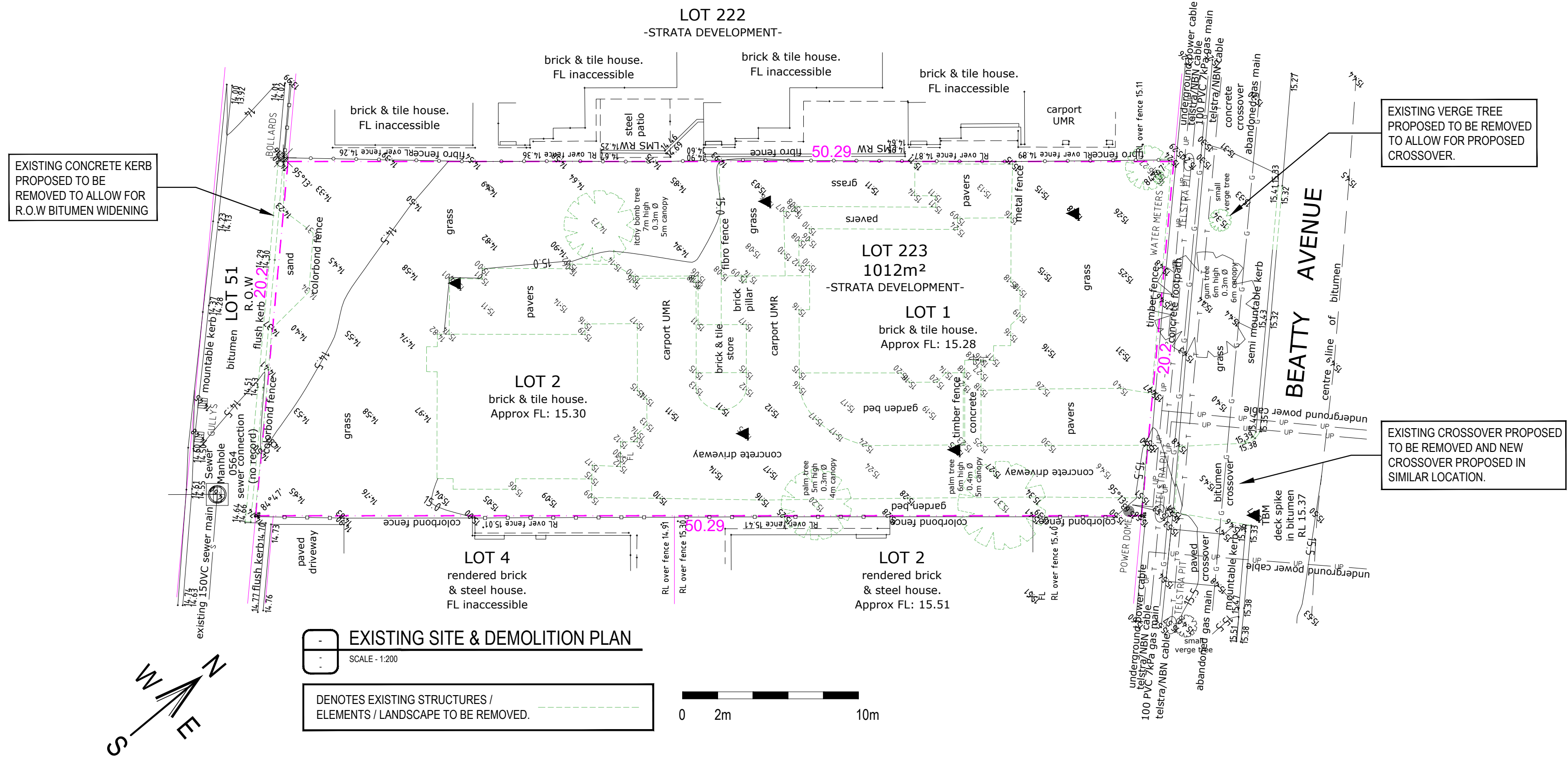
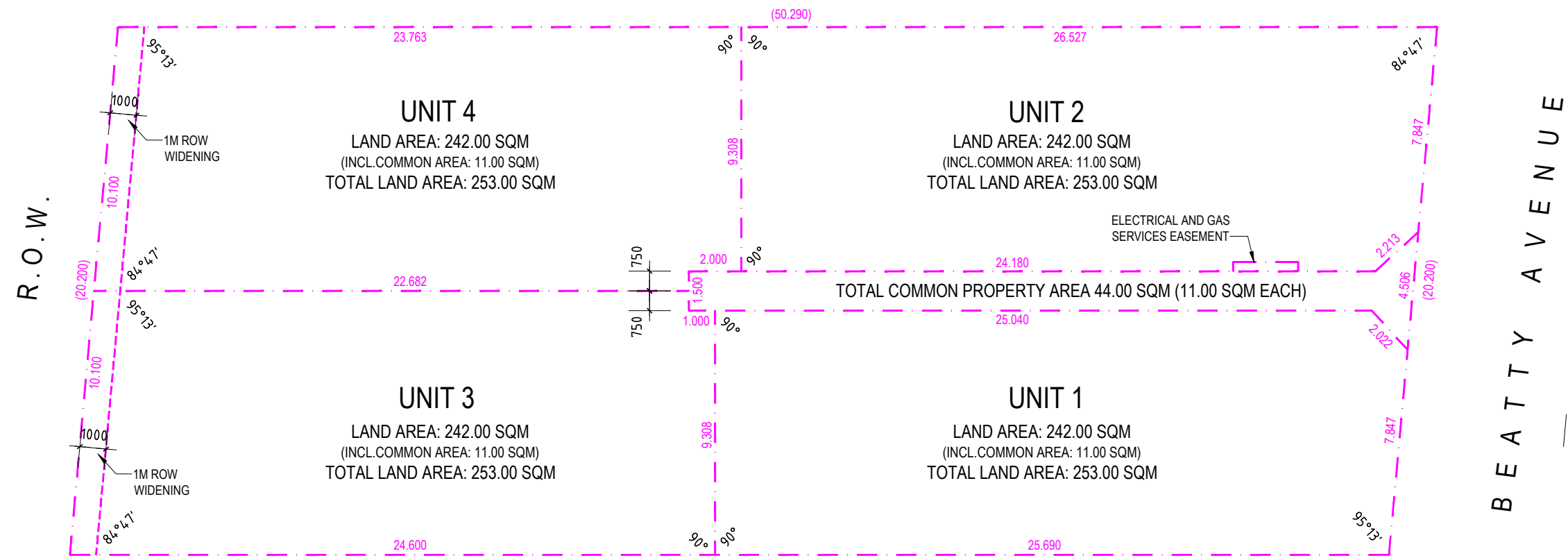




TOWN OF VICTORIA PARK
Received: 17/07/2023



REV	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	22.05.23



DESIGN DRAWINGS

© COPYRIGHT CROSS DESIGN
RESERVED BY DESIGNER

THIS DRAWING & THE INFORMATION IT CONTAINS IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS & INFORMATION RELATED TO THE PROJECT. FOR ACCURATE COORDINATION, THE BUILDER/CONTRACTOR IS TO CHECK ALL DIMENSIONS & INFORMATION SHOWN ON THIS DRAWING BEFORE THE COMMENCEMENT OF ANY WORKS & OR FABRICATION. IF ANY DISCREPANCIES SHOULD OCCUR THE BUILDER/CONTRACTOR IS TO NOTIFY THE DESIGNER & OR ENGINEER & OR SURVEYOR BEFORE PROCEEDING.

PROJECT:
PROPOSED
GROUPED DWELLINGS

CLIENT DETAILS:
BARRETT

ADDRESS:
No 43 & No 43A
BEATTY AVENUE
EAST VICTORIA PARK
WA

JOB STARTED:
MAY 2023

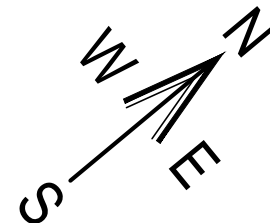
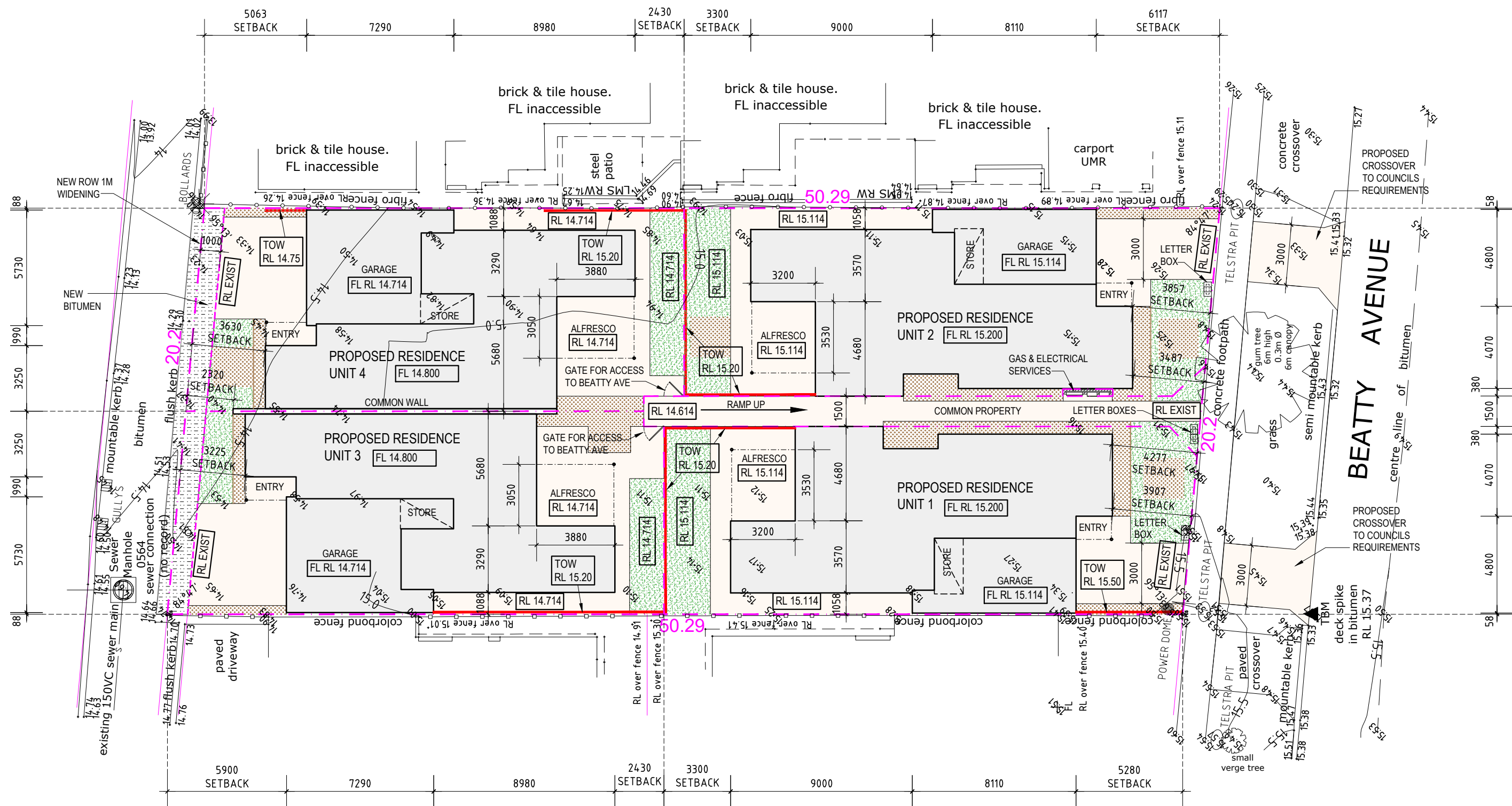
LOCAL AUTHORITY:
TOWN OF VICTORIA PARK

SCALE:
AS SHOWN ON A2

PROJECT NO:
230017

DRAWING NO:
A01

REVISION:
A



SITE PLAN
SCALE - 1:200

THE SITE INFORMATION ON THIS DRAWING HAS BEEN
OBTAINED FROM A LICENSED SURVEYOR

0 2m 10m

UNIT 1	
GROUND LIVING AREA:	108.75 M ²
GARAGE & STORE AREA:	27.27 M ²
TOTAL GROUND AREA:	136.02 M ²
PORTICO AREA:	2.16 M ²
ALFRESCO AREA:	11.45 M ²
TOTAL HOUSE AREA:	149.63 M ²
SITE AREA:	242.00 M ²
COMMON AREA:	11.00 M ²
TOTAL LAND AREA INCL. COMMON:	253.00 M ²
SITE COVERAGE:	53.76 %

UNIT 2	
GROUND LIVING AREA:	108.75 M ²
GARAGE & STORE AREA:	27.27 M ²
TOTAL GROUND AREA:	136.02 M ²
PORTICO AREA:	2.16 M ²
ALFRESCO AREA:	11.45 M ²
TOTAL HOUSE AREA:	149.63 M ²
SITE AREA:	242.00 M ²
COMMON AREA:	11.00 M ²
TOTAL LAND AREA INCL. COMMON:	253.00 M ²
SITE COVERAGE:	53.76 %

UNIT 3	
GROUND LIVING AREA:	99.57 M ²
GARAGE & STORE AREA:	37.77 M ²
TOTAL GROUND AREA:	137.34 M ²
PORTICO AREA:	2.91 M ²
ALFRESCO AREA:	12.02 M ²
TOTAL HOUSE AREA:	152.27 M ²
SITE AREA:	242.00 M ²
COMMON AREA:	11.00 M ²
TOTAL LAND AREA INCL. COMMON:	253.00 M ²
SITE COVERAGE:	54.28 %

UNIT 4	
GROUND LIVING AREA:	99.57 M ²
GARAGE & STORE AREA:	37.77 M ²
TOTAL GROUND AREA:	137.34 M ²
PORTICO AREA:	2.91 M ²
ALFRESCO AREA:	12.02 M ²
TOTAL HOUSE AREA:	152.27 M ²
SITE AREA:	242.00 M ²
COMMON AREA:	11.00 M ²
TOTAL LAND AREA INCL. COMMON:	253.00 M ²
SITE COVERAGE:	54.28 %

LEGEND

	EXISTING RL LEVELS & COUNTOURS
	EXISTING & PROPOSED BOUNDARY
	PROPOSED RL LEVELS & FLOOR LEVELS
	TOP OF RETAINING WALL
	PROPOSED CONCRETE POST AND PANEL RETAINING WALL
	EXTENT OF BUILDING & OUTSIDE FACE OF EXTERNAL WALLS / STRUCTURES
	PAVING
	LANDSCAPE (REFER TO LANDSCAPE PLAN)

REV	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	22.05.23
B	AMENDED FOR PLANNING APPROVAL	17.07.23



No.81 - 85 SOUTH SHORE PIAZZA, SOUTH PERTH WA 6151
PO BOX 208, SOUTH PERTH, WA 6951 PH: (08) 9367 6274

DESIGN DRAWINGS

COPYRIGHT CROSS DESIGN
RESERVED BY DESIGNER

THIS DRAWING & THE INFORMATION IT CONTAINS IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS & INFORMATION RELATED TO THE PROJECT FOR ACCURATE COORDINATION. THE BUILDER / CONTRACTOR IS TO CHECK ALL DIMENSIONS & INFORMATION SHOWN ON THIS DRAWING BEFORE THE COMMENCEMENT OF ANY WORKS & OR FABRICATION. IF ANY DISCREPANCIES SHOULD OCCUR THE BUILDER / CONTRACTOR IS TO NOTIFY THE DESIGNER & OR ENGINEER & OR SURVEYOR BEFORE PROCEEDING.

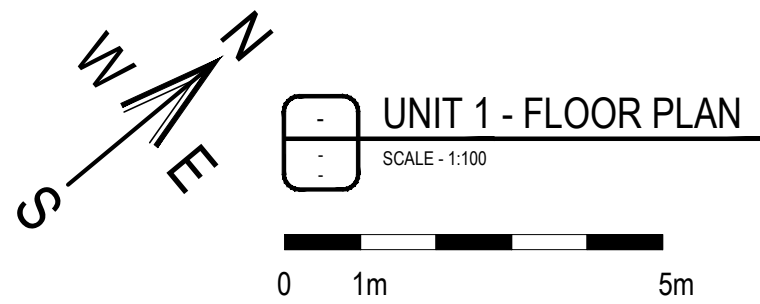
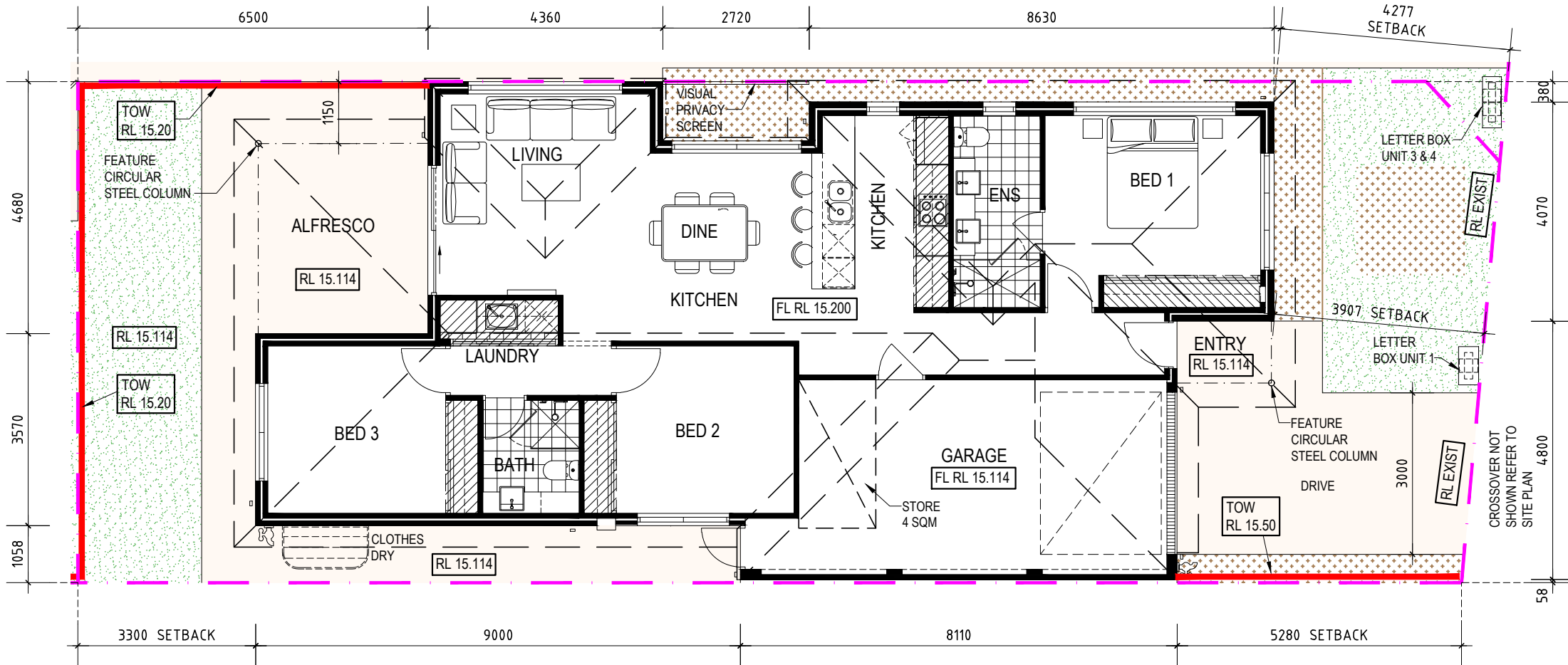
PROJECT:
PROPOSED
GROUPED DWELLINGS

CLIENT DETAILS:
BARRETT

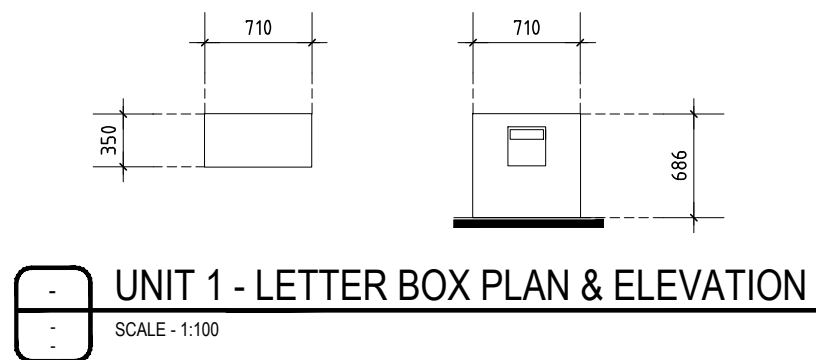
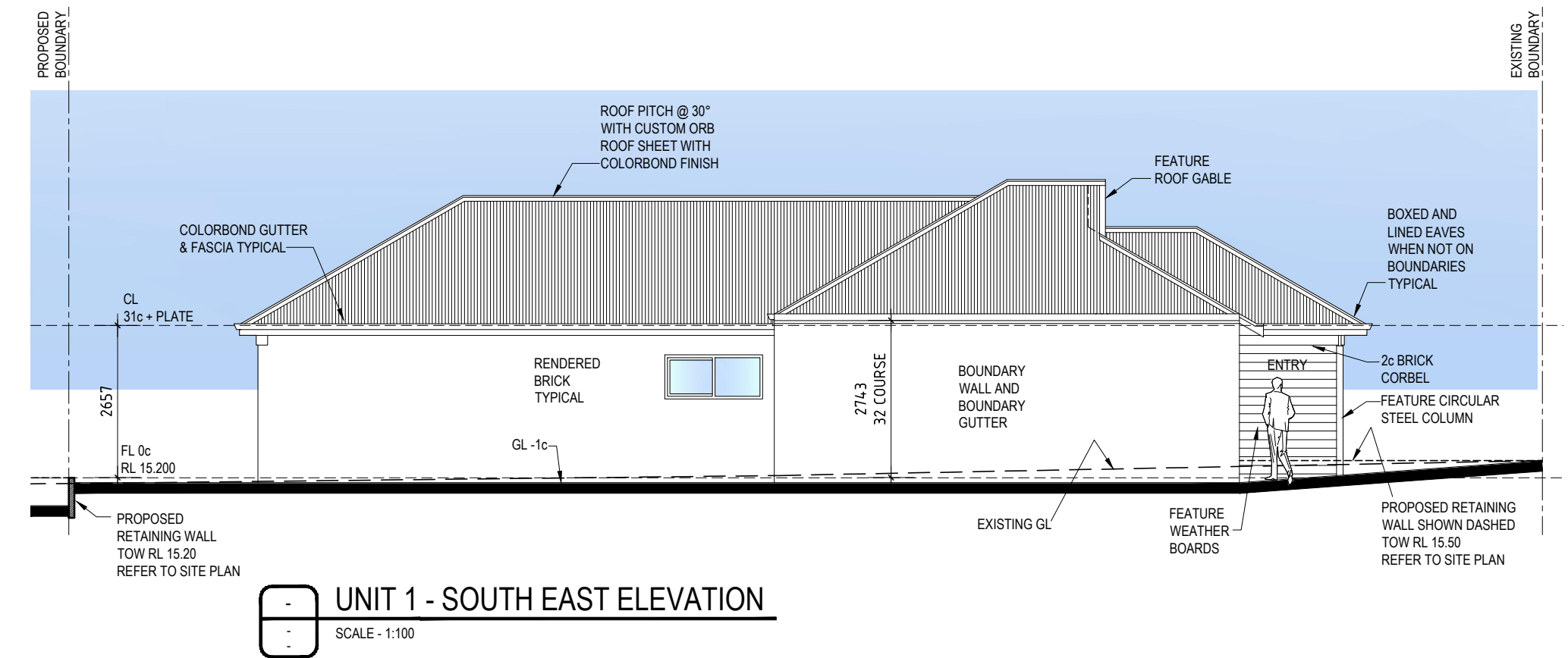
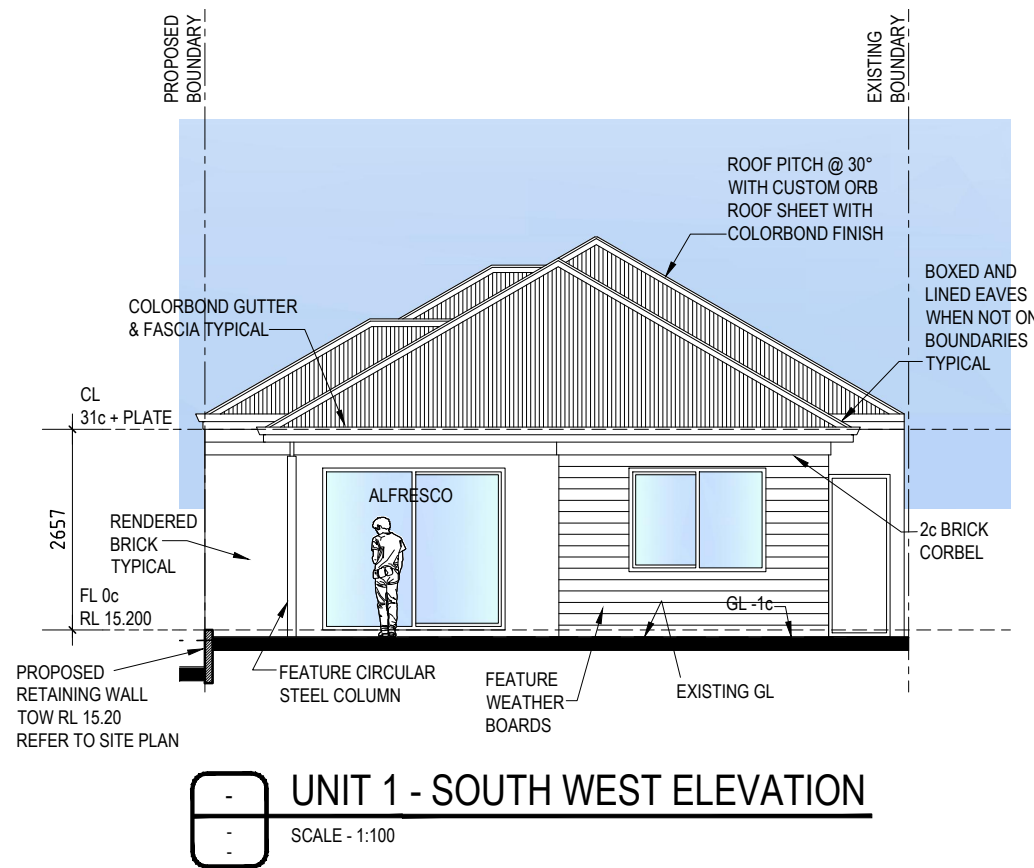
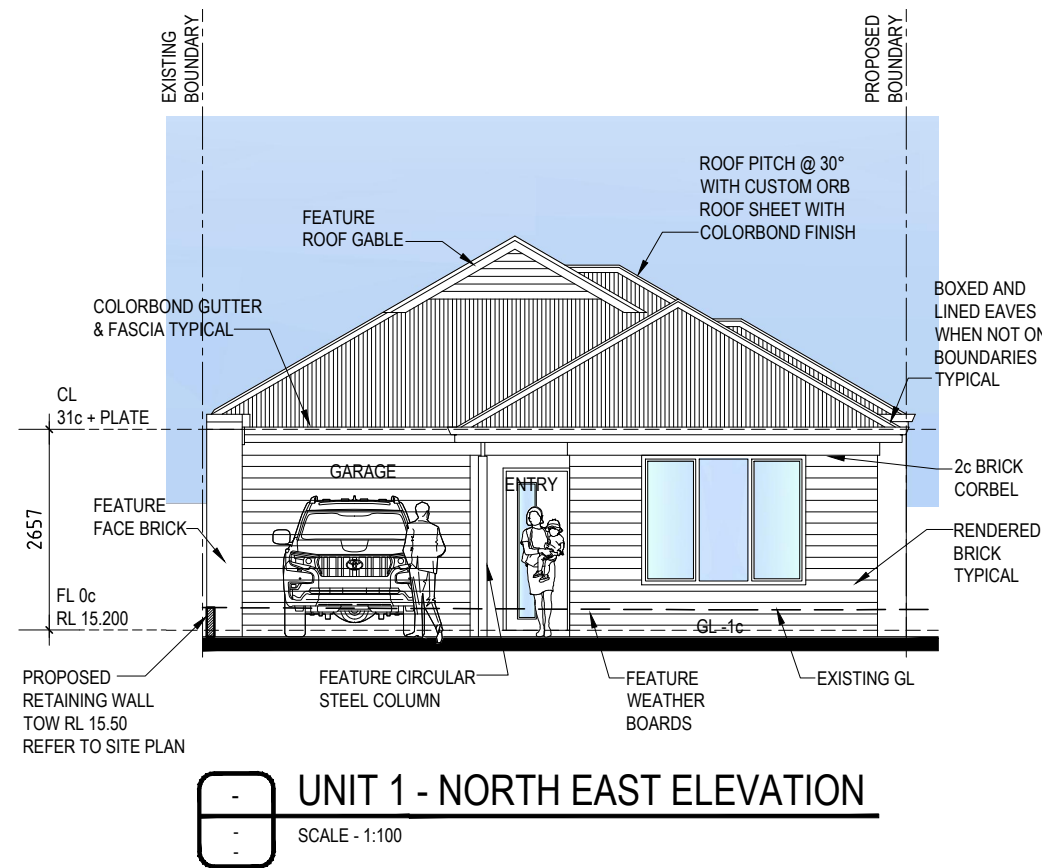
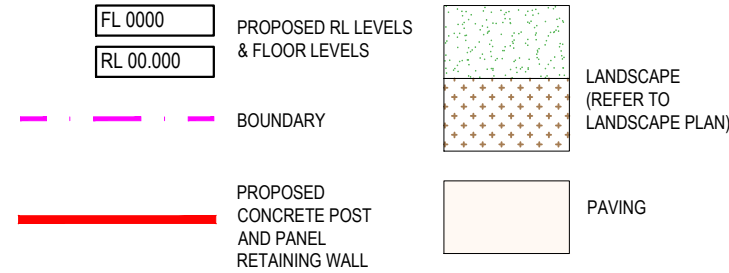
ADDRESS:
No 43 & No 43A
BEATTY AVENUE
EAST VICTORIA PARK
WA

JOB STARTED:
MAY 2023
LOCAL AUTHORITY:
TOWN OF VICTORIA PARK
SCALE:
AS SHOWN ON A2

PROJECT NO:
230017
DRAWING NO:
A02
REVISION:
B



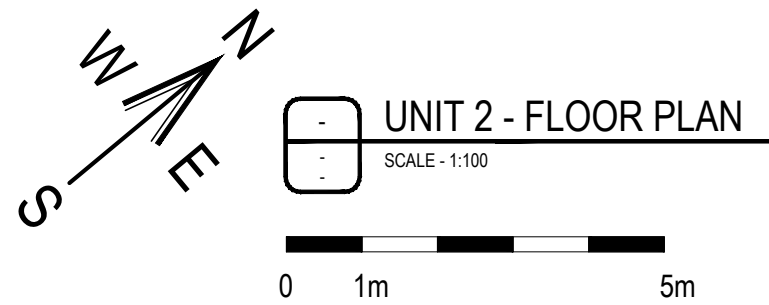
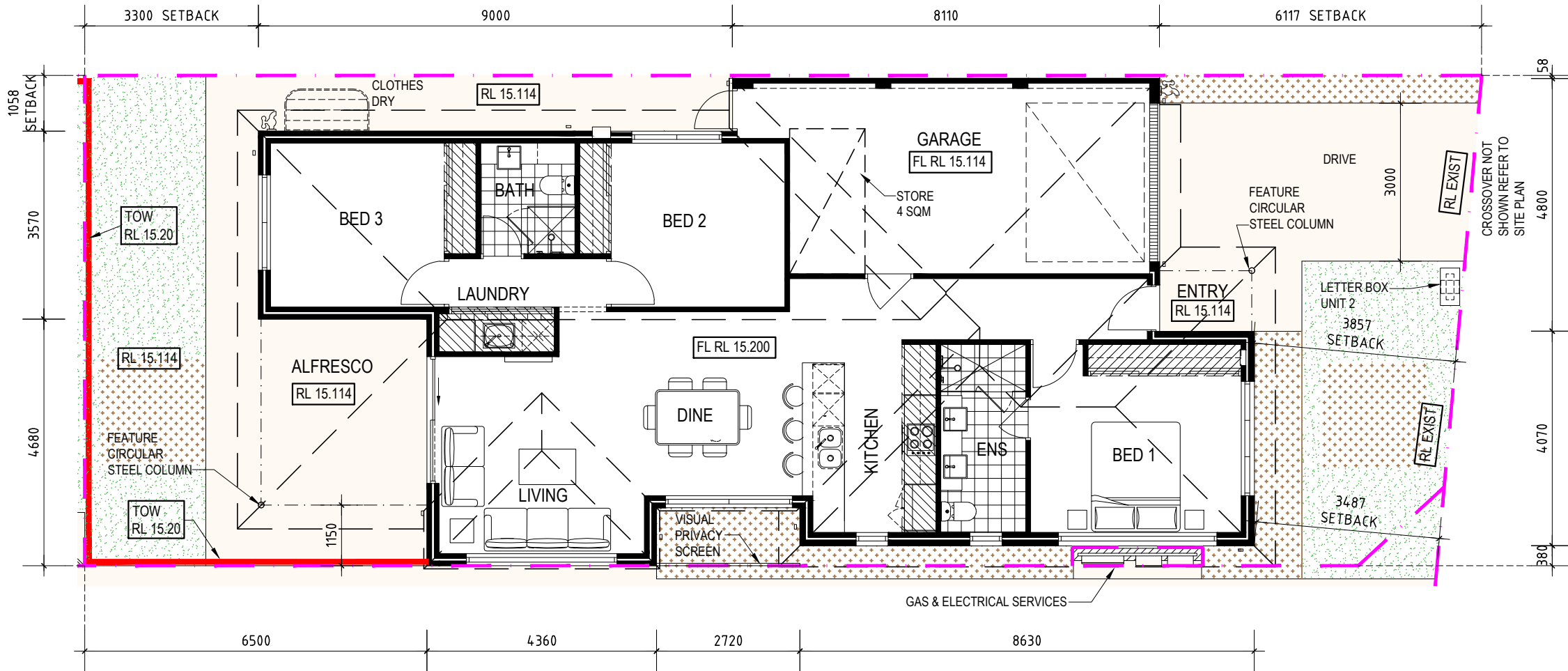
LEGEND



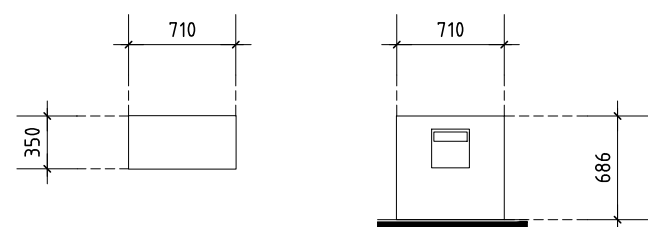
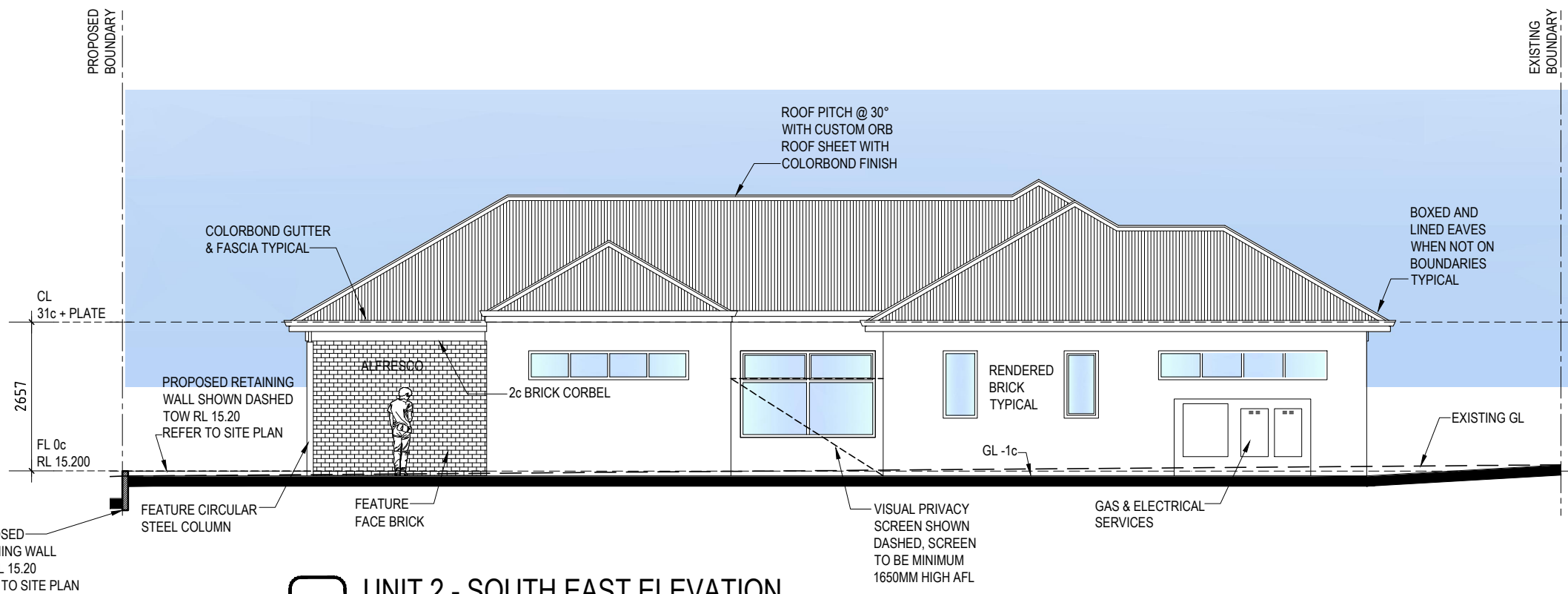
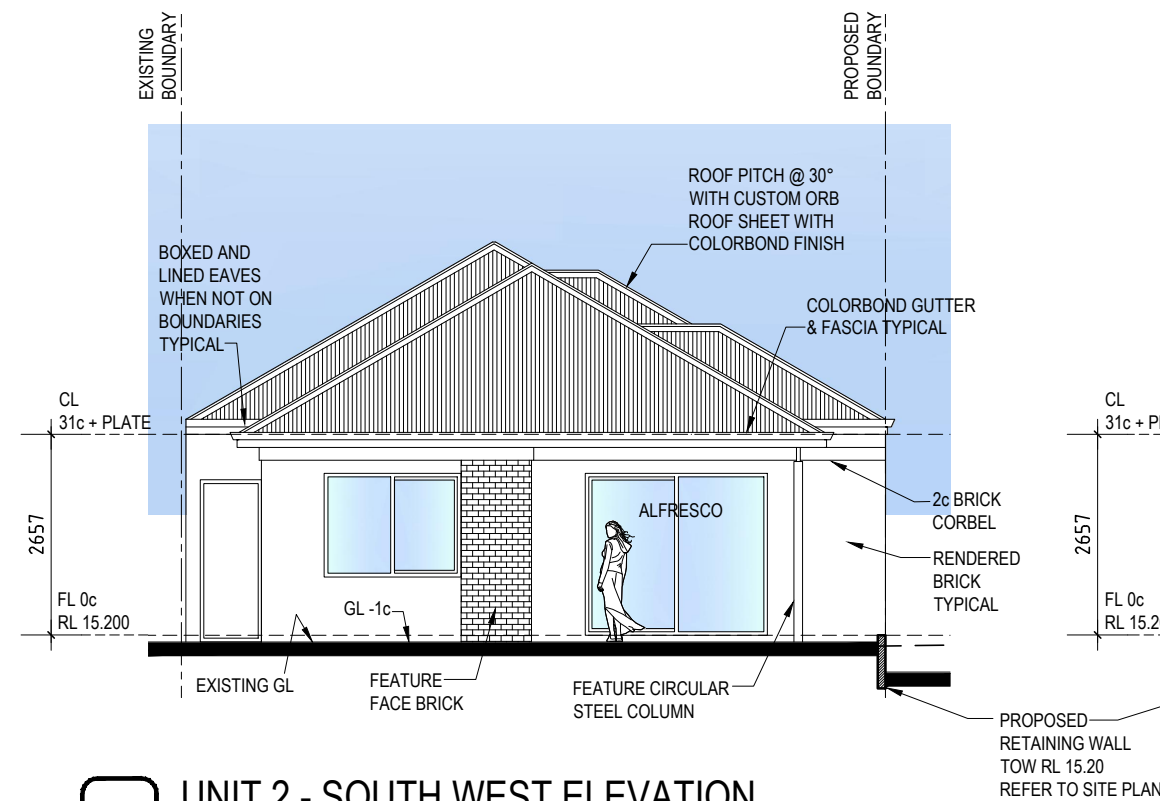
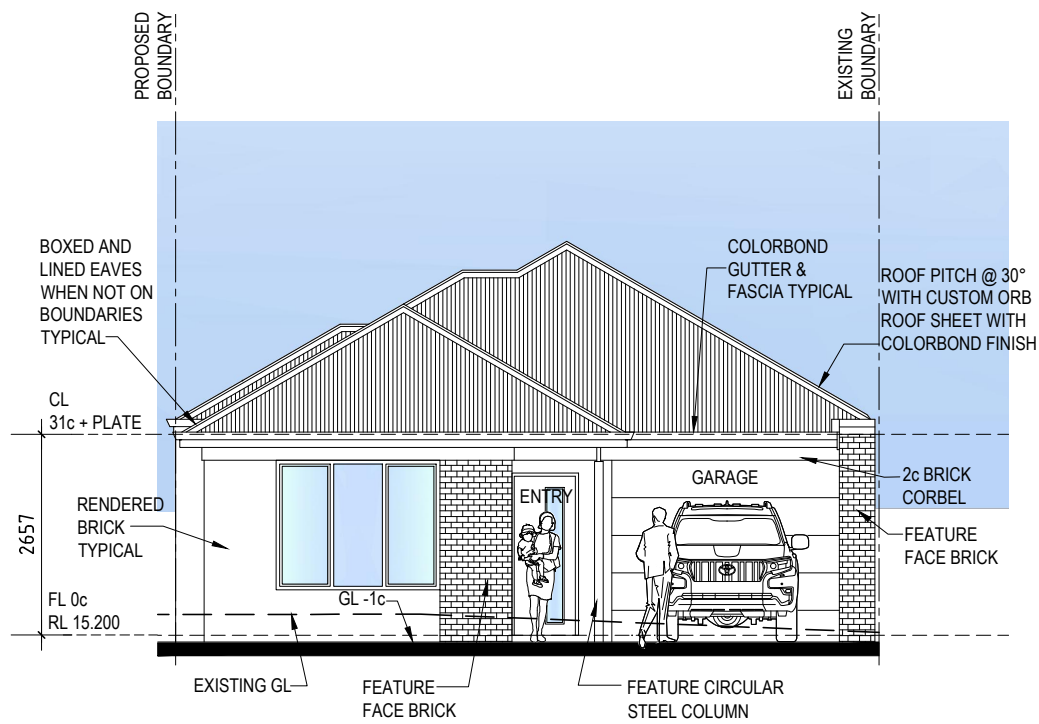
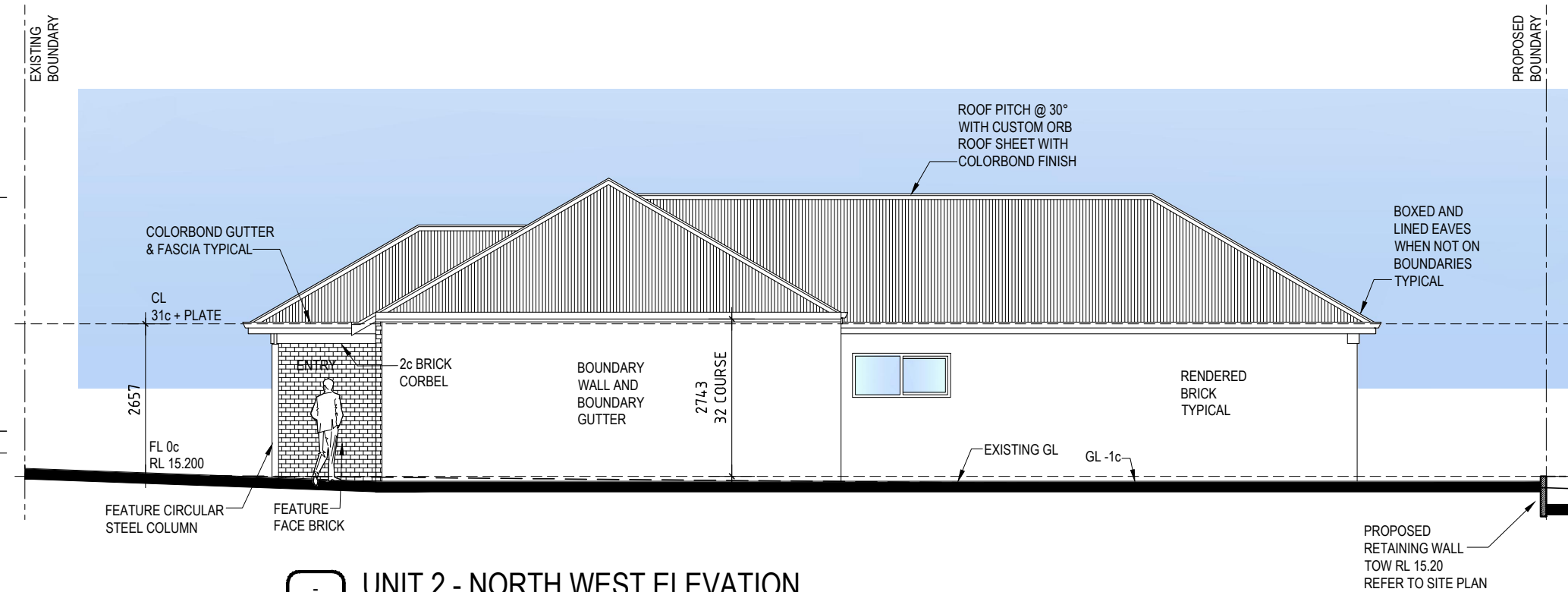
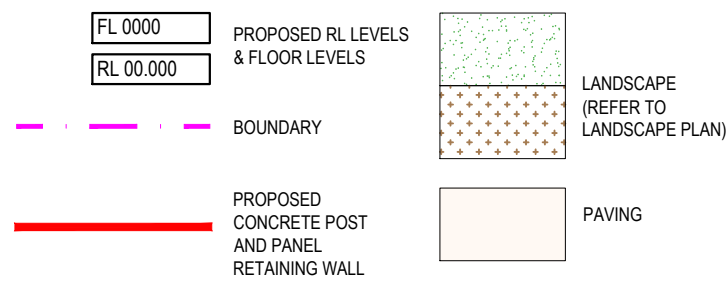
REV	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	22.05.23
B	AMENDED FOR PLANNING APPROVAL	17.07.23

No.81 - 85 SOUTH SHORE PIAZZA, SOUTH PERTH WA 6151
PO BOX 208, SOUTH PERTH, WA 6951 PH: (08) 9367 6274

DESIGN DRAWINGS		PROJECT:	ADDRESS:	JOB STARTED:	PROJECT NO:
COPYRIGHT CROSS DESIGN RESERVED BY DESIGNER		PROPOSED GROUPED DWELLINGS	No 43 & No 43A BEATTY AVENUE EAST VICTORIA PARK WA	MAY 2023	230017
THIS DRAWING & THE INFORMATION IT CONTAINS IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS & INFORMATION RELATED TO THE PROJECT. FOR ACCURATE COORDINATION, THE BUILDER/CONTRACTOR IS TO CHECK ALL DIMENSIONS & INFORMATION SHOWN ON THIS DRAWING BEFORE THE COMMENCEMENT OF ANY WORKS & OR FABRICATION. IF ANY DISCREPANCIES SHOULD OCCUR THE BUILDER/CONTRACTOR IS TO NOTIFY THE DESIGNER & OR ENGINEER & OR SURVEYOR BEFORE PROCEEDING.		CLIENT DETAILS: BARRETT		LOCAL AUTHORITY: TOWN OF VICTORIA PARK	DRAWING NO: A03
				SCALE: AS SHOWN ON A2	REVISION: B



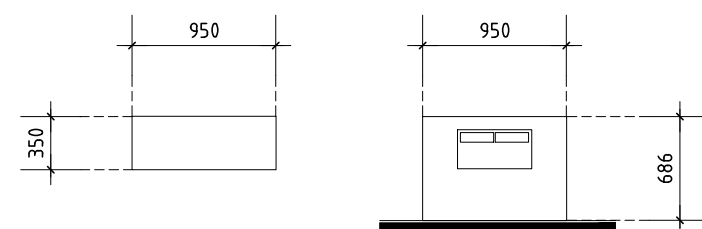
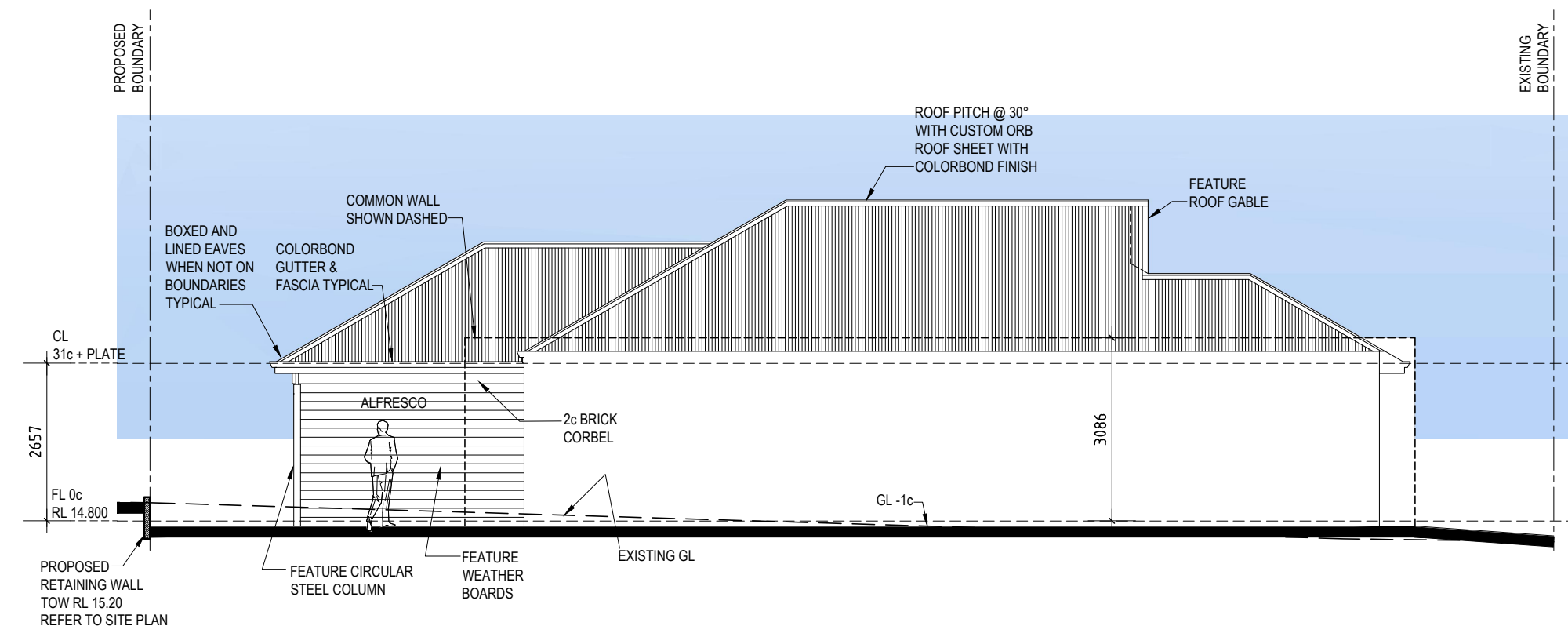
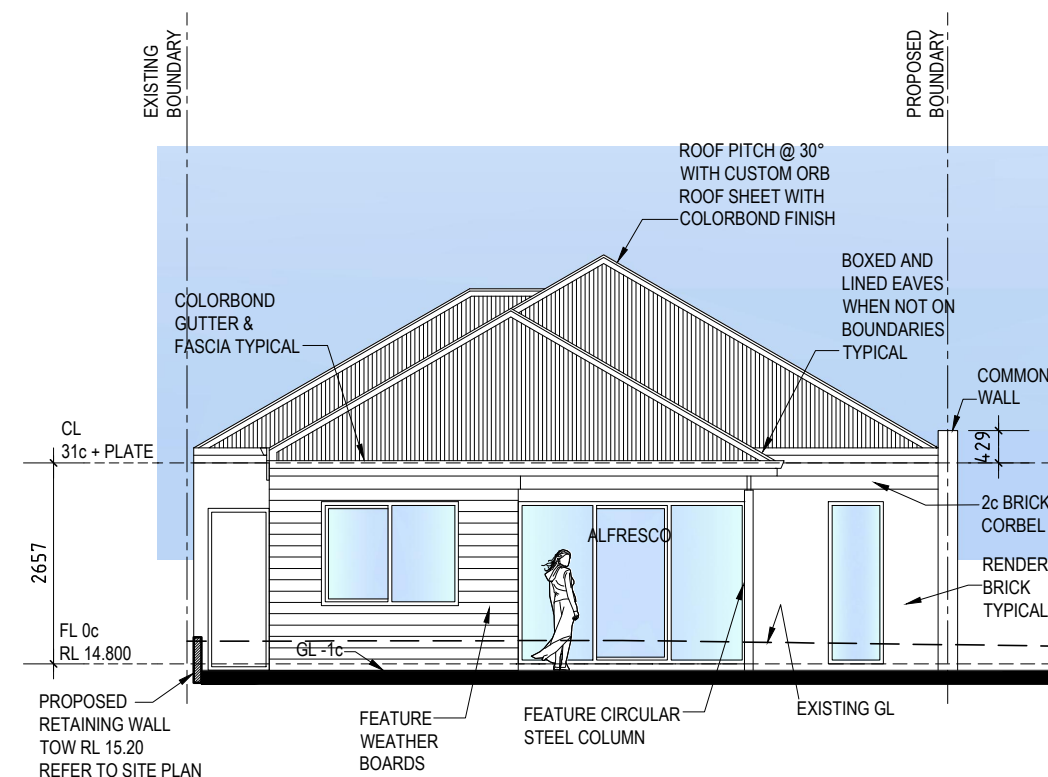
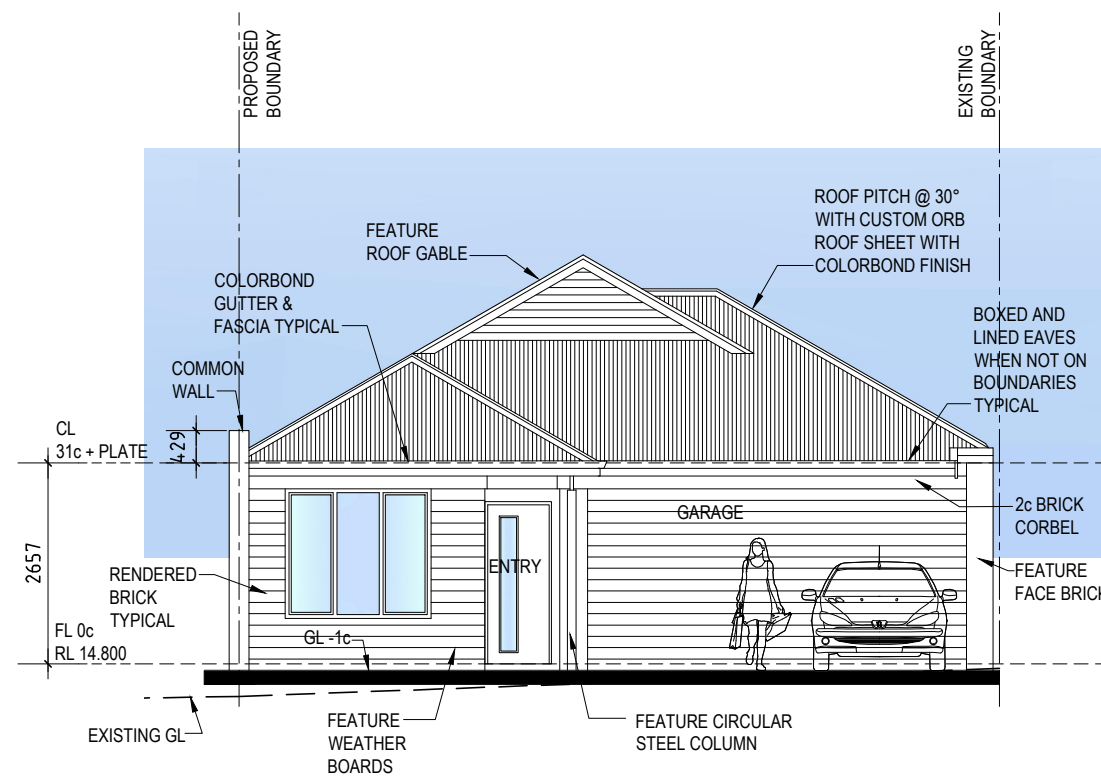
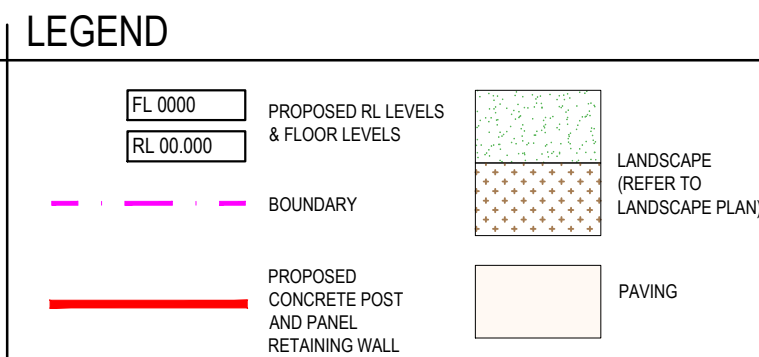
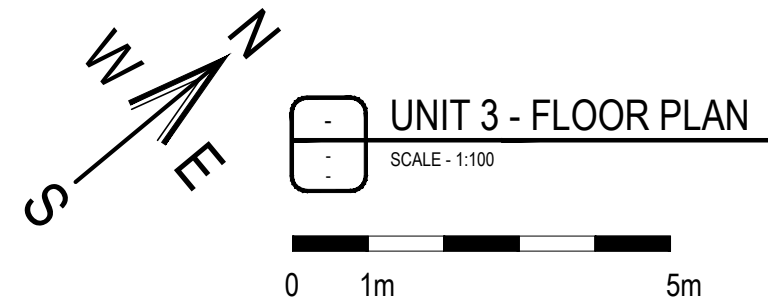
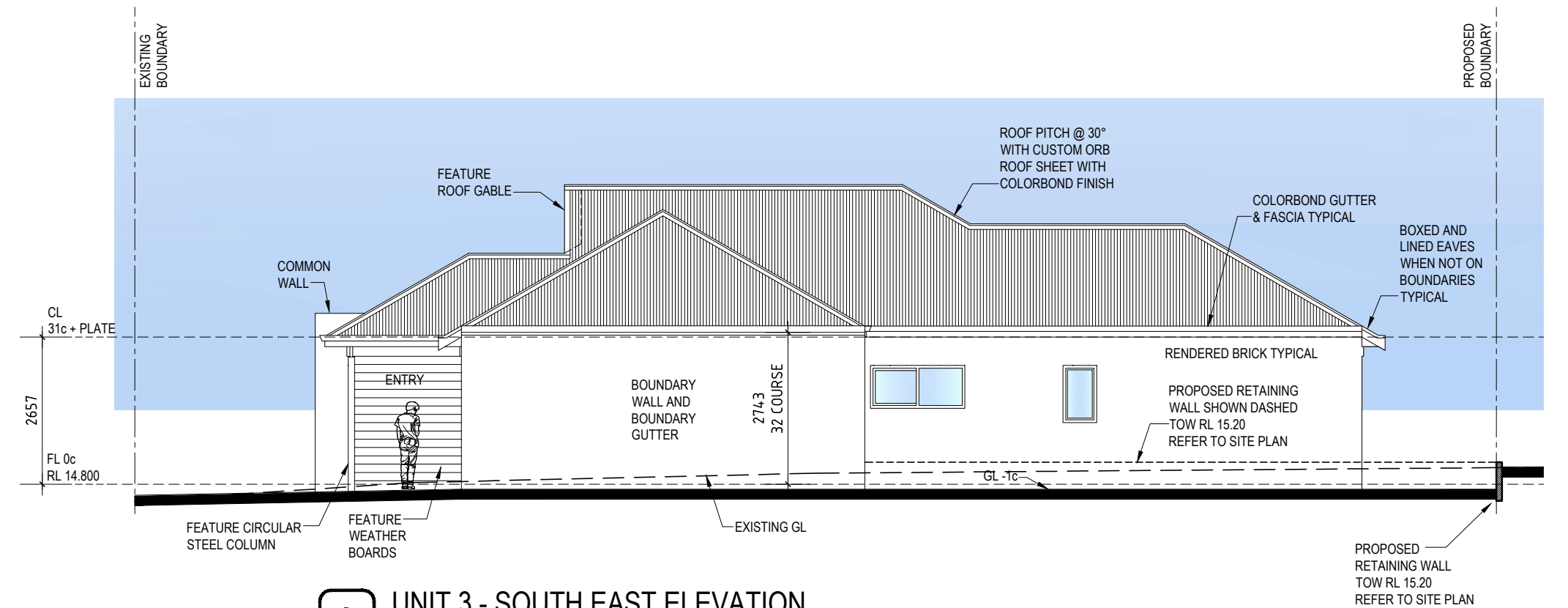
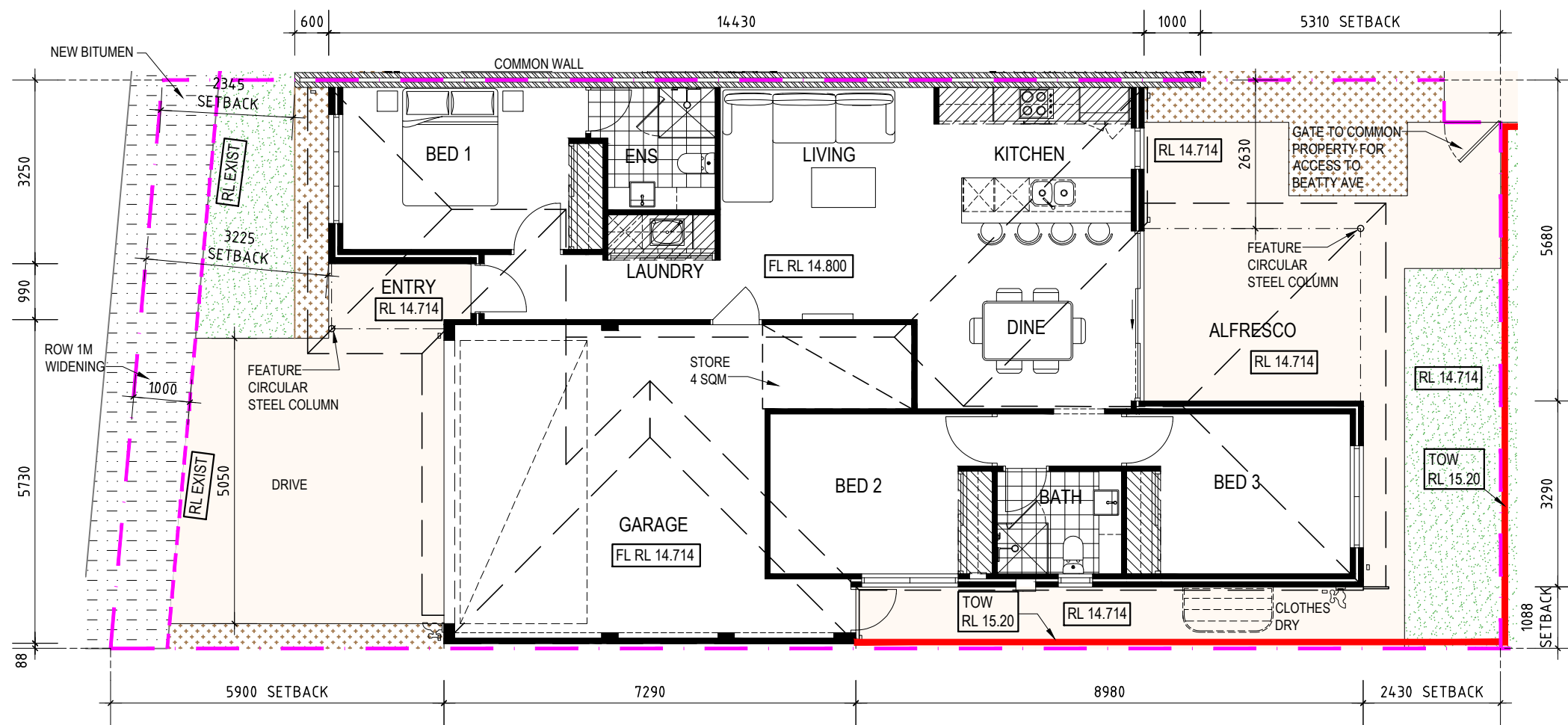
LEGEND



REV	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	22.05.23
B	AMENDED FOR PLANNING APPROVAL	17.07.23

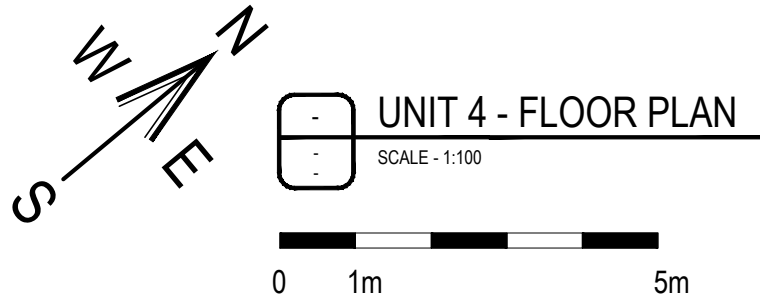
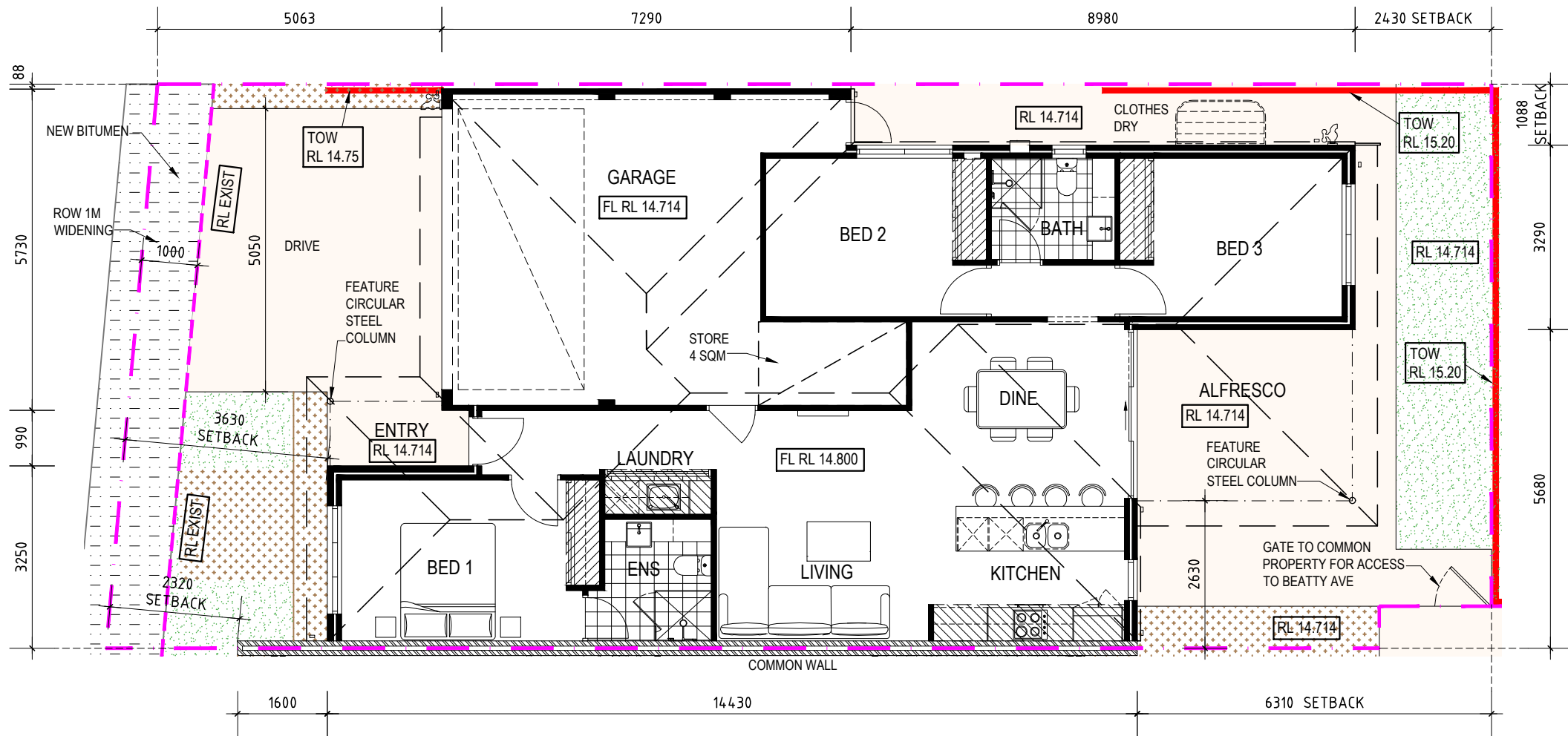


DESIGN DRAWINGS COPYRIGHT CROSS DESIGN RESERVED BY DESIGNER THIS DRAWING & THE INFORMATION IT CONTAINS IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS & INFORMATION RELATED TO THE PROJECT FOR ACCURATE COORDINATION. THE BUILDER/CONTRACTOR IS TO CHECK ALL DIMENSIONS & INFORMATION SHOWN ON THIS DRAWING BEFORE THE COMMENCEMENT OF ANY WORKS & OR FABRICATION. IF ANY DISCREPANCIES SHOULD OCCUR THE BUILDER/CONTRACTOR IS TO NOTIFY THE DESIGNER & OR ENGINEER & OR SURVEYOR BEFORE PROCEEDING.	PROJECT: PROPOSED GROUPED DWELLINGS CLIENT DETAILS: BARRETT	ADDRESS: No 43 & No 43A BEATTY AVENUE EAST VICTORIA PARK WA	JOB STARTED: MAY 2023 LOCAL AUTHORITY: TOWN OF VICTORIA PARK SCALE: AS SHOWN ON A2	PROJECT NO: 230017 DRAWING NO: A04 REVISION: B
--	--	---	---	---

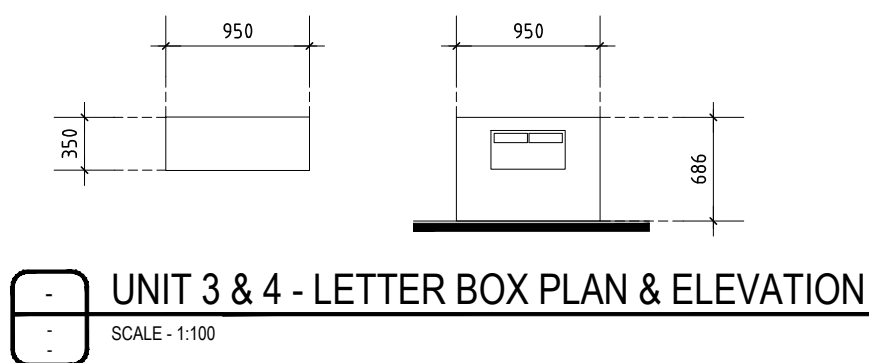
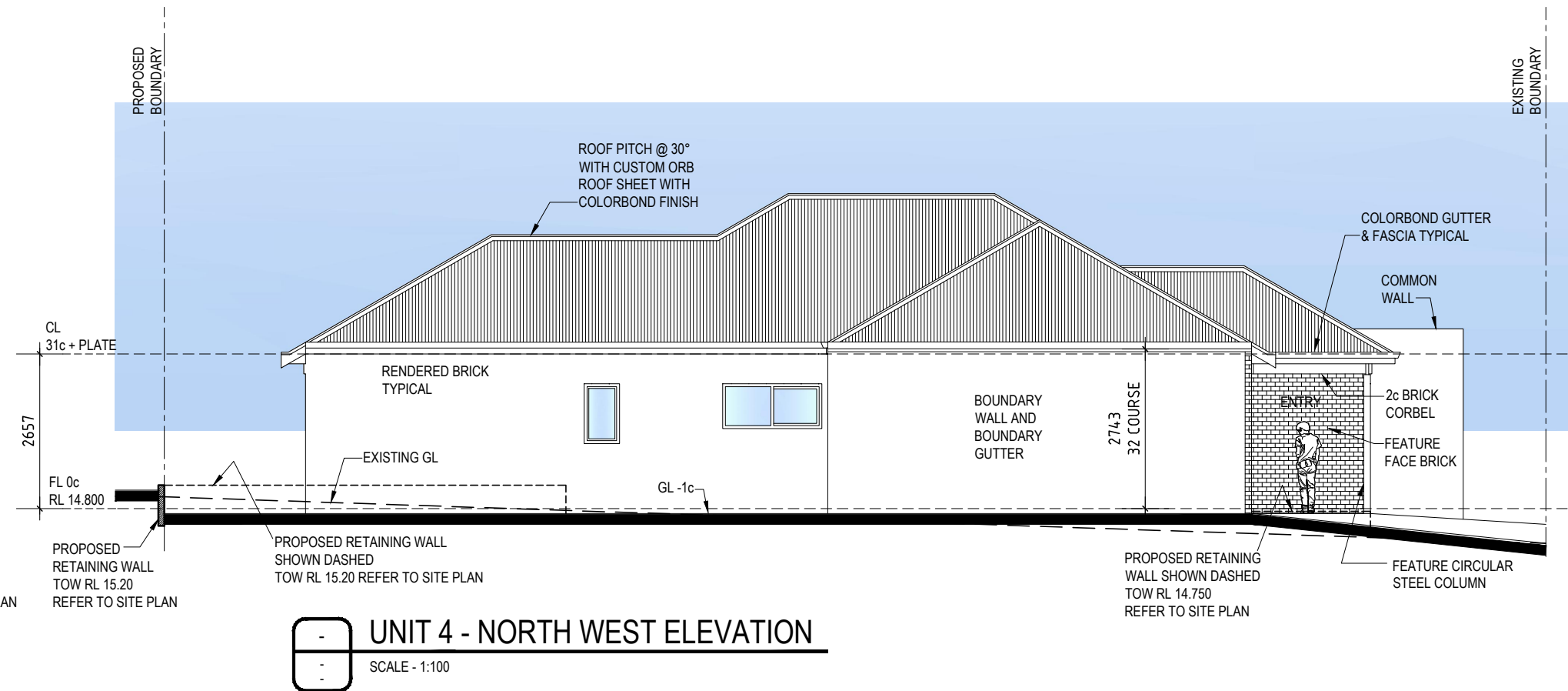
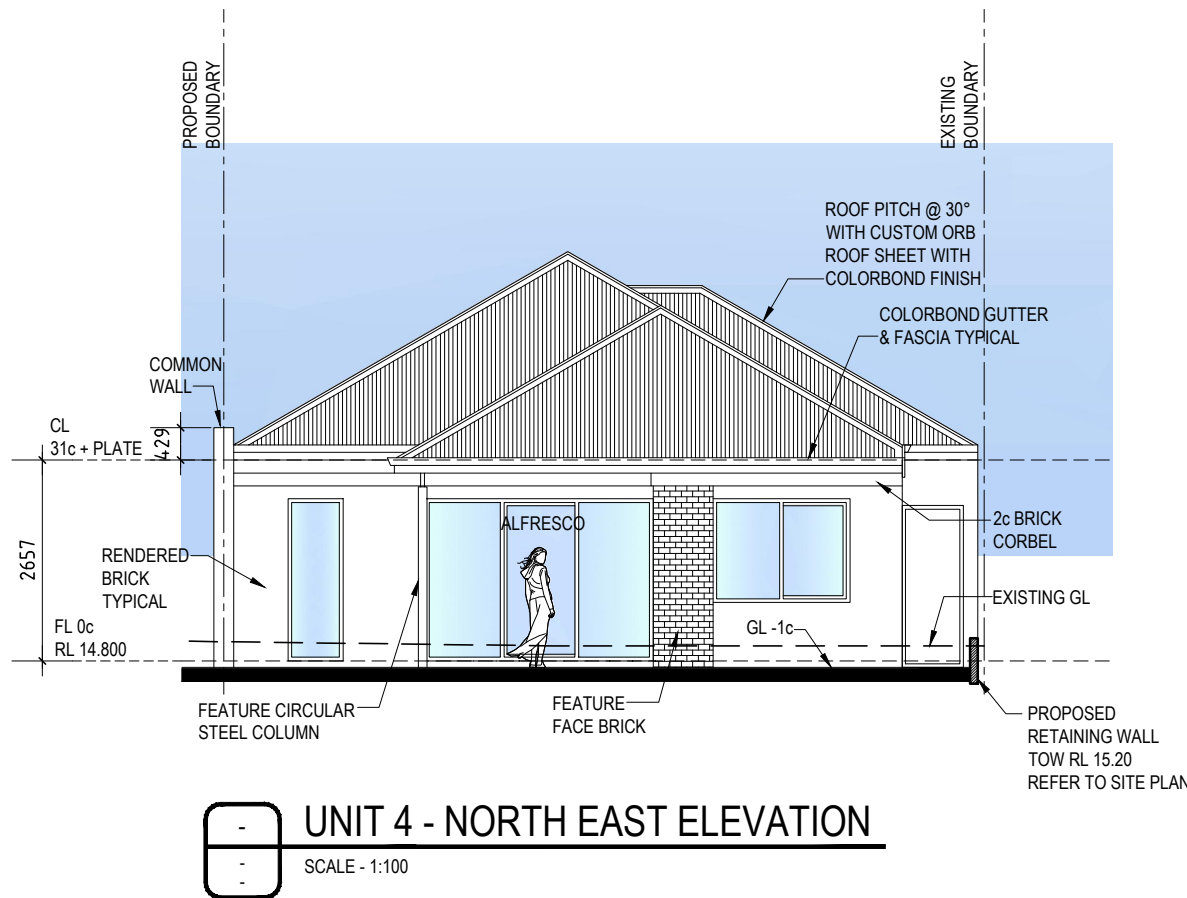
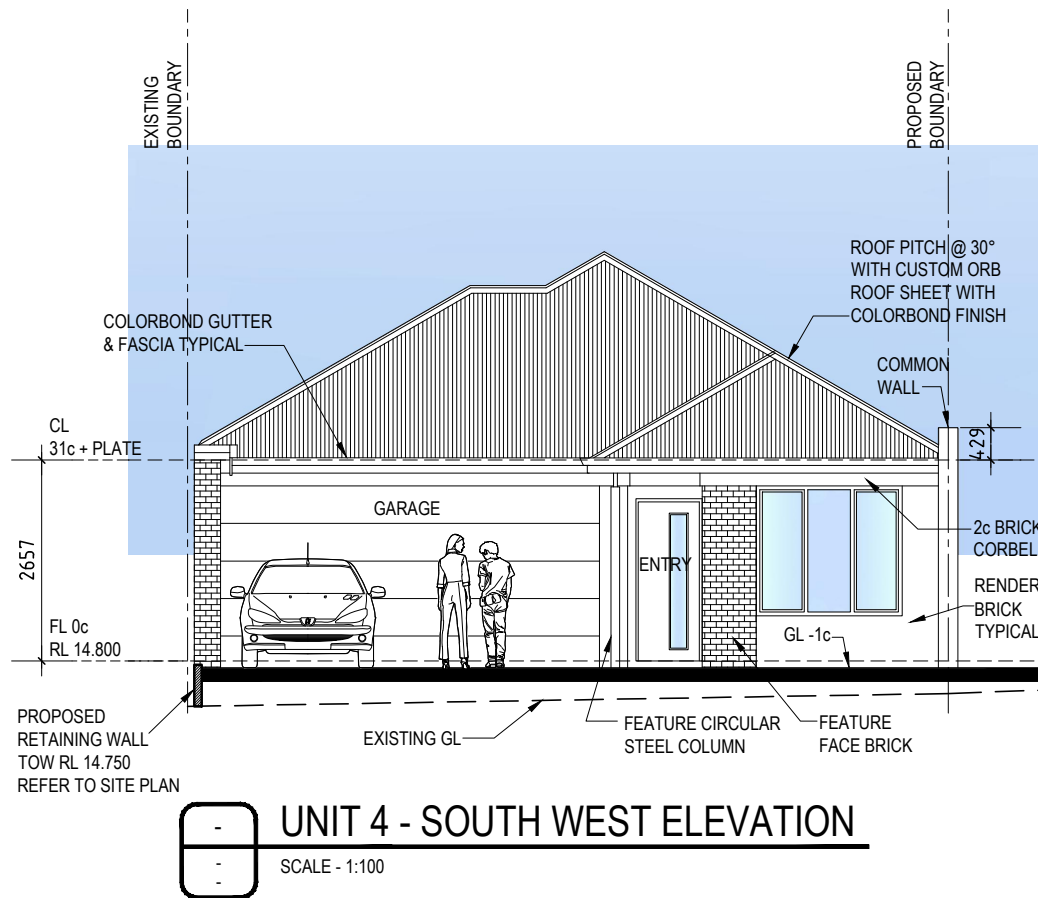
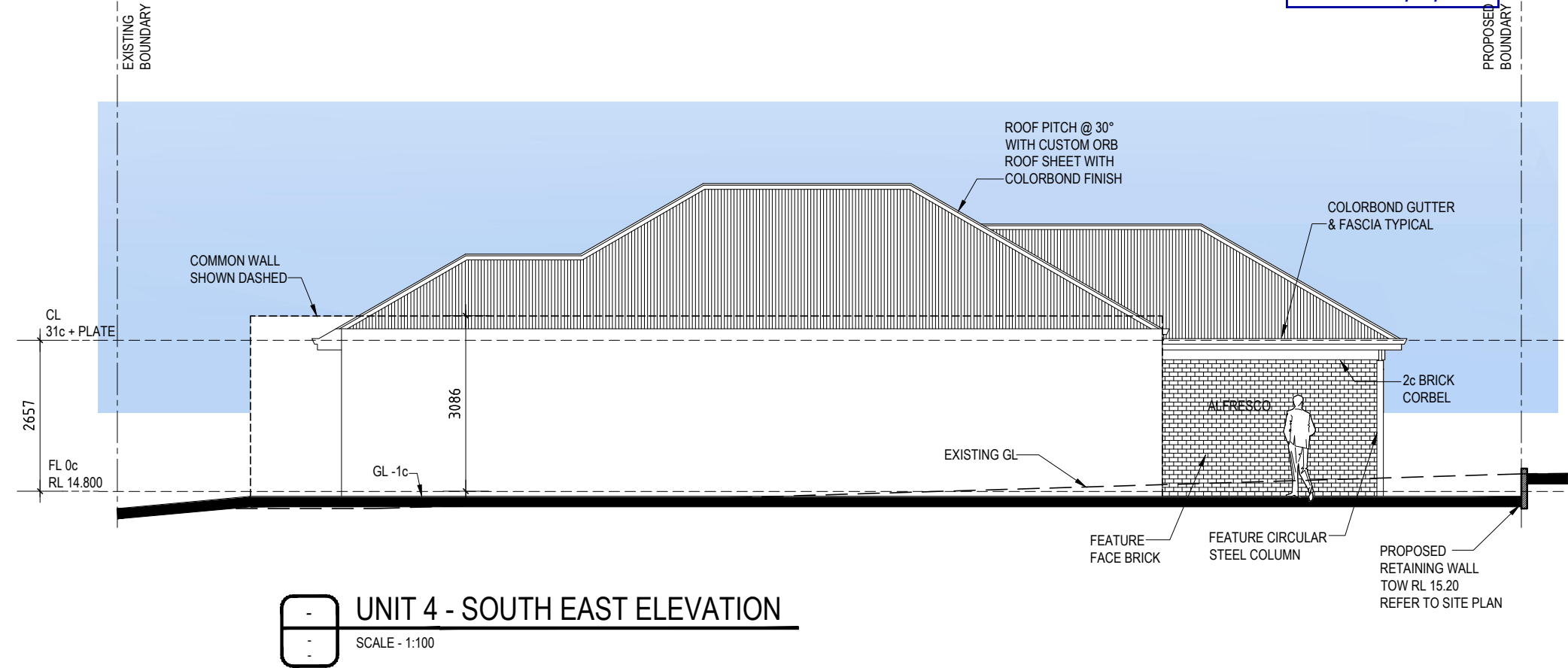
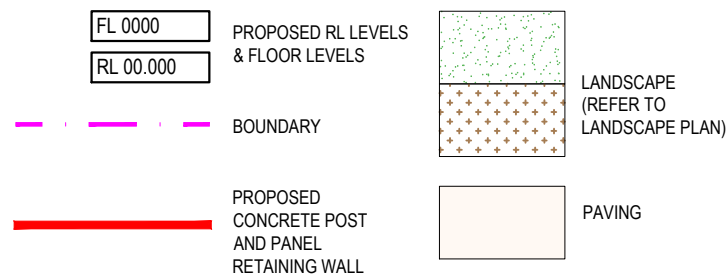


REV	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	22.05.21
B	AMENDED FOR PLANNING APPROVAL	17.07.21

51	DESIGN DRAWINGS  COPYRIGHT CROSS DESIGN RESERVED BY DESIGNER		PROJECT: PROPOSED GROUPED DWELLINGS		ADDRESS: No 43 & No 43A BEATTY AVENUE EAST VICTORIA PARK WA		JOB STARTED: MAY 2023		PROJECT NO: 230017	
	THIS DRAWING & THE INFORMATION IT CONTAINS IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS & INFORMATION RELATED TO THE PROJECT, FOR ACCURATE COORDINATION. THE BUILDER / CONTRACTOR IS TO CHECK ALL DIMENSIONS & INFORMATION SHOWN ON THIS DRAWING BEFORE THE COMMENCEMENT OF ANY WORKS & OR FABRICATION. IF ANY DISCREPANCIES SHOULD OCCUR THE BUILDER / CONTRACTOR IS TO NOTIFY THE DESIGNER & OR ENGINEER & OR SUPERVISOR BEFORE PROCEEDING.		CLIENT DETAILS: BARRETT		LOCAL AUTHORITY: TOWN OF VICTORIA PARK		DRAWING NO: A05		REVISION: B	
							SCALE: AS SHOWN ON A2			



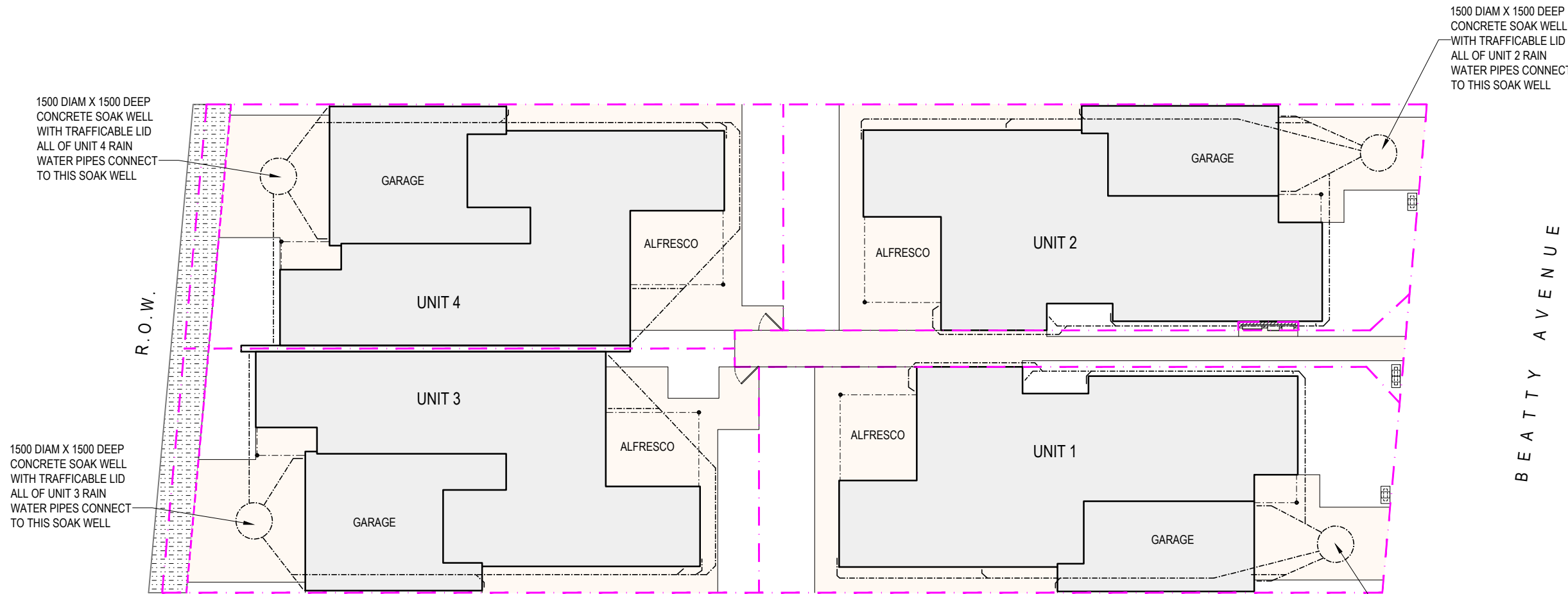
LEGEND



REV	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	22.05.23
B	AMENDED FOR PLANNING APPROVAL	17.07.23



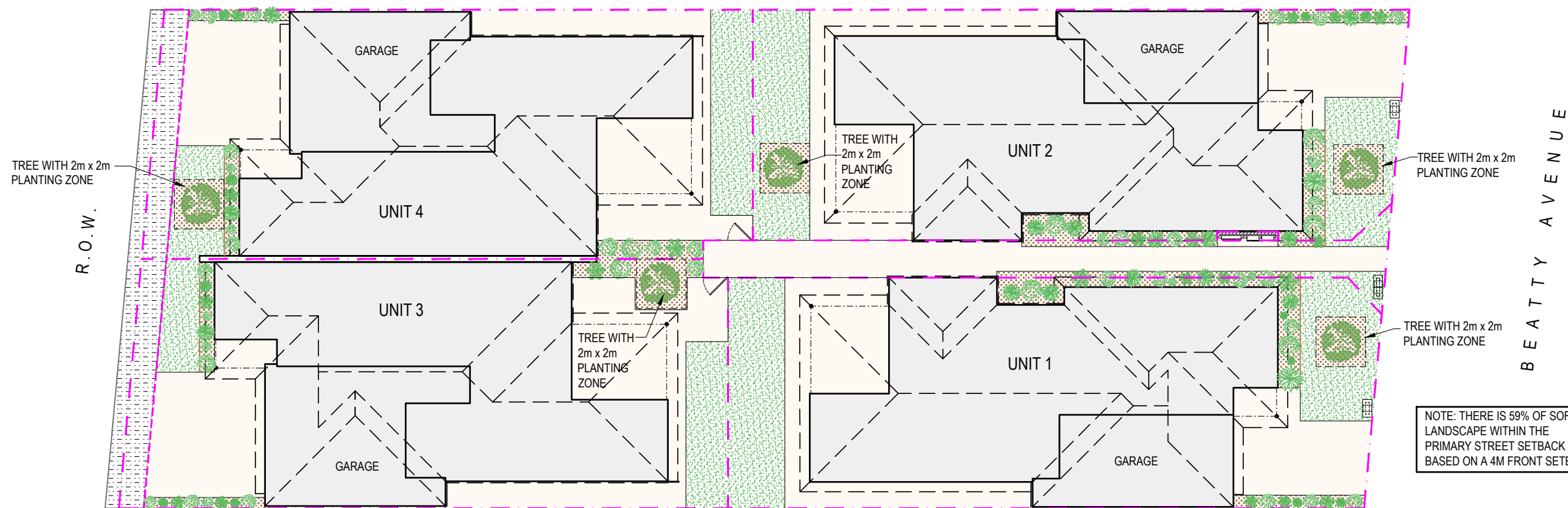
DESIGN DRAWINGS	PROJECT:	ADDRESS:	JOB STARTED:	PROJECT NO:
COPYRIGHT CROSS DESIGN RESERVED BY DESIGNER	PROPOSED GROUPED DWELLINGS	No 43 & No 43A BEATTY AVENUE EAST VICTORIA PARK WA	MAY 2023	230017
CLIENT DETAILS: BARRETT			LOCAL AUTHORITY: TOWN OF VICTORIA PARK	DRAWING NO: A06
			SCALE: AS SHOWN ON A2	REVISION: B



STORM WATER PLAN
SCALE - 1:200

STORM WATER NOTE:
ALL STORM WATER WILL BE CONTAINED ON SITE
AND CONNECTED TO ON SITE SOAK WELLS

0 2m 10m



LANDSCAPE PLAN
SCALE - 1:200

0 2m 10m

STORM WATER LEGEND

TOWN OF VICTORIA PARK
Received: 17/07/2023

	BOUNDARY
	STORM WATER LINE SHOWN IS A GUIDE ONLY. EXACT SETOUT TO BUILDERS / PLUMBERS DISCRETION
	EXTENT OF BUILDING & OUTSIDE FACE OF EXTERNAL WALLS / STRUCTURES
	PAVING

LANDSCAPE LEGEND

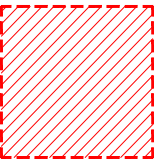
	TREE TYPE NAME: HAKEA LAURINA (PIN-CUSHION HAKEA) MAX MATURE HT: 6 M AVERAGE CANOPY WIDTH: 3 M ORIGIN: WA COLOUR / FLOWERS: WHITE / PINK / RED PIN CUSHION SHAPED FLOWERS DESCRIPTION: HARDY AND DROUGHT TOLERANT, GOOD TO A RANGE OF SOIL CONDITIONS.	
	PLANT TYPE A: NAME: DAMPIER TERES (TERETE-LEAVED DAMPIERA) MATURE H X W: 0.6 M FLOWER COLOURS: BLUE / PURPLE ORIGIN: WA TYPE: SHRUB DROUGHT TOLERANCE: VERY GOOD	
	PLANT TYPE B: NAME: GREVILLEA PREISSII (GREVILLEA SEA SPRAY) MATURE H X W: 0.5 M HT X 3M W. FLOWER COLOURS: RED, WITH SPLASH OF WHITE ORIGIN: WA TYPE: SHRUB DROUGHT TOLERANCE: VERY GOOD	
	PLANT TYPE C: NAME: HEMIANDRA PUNGENS (SNAKEBUSH) MATURE H X W: 0.3 M X 1M W. FLOWER COLOURS: MAUVE, LIGHT & DARK ORIGIN: WA TYPE: SHRUB DROUGHT TOLERANCE: VERY GOOD	
	GRASS : NAME: PALMETTO MAINTENANCE: LOW WEAR: HIGH TOLERANCE DROUGHT TOLERANCE: MEDIUM	
	MULCH : NAME: AS SUPPLIED MAINTENANCE: N/A WEAR: N/A DROUGHT TOLERANCE: MULCH TO BE WATER WISE	
NOTE: APPLY SOIL CONDITIONER TO ALL PLANTED AREAS, ALSO PROVIDE DRIPPERS / TRICKLE SYSTEM WITH MOISTURE SENSORS		

REV	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	22.05.23
B	ISSUED FOR PLANNING APPROVAL	17.07.23

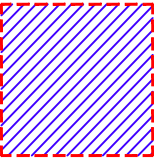


DESIGN DRAWINGS COPYRIGHT CROSS DESIGN RESERVED BY DESIGNER	PROJECT: PROPOSED GROUPED DWELLINGS	ADDRESS: No 43 & No 43A BEATTY AVENUE EAST VICTORIA PARK WA	JOB STARTED: MAY 2023	PROJECT NO: 230017
THIS DRAWING & THE INFORMATION IT CONTAINS IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS & INFORMATION RELATED TO THE PROJECT. FOR ACCURATE COORDINATION, THE BUILDER / CONTRACTOR IS TO CHECK ALL DIMENSIONS & INFORMATION SHOWN ON THIS DRAWING BEFORE THE COMMENCEMENT OF ANY WORKS & OR FABRICATION. IF ANY DISCREPANCIES SHOULD OCCUR THE BUILDER / CONTRACTOR IS TO NOTIFY THE DESIGNER & OR ENGINEER & OR SURVEYOR BEFORE PROCEEDING.	CLIENT DETAILS: BARRETT		LOCAL AUTHORITY: TOWN OF VICTORIA PARK	DRAWING NO: A07
			SCALE: AS SHOWN ON A2	REVISION: B

SHADOW CAST AT 12 NOON JUNE
21st PERTH LATITUDE 32°S
VERTICAL SUN ANGLE 33°



AREA OF SHADOWING WITHIN THE
PROPERTY LOT BOUNDARY



AREA OF SHADOWING TO
ADJOINING PROPERTY

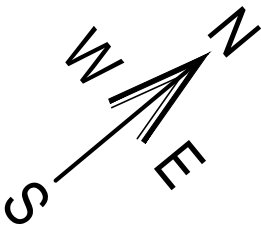
AREA OF SHADOWING TO
ADJOINING PROPERTY = 58.0 sqm

AREA OF SHADOWING TO COMMON
PROPERTY PROPERTY = 32.5 sqm

AREA OF SHADOWING TO
ADJOINING PROPERTY = 25.8 sqm

AREA OF SHADOWING TO
ADJOINING PROPERTY = 42.0 sqm

AREA OF SHADOWING TO
ADJOINING PROPERTY = 49.5 sqm



SHADOW DIAGRAM
SCALE - 1:200



REV	DESCRIPTION	DATE

CROSS + DESIGN GROUP

No.81 - 85 SOUTH SHORE PIAZZA, SOUTH PERTH WA 6151
PO BOX 208, SOUTH PERTH, WA 6951 PH: (08) 9367 6274

DESIGN DRAWINGS COPYRIGHT CROSS DESIGN RESERVED BY DESIGNER THIS DRAWING & THE INFORMATION IT CONTAINS IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS & INFORMATION RELATED TO THE PROJECT. FOR ACCURATE COORDINATION, THE BUILDER/CONTRACTOR IS TO CHECK ALL DIMENSIONS & INFORMATION SHOWN ON THIS DRAWING BEFORE THE COMMENCEMENT OF ANY WORKS & OR FABRICATION. IF ANY DISCREPANCIES SHOULD OCCUR THE BUILDER/CONTRACTOR IS TO NOTIFY THE DESIGNER & OR ENGINEER & OR SURVEYOR BEFORE PROCEEDING.	PROJECT: PROPOSED GROUPED DWELLINGS	ADDRESS: No 43 & No 43A BEATTY AVENUE EAST VICTORIA PARK WA	JOB STARTED: MAY 2023	PROJECT NO: 230017
	CLIENT DETAILS: BARRETT		LOCAL AUTHORITY: TOWN OF VICTORIA PARK	DRAWING NO: A08
			SCALE: AS SHOWN ON A2	REVISION: -