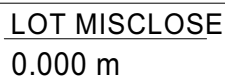




LEGEND		POWER DOME
		POWER POLE
		PHONE PITs
		WATER CONN.
	TP= 10.00	TOP PILLAR/POST
	TW= 10.00	TOP WALL
	TR= 10.00	TOP RETAINING
	TF= 10.00	TOP FENCE

NOTE:
APPROX. SEWER CLEARANCE LINE
(THIS LINE IS NOT AN EASEMENT)
SETBACKS MUST BE CONFIRMED
BY WATER CORP. BEFORE ANY
DESIGN WORK IS UNDERTAKEN.
THIS LINE IS NOT DEFINITIVE.



Scale 1:200



0 2 4 6 8

ELEC.	U/Ground
COMMS.	Yes
WATER	Yes
GAS	Check Alinta
SEWER	Yes
COASTAL	No

(Approximate Only
Confirm With Shire)

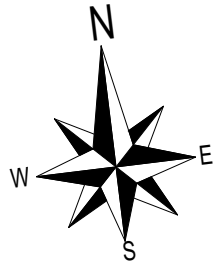
CLIENT: 

SITE ADDRESS:
**LOT 892 (#33A) REEN STREET
ST JAMES WA 6102**

SALES: SS	DRAWN: FC	CHECKED: SJA
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DATE: 19/04/2024 SCALE: 1:200	SHEET N°: 02 of 13
REVISION N°: 01	JOB N°: 2403002

+	POWER DOME
+	POWER POLE
+	PHONE FITS
+	WATER CONN.
TP= 10.00	TOP PILLAR/POST
TW= 10.00	TOP WALL
TR= 10.00	TOP RETAINING
TF= 10.00	TOP FENCE



SITE COVERAGE

ZONED	R20
% ALLOWED	50%
SITE AREA	450.12m ²
SITE COV. AREA	225.50m ²

SITE COV. = 50.1%

Soak Well Type	No.	
SW 1200x900	4	4.1 m3
Total Capacity		4.1 m3
Roof Area GF		259.8 m2
Paved Area		37.4 m2
Total Area		297.2 m2
Capacity Required (Area x 0.0125)		3.7 m3
Extra Capacity Provided		0.4 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

NOTE:
POSITIONS OF ALL SEWER MANHOLES, JUNCTIONS AND SEWER LINES ARE APPROXIMATE ONLY DUE TO LACK OF INFORMATION. PLEASE CONFIRM ALL POSITIONS WITH WATER CORP.

NOTE:
APPROXIMATE SEWER ONLY. CHECK WATER CORPORATION FOR JUNCTION INVERT AND DEPTH. SEWER JUNCTION UP 1.2. APPROX. INV. 7.8. APPROX. DEPTH 1.2. APPROX. SEWER ONLY. CHECK WATER CORP.

NOTE:
APPROX. SEWER CLEARANCE LINE (THIS LINE IS NOT AN EASEMENT) SETBACKS MUST BE CONFIRMED BY WATER CORP. BEFORE ANY DESIGN WORK IS UNDERTAKEN. THIS LINE IS NOT DEFINITIVE.

Proposed Panel + Post Retaining

Panel & Post Retaining (required)

CONCRETE NOTE:

SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN) & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

STORMWATER NOTE:

STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS.

SITE CLASSIFICATION : A
FOOTING DETAIL : D10
WIND CATEGORY : N1
CORROSION CLASS : R1

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

ELECTRICAL NOTE:

3 - PHASE POWER

LOCATION OF SERVICES

LOT MISCLOSE

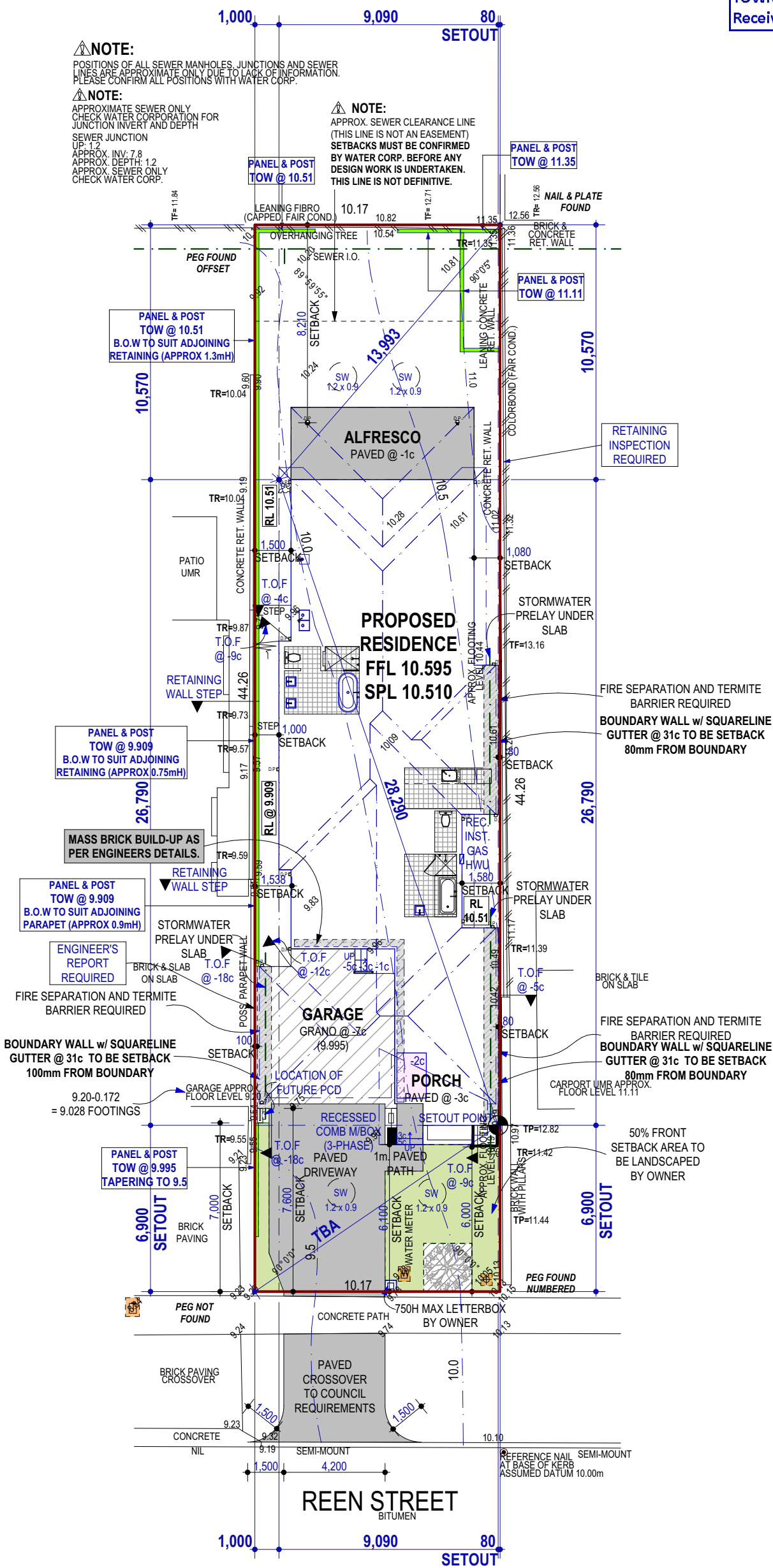
0.000 m

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

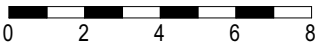
DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



Scale 1:200



COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park
Business Centre WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB #	558230	GPS	Lat: -32.004146 Long: 115.903158
CLIENT	Vale, Mark		
ADDRESS	#33A Reen Street	LOT	Lot 892 (DP 419462)
SUBURB	St James		
LGA	TOWN OF VICTORIA PARK	AREA	450m ²
DRAWN	T. Gill	DATE	23 Oct 23
		VOL.	2998
		FOL.	584
		SSA No	

ROADS	Bitumen
KERBS	Semi-Mount / Nil
FOOTPATH	Concrete
SOIL	Sand
DRAINAGE	Good
VEGETATION	Light Grass Cover

ELEC.	U/Ground
COMMS.	Yes
WATER	Yes
GAS	Check Alinta
SEWER	Yes
COASTAL	No

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :
OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:
REV: DESCRIPTION:
'1' CONTRACT DRAWINGS
'2'
'3'
'4'
'5'
'6'
'7'
'8'
'9'

INT: FC
DATE: 05.04.24

CLIENT:

SITE ADDRESS:

LOT 892 (#33A) REEN STREET
ST JAMES WA 6102

SALES: SS DRAWN: FC CHECKED: SJA

THE DUNE

SITE PLAN

DATE: 19/04/2024	SHEET N°:
SCALE: 1:200, 1:100	03 of 13
REVISION N°:	JOB N°:
01	2403002

SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN) & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

 - DENOTES 200x200 FOAM BLOCKOUT
FOR BATH WASTE

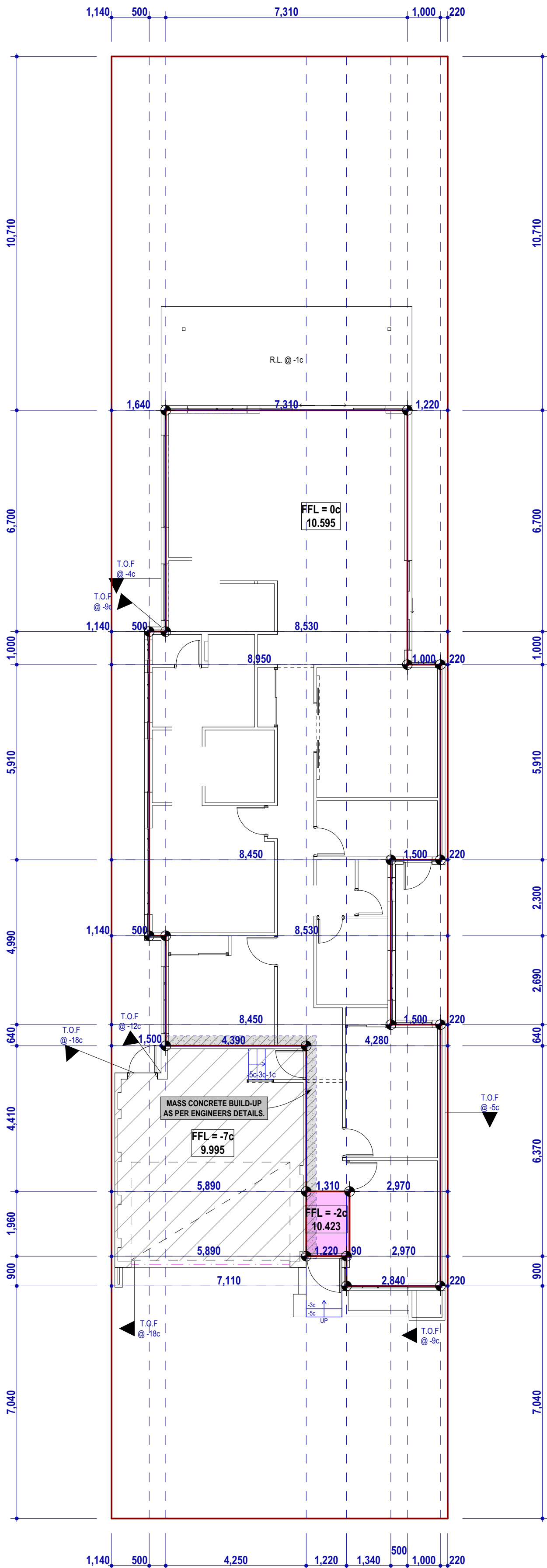
[illegible]

BUILDER DATE

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

JOB N°: 2403002

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OWNERDATE.....

BUILDERDATE.....

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BUILDERS REGISTRATION N° 13521
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OSBORNE PARK, WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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VARIATIONS:
REV: DESCRIPTION:
1" CONTRACT DRAWINGS
2"
3"
4"
5"
6"
7"
8"
9"

INT: DATE:
FC 05.04.24

CLIENT: [REDACTED]
SITE ADDRESS:
LOT 892 (#33A) REEN STREET
ST JAMES WA 6102
SALES: SS DRAWN: FC CHECKED: SJA

THE DUNE
SLAB SETOUT

DATE: 19/04/2024
SCALE: 1:100
REVISION N°: 01

SHEET N°:
05 of 13
JOB N°: 2403002

EXTERNAL WALLS CONSISTS OF 230mm WIDE
CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.
90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
(NO PLASTER)
EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN & SCULLERY 8" TOP UNDER WINDOW
FRAME. CUT B/WK DOWN TO SUIT 8" TOP SELECTION.
TOP OF PIER FTG @ -33c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
FRAME CONSTRUCTION
CONFORMING TO A.S. 1684. U.N.O

TRIM OUT CEILING JOISTS TO
550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR
OF RANGEHOOD FLUE

PLUMBER NOTE

DOWNPIPE & FLOOR WASTE LOCATIONS ARE
INDICATIVE ONLY & MAY CHANGE AT THE
DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER RECESS.

FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL
450W
ALL LINENS, BUILT-IN P'TYS, INTERNAL STORES
TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUPDS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES

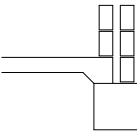
PROVIDE R4.0 INSULATION TO CEILING THRU'
OUT HOUSE AND GARAGE ONLY TO BCA REQ.

ALL CONSTRUCTION DWGS MUST BE STAMPED
'CONSTRUCTION ISSUE' IF DWGS ARE NOT
STAMPED. PLEASE CONTACT THE OFFICE
BEFORE PROCEEDING WITH ORDERING.
MANUFACTURE, OR ON-SITE CONSTRUCTION

UPPER FLOOR TO BE TIED DOWN TO GROUND
FLOOR AS PER ENGINEERS SPECIFICATION

BRICKLAYER NOTE:

EXTERNAL BRICKS TO BE 290 X
162 X 90 (1st external course to be 2
course bricks laid in THIRD BOND)



TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN
ACCORDANCE WITH PART 3.1.4 OF THE NCC -
BUILDING CODE OF AUSTRALIA AND
AS3660.1:2014

THROUGH THE USE OF TERMITE RESISTANT
MATERIALS
FOR ALL PRIMARY BUILDING ELEMENTS, AS
FOLLOWS:

*CONCRETE SLAB IN ACCORDANCE WITH
AS2870 &
AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN
ACCORDANCE
WITH AS1604 AND APPENDIX D OF
AS3660.1:2014

RENDER NOTE:

EXTENT OF RENDER TO FRONT ELEVATION AND
RETURNS ONLY.

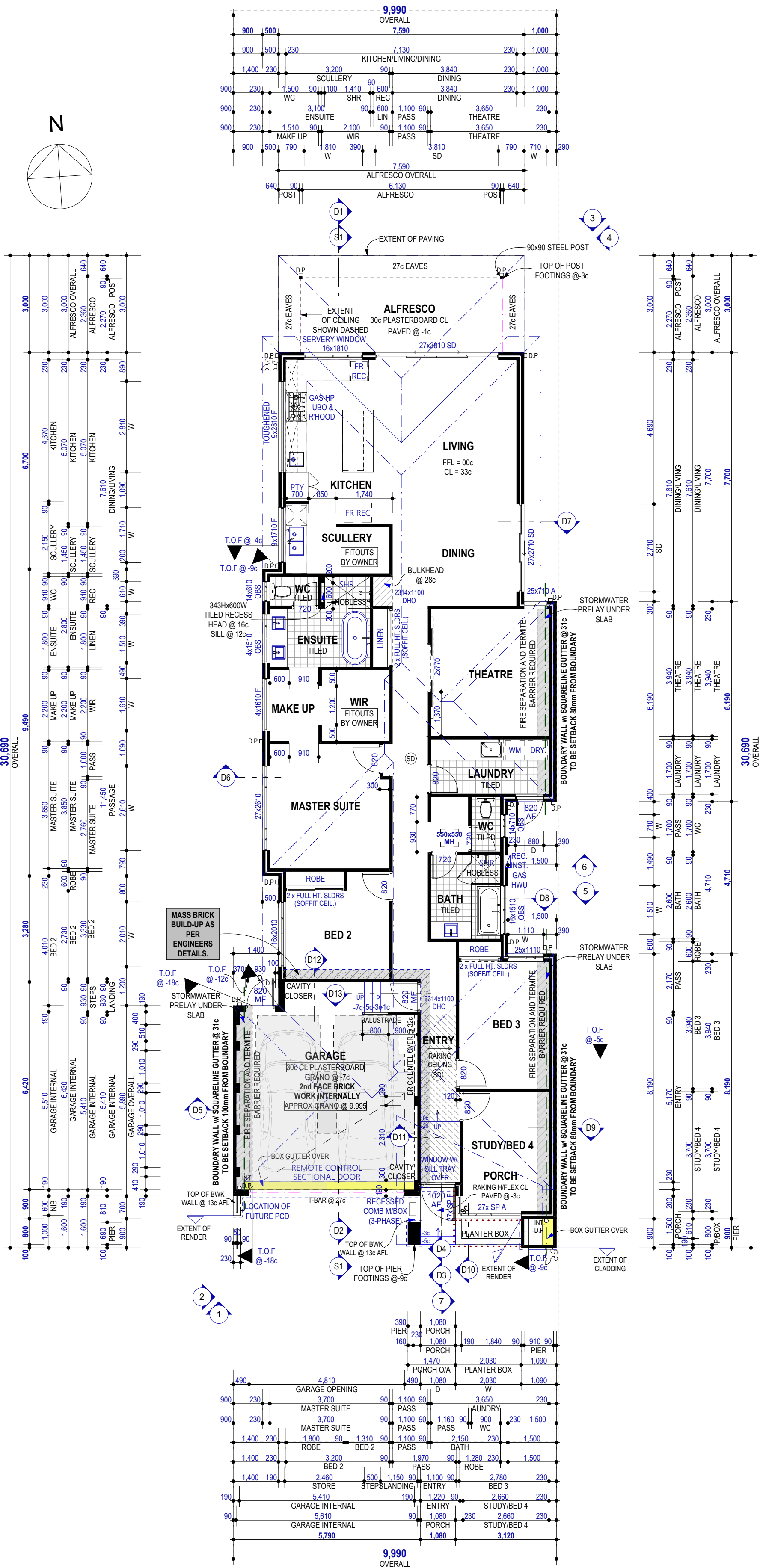
RENDER COLOUR 1:
RENDER COLOUR 2:
STONE CLADDING:
EXTENT OF SHOWN ON PLANS.

BUILD METHOD: CFBW
GROUND FLOOR: Double Brick, Slab on Ground
ROOF TYPE: Colorbond

SITE CLASSIFICATION : A
FOOTING DETAIL : D10
WIND CATEGORY : N1
CORROSION CLASS : R1

INTERNAL DOORS NOTE:

ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O



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OWNERDATE.....

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BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK, WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:
REV: DESCRIPTION:
CONTRACT DRAWINGS

INT: FC
DATE: 05.04.24

CLIENT:

SITE ADDRESS:
LOT 892 (#33A) REEN STREET
ST JAMES WA 6102

SALES: SS DRAWN: FC CHECKED: SJA

THE DUNE
FLOOR PLAN (A2)

DATE: 19/04/2024
SCALE: 1:100, 1:1
REVISION N°: 01

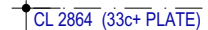
SHEET N°:
06 of 13

JOB N°: 2403002

AREAS		
Name	Area	Perimeter
HOUSE	189.446	76.560
GARAGE	35.843	24.820
ALFRESCO	22.770	21.180
PORCH	2.291	6.340
PLANTER BOX	1.624	5.660
TOTAL	251.974 m²	



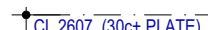
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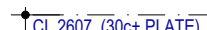
1:100



1:100



1:100



1:100



1:100



1:50

OWNERDATE.....

BUILDER DATE

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:
REV: DESCRIPTION:
'1' CONTRACT DRAWINGS

INT: DATE:
FC 05.04.24

CLIENT:

DATE:
05.04.24

05.04.24

CLIENT:

SITE ADDRESS:
**LOT 892 (#33A) REEN STREET
ST JAMES WA 6102**

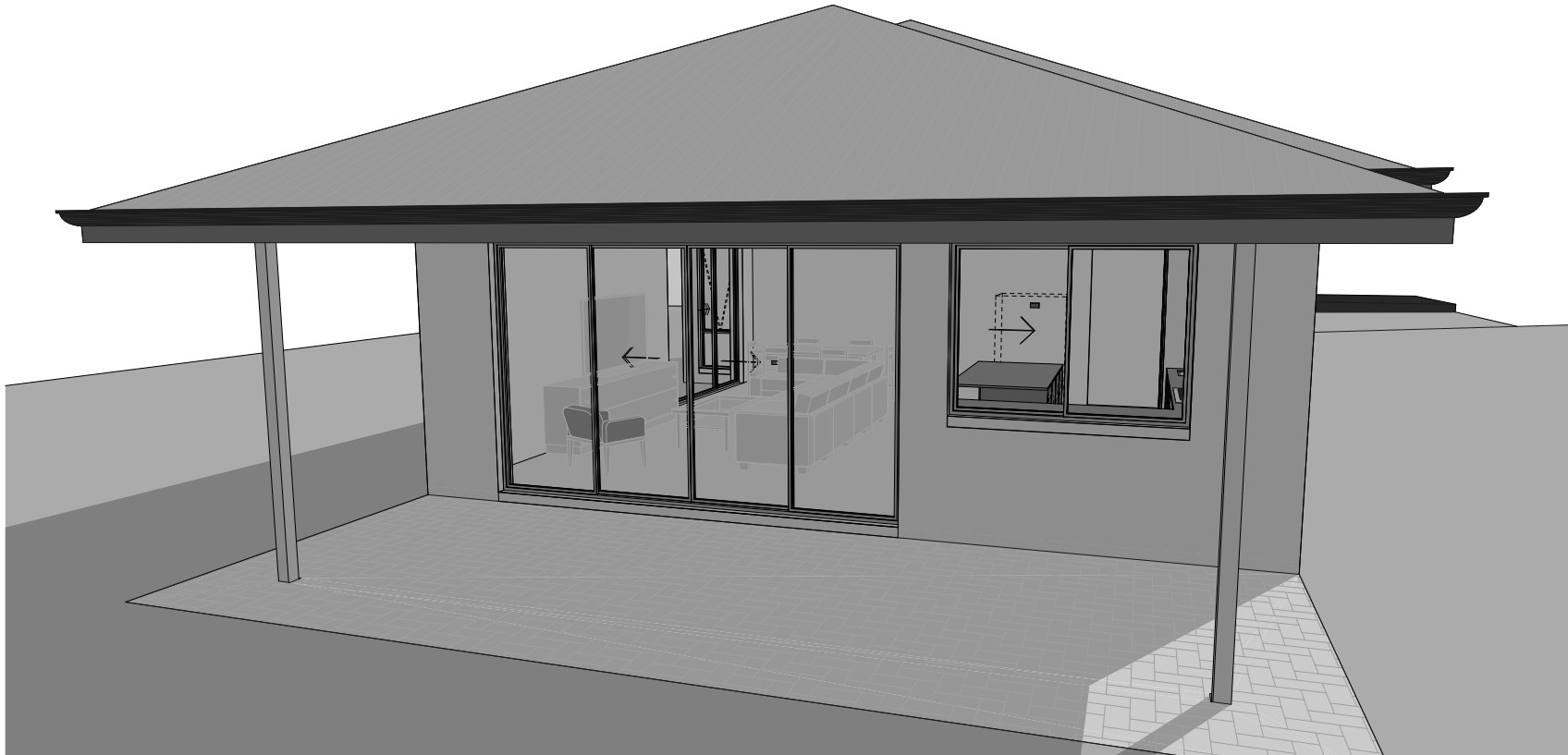
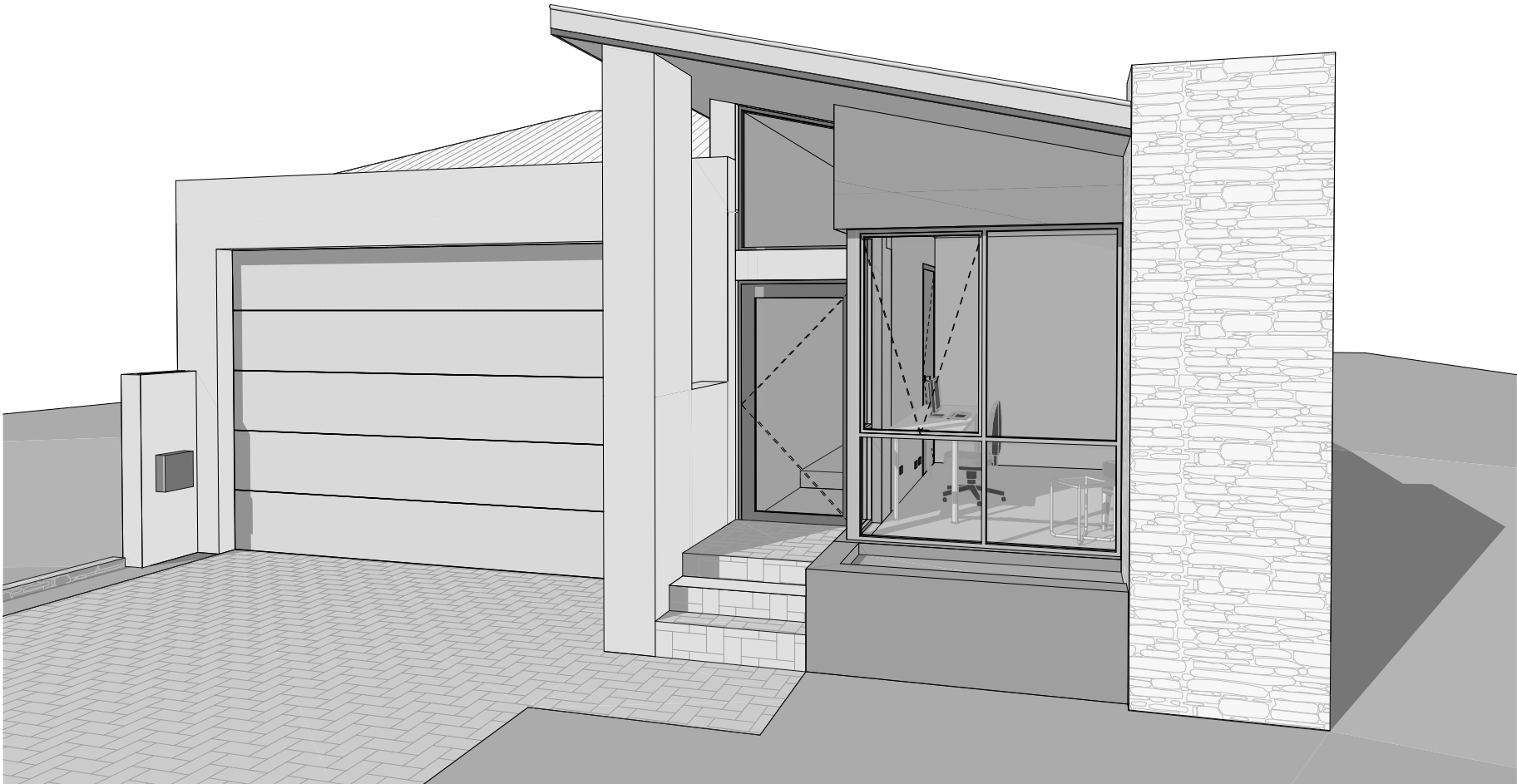
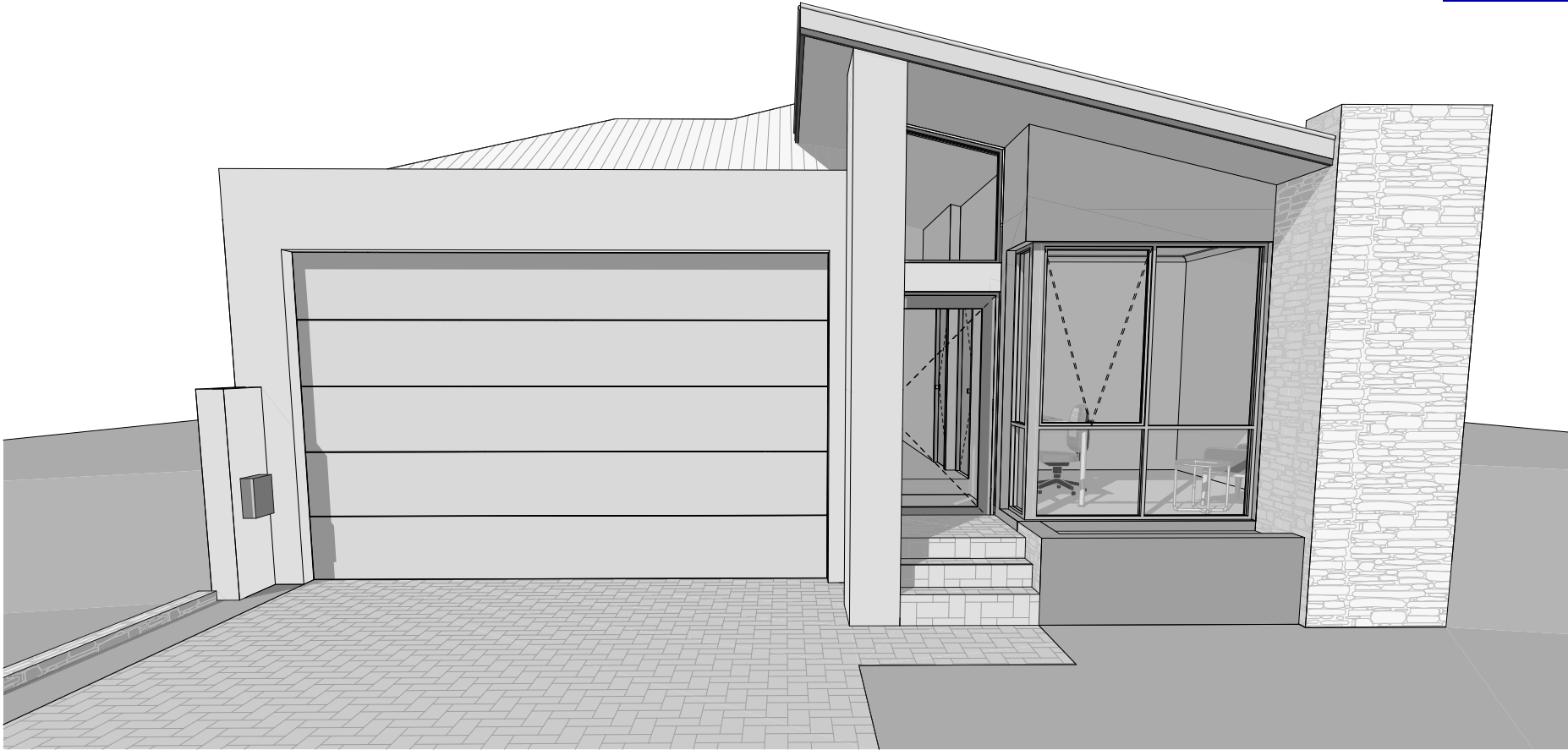
SALES: SS	DRAWN: EC	CHECKED: SJA
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DATE: 19/04/2024
SCALE: 1:100, 1:50

2	REVISION N°: 01
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SHEET N°:
07 of 13

JOB N°: 2403002



THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT :

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OWNERDATE.....

BUILDERDATE.....

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BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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VARIATIONS:
REV: DESCRIPTION:
'1' CONTRACT DRAWINGS
'2'
'3'
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'6'
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'9'

INT: DATE:
FC 05.04.24

CLIENT: [Redacted]

SITE ADDRESS:
**LOT 892 (#33A) REEN STREET
ST JAMES WA 6102**

SALES: SS DRAWN: FC CHECKED: SJA

**THE DUNE
PERSPECTIVES**

DATE: 19/04/2024 SHEET N°:
SCALE: 1:100 13 of 13
REVISION N°: 01 JOB N°: 2403002

PROPERTY	Date: 25/04/2024	Street no.: 33A
	Street name: Reen Street	
	Suburb: St James	Post code: 6102

Item	Colour	Material/profile	Make
ROOFING			
Roof cover	Modern White	Steel	Colorbond
Fascias/rafters	Modern White	Steel	Colorbond
Gutters	Modern White	Aluminum	Stratco
EXTERIOR WALLS & COLUMNS/PIERS			
Face brick	Beige	Brick	Midland Brick
Render	Modern White	Smooth	Midland Brick
Columns/piers	Modern White	Smooth	Midland Brick
Weatherboards (if applicable)			
PAVING/DRIVEWAY			
Main area	Light Grey	Brick	Midland Brick
Border	Light Grey	Brick	Midland Brick
FRONT FENCE			
Piers			
Fence infill			
OTHER			
Garage door	Modern White	Steel	B&D Garage Doors
Window frames*	Modern White	Timber	Jason Windows