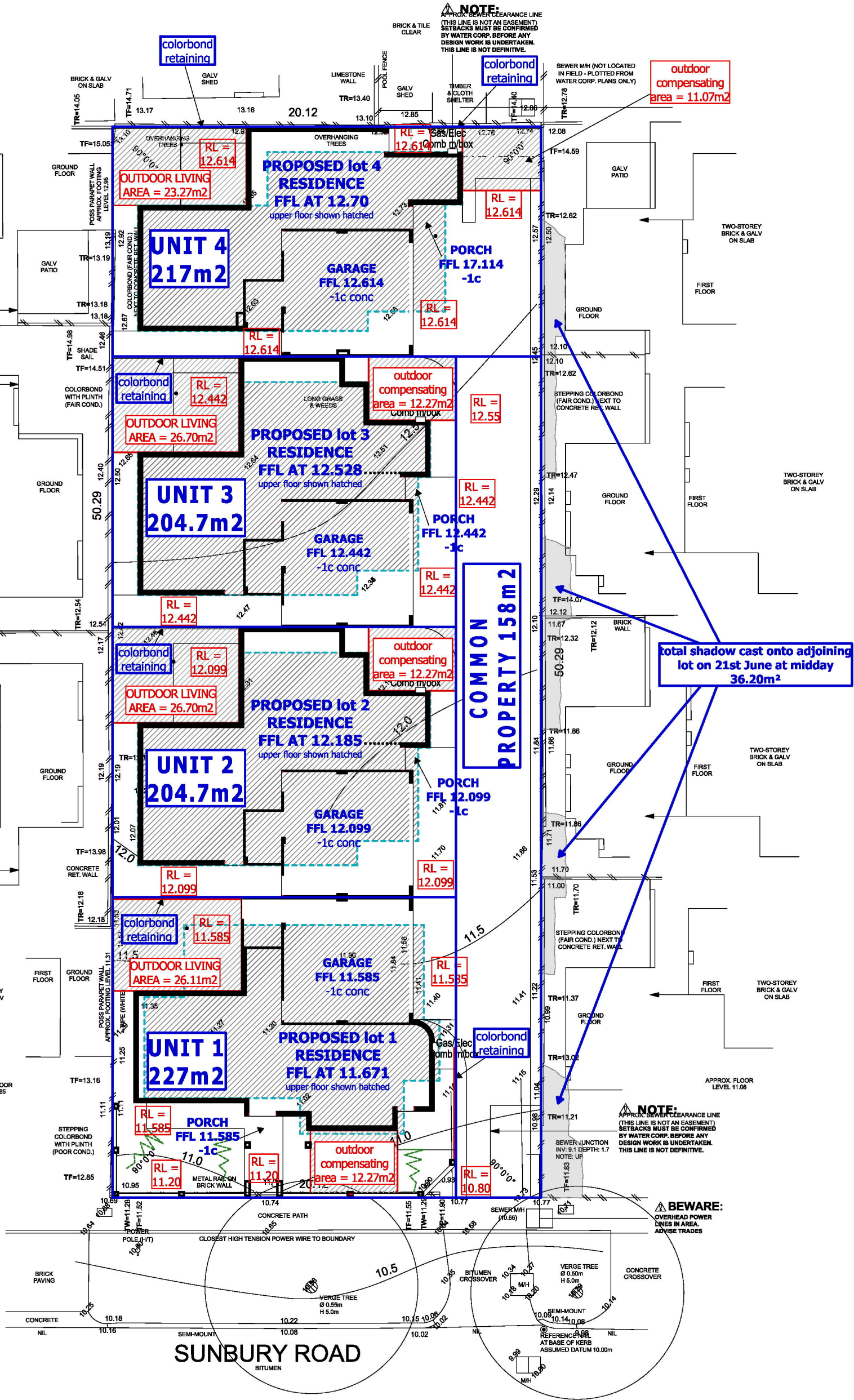
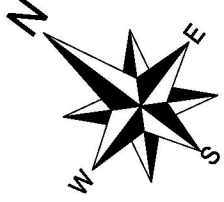


UNIT 4
SITE AREA = 217m²
EFFECTIVE SITE COVER = 122.21m²
TOTAL OPEN SPACE = 44%

UNIT 3
SITE AREA = 204m²
EFFECTIVE SITE COVER = 128.99m²
TOTAL OPEN SPACE = 37%

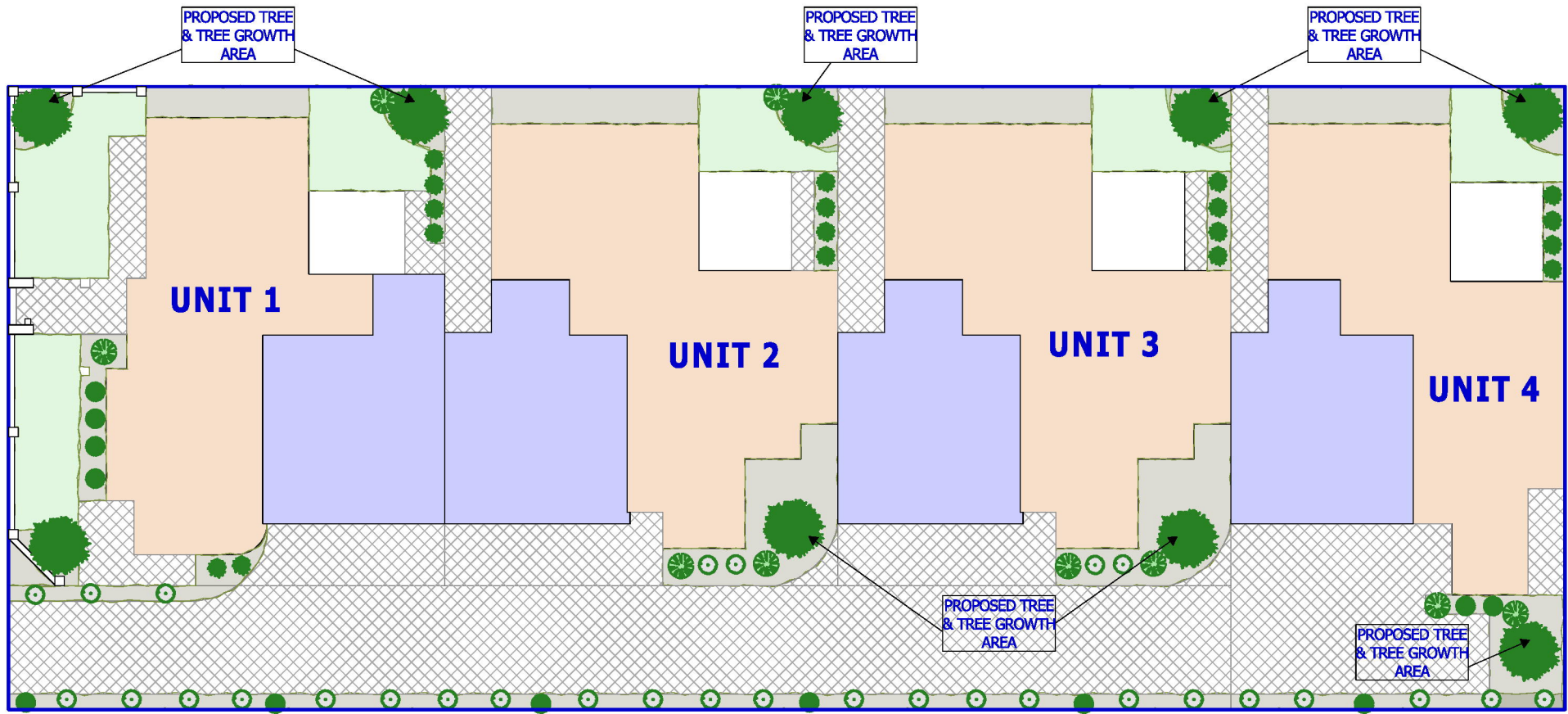
UNIT 2
SITE AREA = 204m²
EFFECTIVE SITE COVER = 128.99m²
TOTAL OPEN SPACE = 37%

UNIT 1
SITE AREA = 227m²
EFFECTIVE SITE COVER = 128.49m²
TOTAL OPEN SPACE = 44%



SITE PLAN - PROPOSED
1:200

- PLANT LEGEND**
- NOTE: JUNGLE MULCH TO ALL GARDEN BEDS TO BE 75mm THICK
- CHINESE ELM 'Ulmas parvifolia'
 - DWARF MAGNOLIA (LITTLE GEM) 'Magnolia grandiflora'
 - VERBURNUM TINUS 'Laurustinus'
 - BLUE FESCUE 'Festuca glauca'
 - COASTAL NATIVE ROSEMARY 'Westringia fruticosa'
 - SIR WALTER BUFFALO GRASS
 - JUNGLE MULCH
 - BRICK PAVING
- "medium sized tree" consists of minimum 2m x 2m dimension, 1m depth



LANDSCAPING PLAN

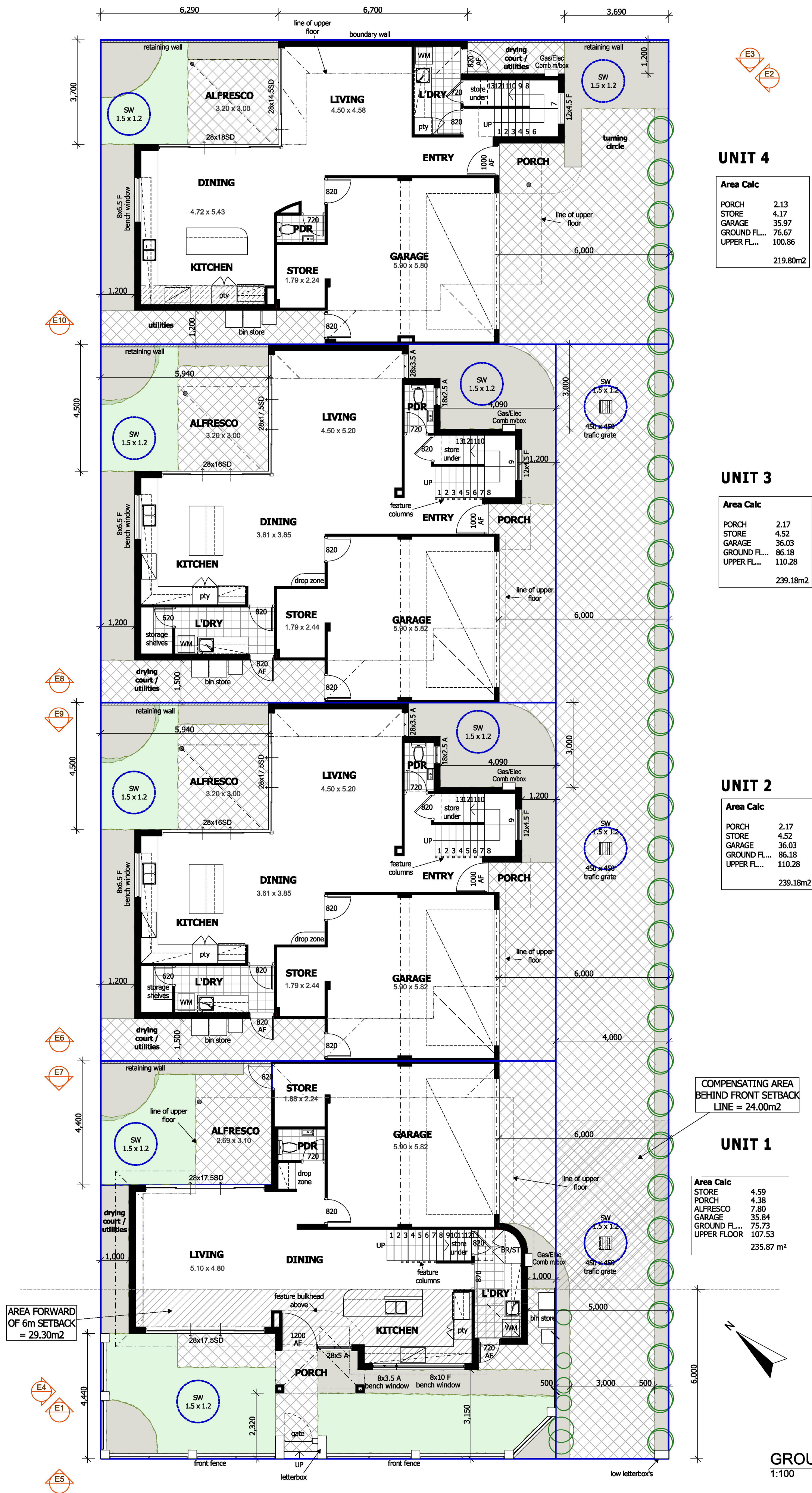


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PROPOSED RESIDENCE TO BE ERCTED ON:
**36 Sunbury Road,
Victoria Park**
FOR:
DIRECT HOMES

PLANNING
LOCAL AUTHORITY:
Victoria Park
ZONING: R40
SITE AREA:
AMENDMENTS:
V2 - 29/08/23
PL 1 - 14/09/23
PL 2 - 28/02/24
SHEET: 2 OF 6
DRN: MN
DATE: 07/08/23
DSN: MN
SCALE: as shown
JOB NO: 23024

DESIGNED BY



TOWN OF VICTORIA PARK
Received: 08/03/2024



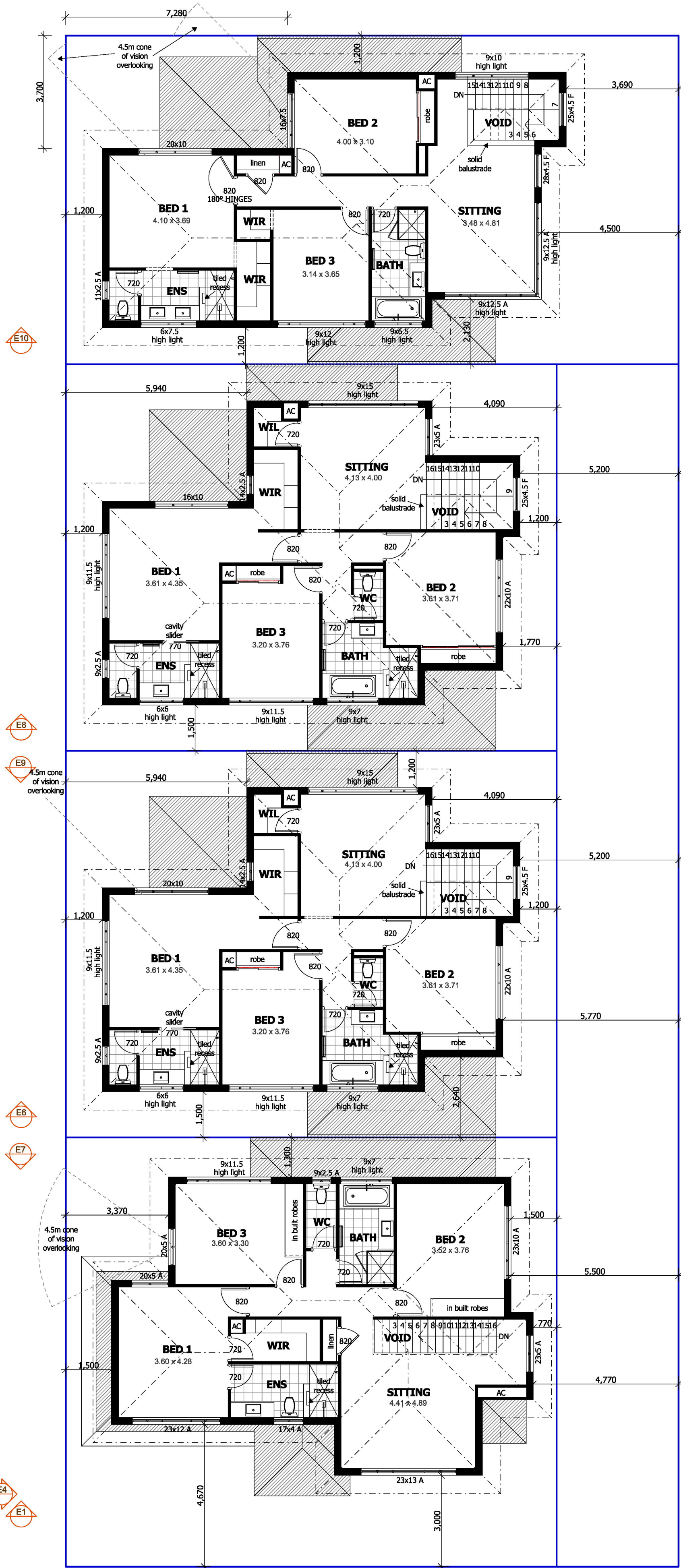
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**36 Sunbury Road,
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FOR:
DIRECT HOMES

LOCAL AUTHORITY:
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ZONING: R40
SITE AREA:
AMENDMENTS:
V2 - 29/08/23
PL 1 - 14/09/23
PL 2 - 28/02/24

PLANNING
SHEET: 3 OF 6
DRN: MN
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Received: 08/03/2024

UNIT 4

Area Calc	
PORCH	2.13
STORE	4.17
GARAGE	35.97
GROUND FL...	76.67
UPPER FL...	100.86
219.80m2	

UNIT 3

Area Calc	
PORCH	2.17
STORE	4.52
GARAGE	36.03
GROUND FL...	86.18
UPPER FL...	1010.28
239.18m2	

UNIT 2

Area Calc	
PORCH	2.17
STORE	4.52
GARAGE	36.03
GROUND FL...	86.18
UPPER FL...	110.28
239.18m2	

UNIT 1

Area Calc	
STORE	4.59
PORCH	4.38
ALFRESCO	7.80
GARAGE	35.84
GROUND FL...	75.73
UPPER FLOOR	107.53
235.87 m ²	

UPPER FLOOR PLAN

1:100



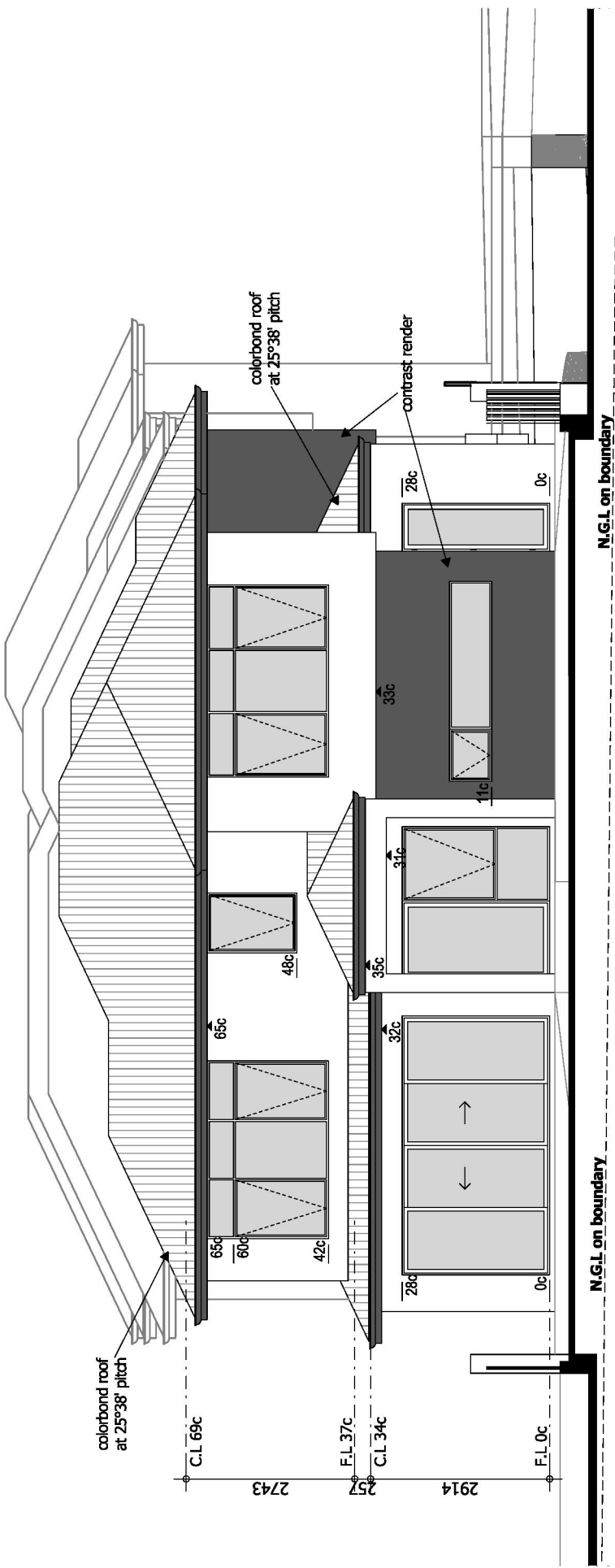
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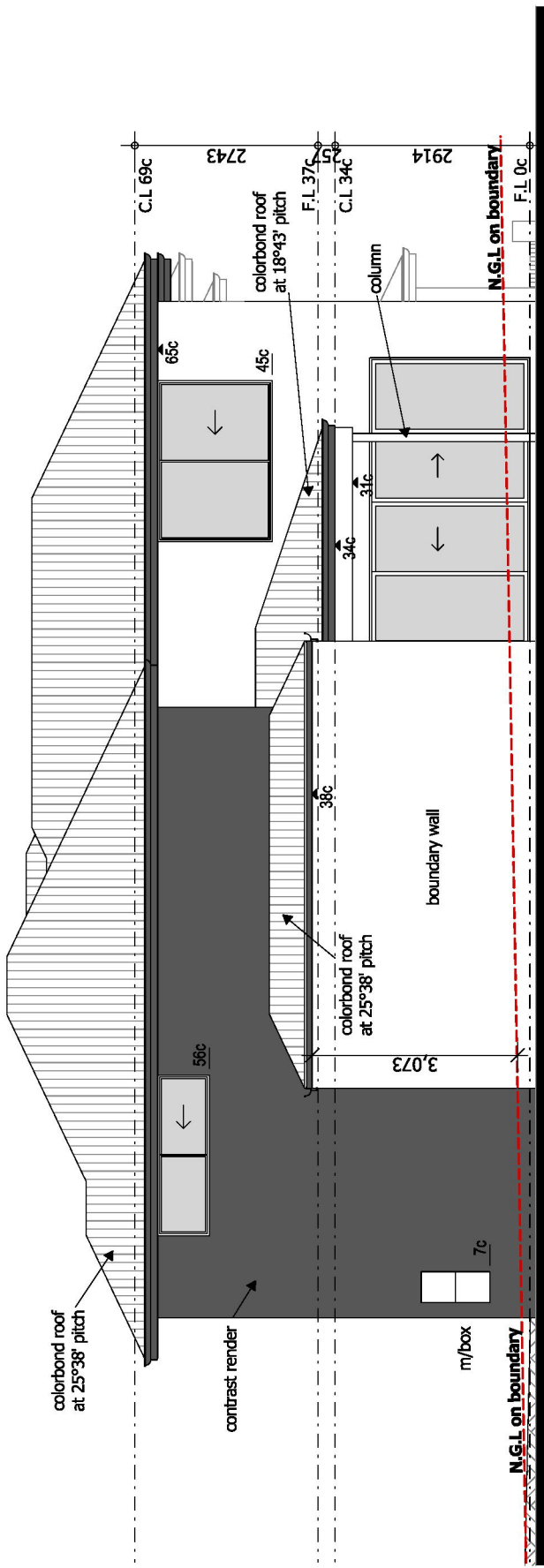
PLANNING	
LOCAL AUTHORITY: Victoria Park	SHEET: 4 OF 6
ZONING: R40	DRN: MN
SITE AREA:	DATE: 07/08/23
AMENDMENTS:	DSN: MN
V2 - 29/08/23	SCALE: as shown
PL 1 - 14/09/23	JOB NO: 23024
PL 2 - 28/02/24	

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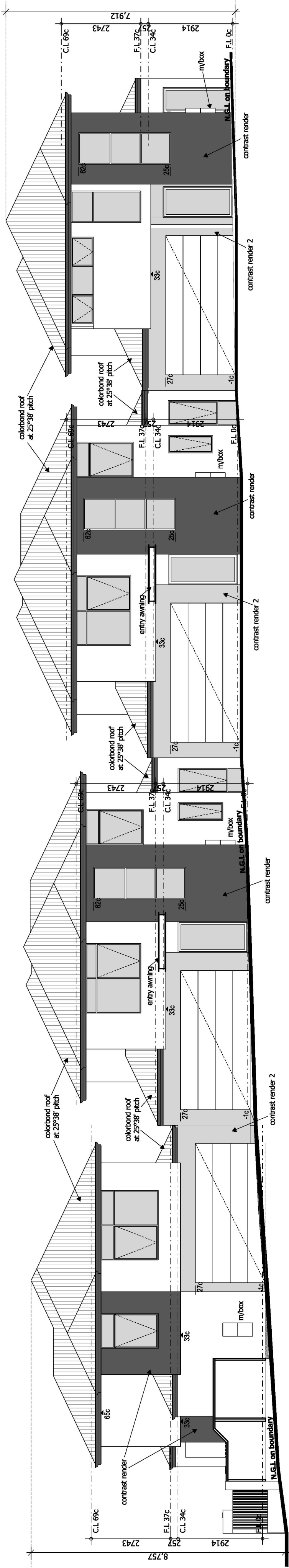




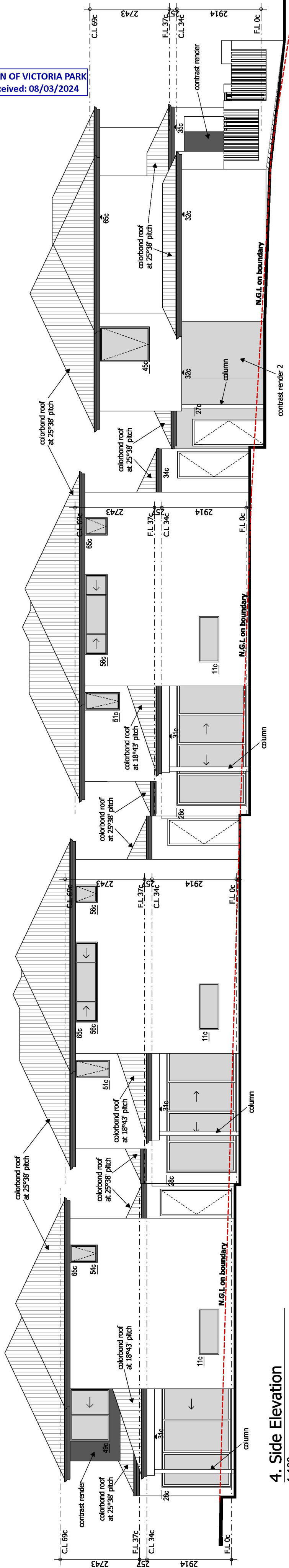
1. Front Elevation
1:100



3. Rear Elevation
1:100



2. Side Elevation
1:100



4. Side Elevation
1:100



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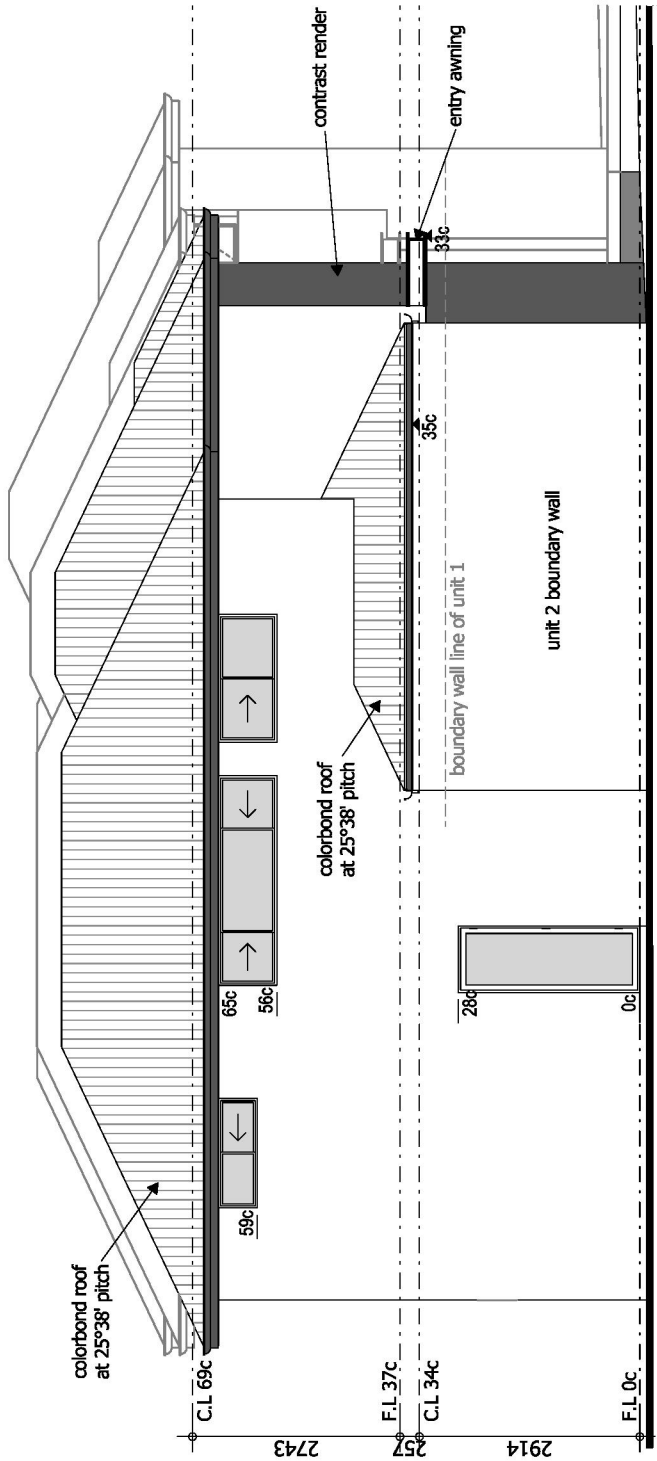
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DIRECT HOMES

LOCAL AUTHORITY:
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ZONING: R40
SITE AREA:
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PLANNING
SHEET: 5 OF 6
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DATE: 07/08/23
DSN: MN
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JOB NO: 23024

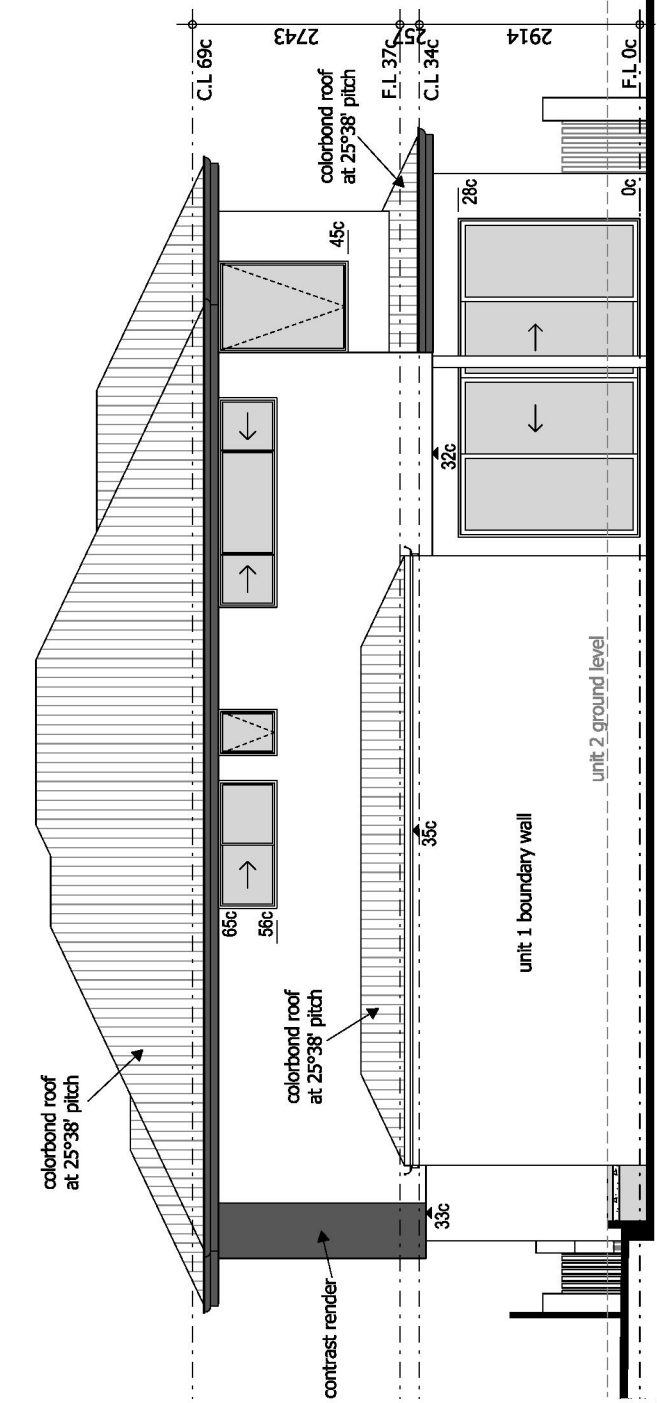
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TOWN OF VICTORIA PARK
Received: 08/03/2024

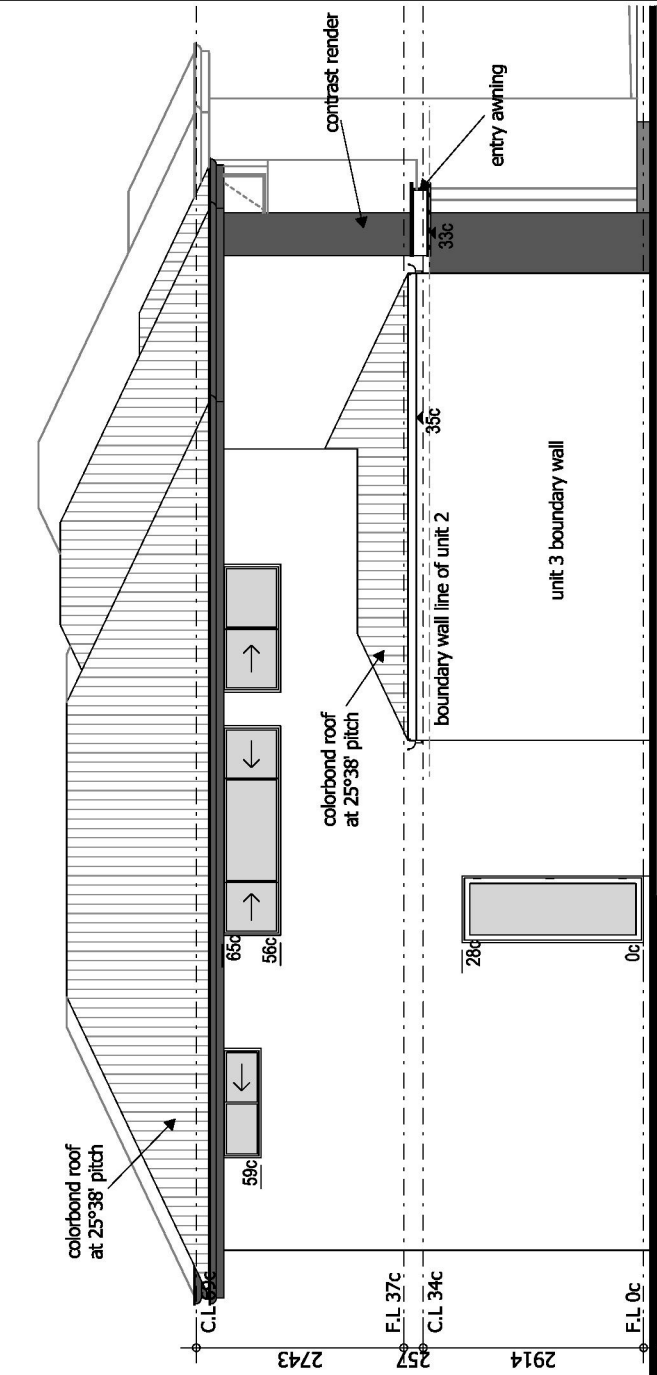


6. Side Elevation
1:100

ground level of unit 1

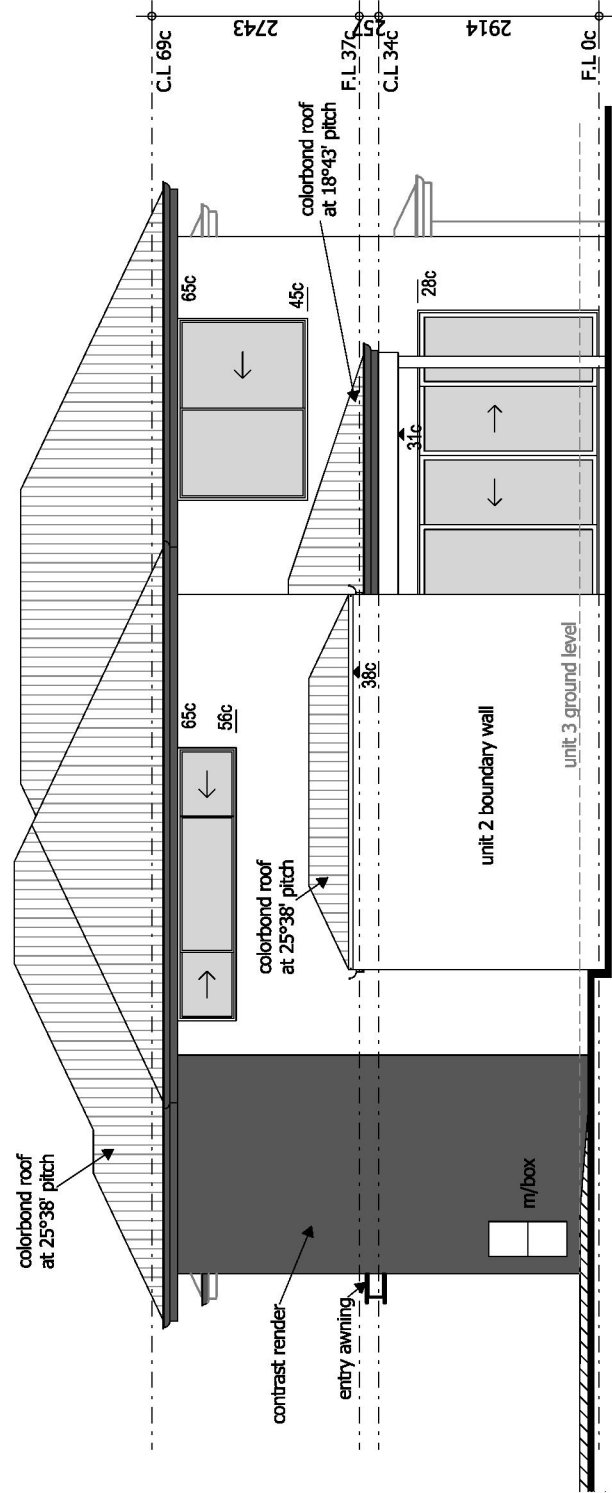


7. Side Elevation
1:100

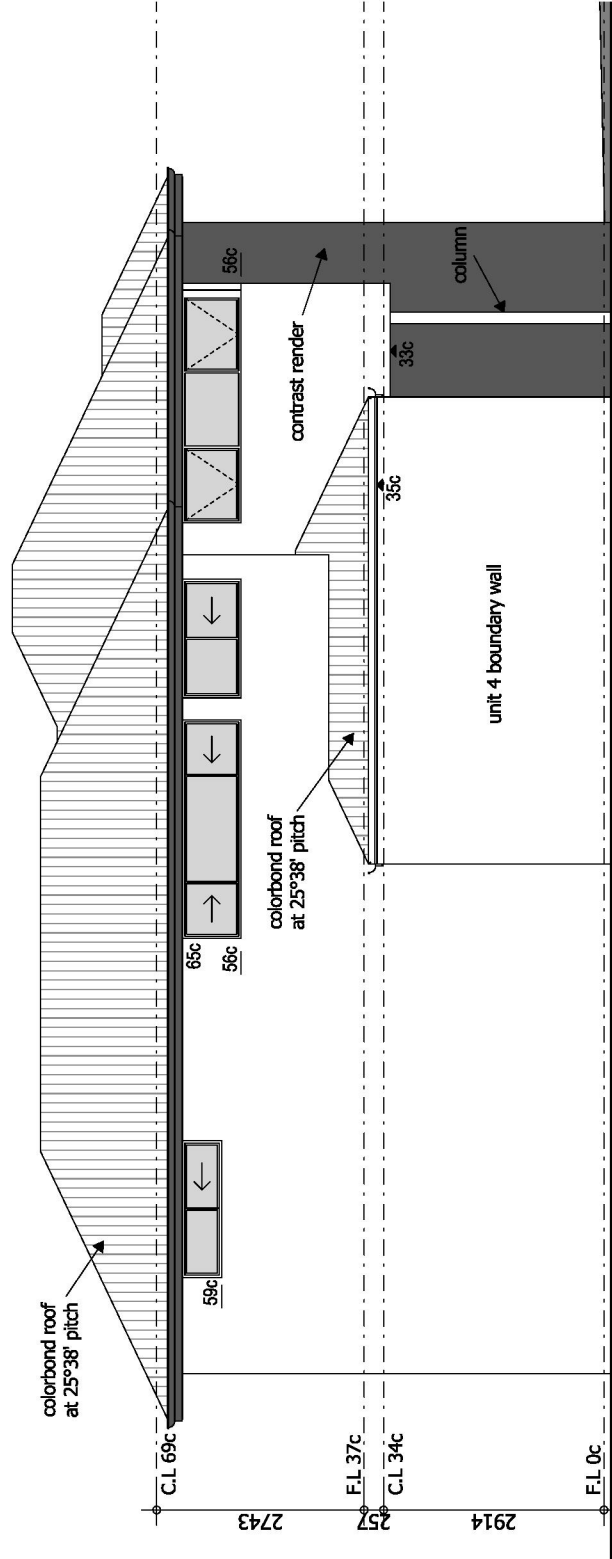


8. Side Elevation
1:100

ground level of unit 2



9. Side Elevation
1:100



10. Side Elevation
1:100

ground level of unit 3



5. Street elevation
1:100

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

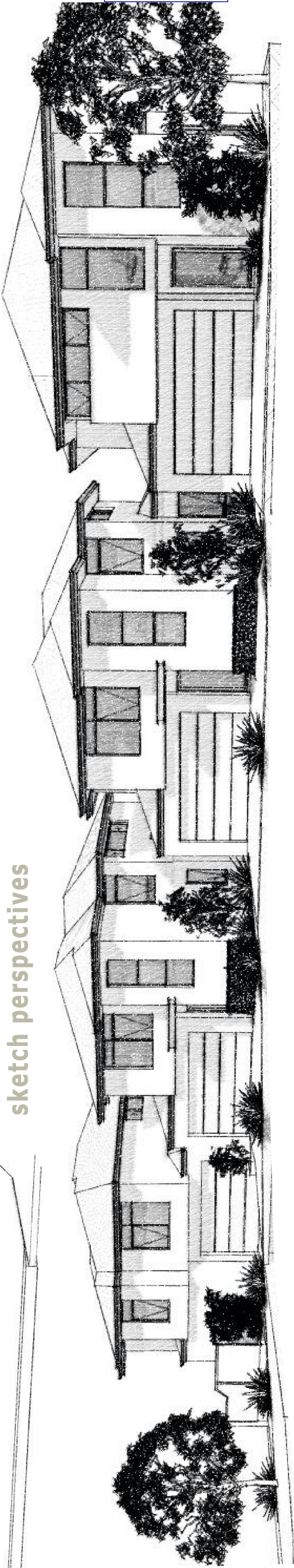
new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

new rendered fence with selected in fill panels

sketch perspectives



TOWN OF VICTORIA PARK
Received: 08/03/2024



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PLANNING
SHEET: 6 OF 6
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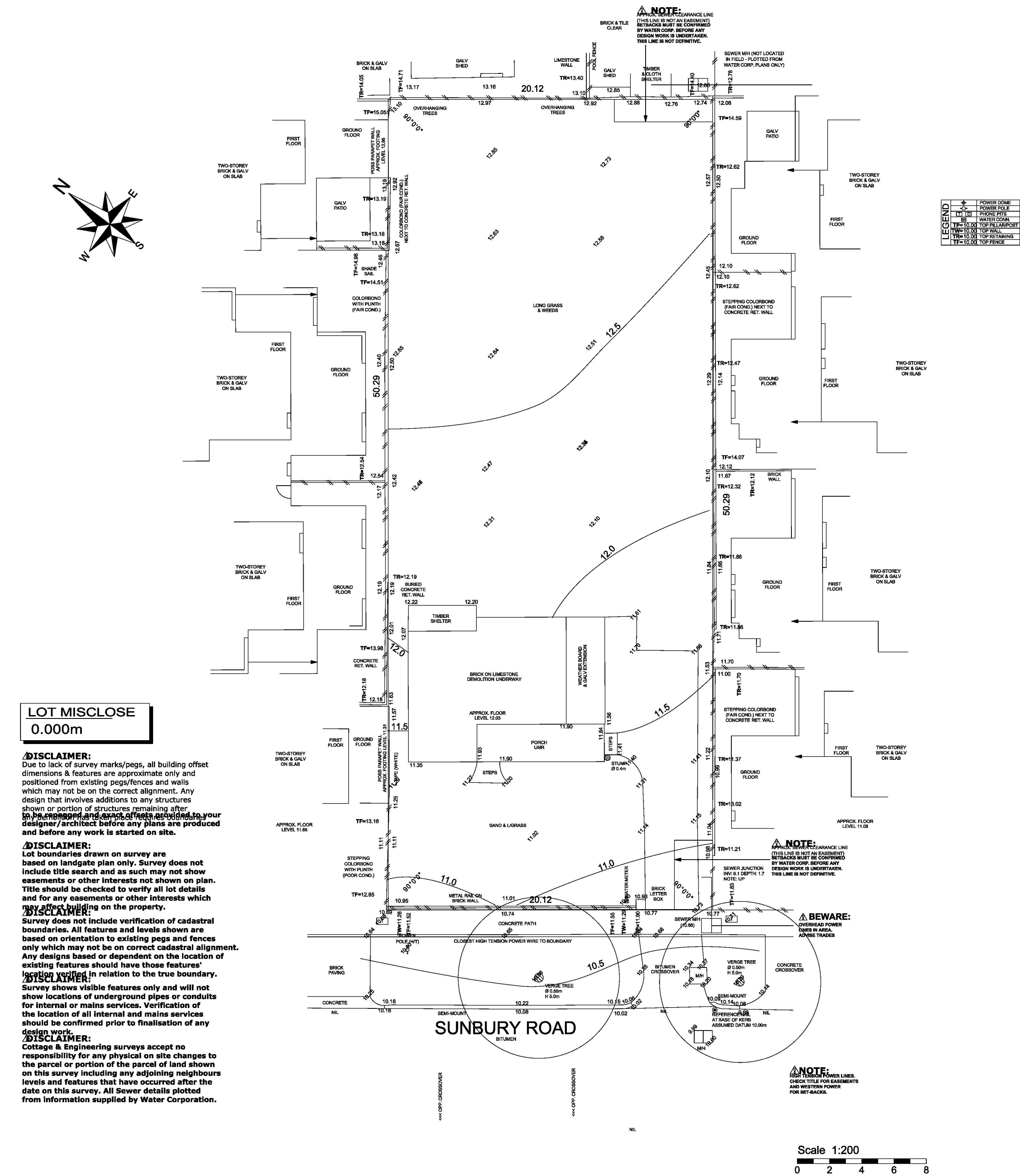


Colours and Materials Schedule

PROPERTY	Date:	Street no.:
	Street name:	
	Suburb:	Post code:

Item	Colour	Material/profile	Make
ROOFING			
Roof cover			
Fascias/rafters			
Gutters			
EXTERIOR WALLS & COLUMNS/PIERS			
Face brick			
Render			
Columns/piers			
Weatherboards (if applicable)			
PAVING/DRIVEWAY			
Main area			
Border			
FRONT FENCE			
Piers			
Fence infill			
OTHER			
Garage door			
Window frames*			

* Further information may be required depending on the location of the property. If an item is not applicable, specify 'N/A' or leave blank (see next page for example).



	87-89 Guthrie Street Osborne Park, WA 6017	JOB # 547891	GPS Lat: -31.972858 Long: 115.90186	ROADS Bitumen	ELEC. O/Head
	PO Box 1611 Osborne Park Business Centre WA 6917	ADDRESS #36 Sunbury Road	LOT Lot 295 (Plan 2916)	KERBS Semi-Mount / Nil	COMMS. Yes
	P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	SUBURB Victoria Park		FOOTPATH Concrete	WATER Yes
		LGA TOWN OF VICTORIA PARK	AREA 1012m ² VOL. 228 FOL. 59	SOIL Sand	GAS Check Alinta
		DRAWN [Redacted]	DATE 13 Jul 23 SSA No	DRAINAGE Good	SEWER Yes
				VEGETATION Long Grass Cover	COASTAL No (Approximate Only Confirm With Shire)

EXISTING SITE PLAN
1:200



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FOR:
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VICTORIA PARK
ZONING: R40
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AMENDMENTS:
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PLANNING

SHEET: 1 OF 6
DRN: MN
DATE: 07/08/23
DSN: MN
SCALE: as shown
JOB NO: 23024

DESIGNED BY