blenddesigns.com.au
W: www.blenddesigns.com.au

DRAWING NAME: ELEVATIONS 3 & 4		SHEET No: 8 OF 10	REVISION: REV D	JOB No: 25-1355
OWNER	DATE	CLIENT: [REDACTED]		
OWNER	DATE	ADDRESS: 13 CARNARVON ST (BUTLER LANE) VICTORIA PARK TOWN OF VICTORIA PARK		
DESIGNER	DATE	DRAWN BY: BLEND	DATE DRAWN: JUNE/ 2025	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET



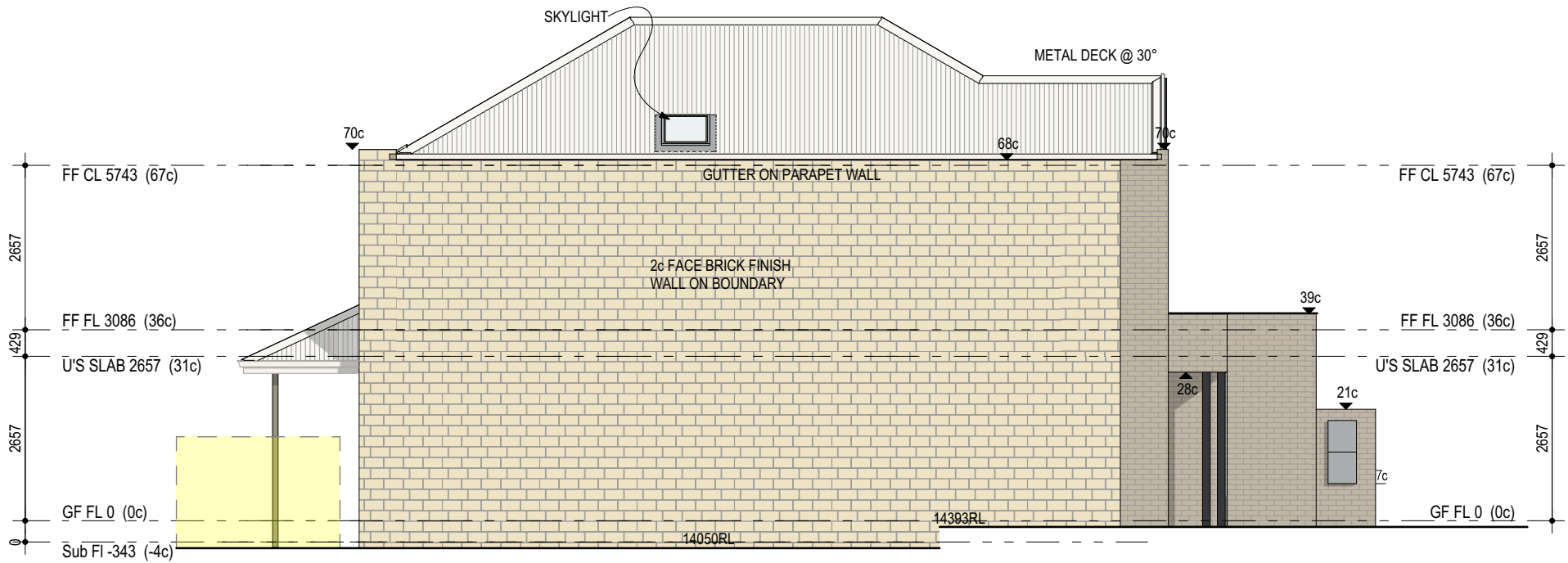
5 ELEVATION 5



WEATHERBOARD CLADDING



FACE BRICK



6 ELEVATION 6



<p>The contractor / builder / client is responsible for setting out and checking all levels and measurements on site. All dimensions and other construction related information are to be checked and verified by the owner / builder / client and any discrepancies in this document must be resolved before ordering or commencement of any works.</p> <p>These plans have been prepared for exclusive use by the client of Blend Residential Designs for the purpose expressly notified to the designer. The plans shall remain the sole property of Blend Residential Designs and must not be given, lent, resold or otherwise disposed or copied without the permission in writing from Blend Residential Designs.</p> <p>Blend Ph: (08) 6465 4425 A: PO Box 1124 Canning Bridge, Applecross WA</p> <p>E: info@blenddesigns.com.au W: www.blenddesigns.com.au</p>		DRAWING NAME:		SHEET No:	REVISION:	JOB No:
		PERSPECTIVES		10 OF 10	REV D	25-1355
		OWNER		CLIENT:		
		OWNER		ADDRESS:		
		DESIGNER		DRAWN BY:	DATE DRAWN:	SCALE:
				BLEND	JUNE/ 2025	1:167.92

NOTE: TO SCALE ON A3 SHEET